

**CITY OF VAUGHAN
COMMITTEE OF THE WHOLE (PUBLIC HEARING)
AGENDA**

This is an Electronic Meeting. The Council Chamber will not be open to the public. Public comments can be submitted by email to clerks@vaughan.ca. For deputations, please register by contacting Access Vaughan at 905-832-2281 or clerks@vaughan.ca

Monday, July 13, 2020

7:00 p.m.

Council Chamber

2nd Floor, Vaughan City Hall

2141 Major Mackenzie Drive

Vaughan, Ontario

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4. ADJOURNMENT

ALL APPENDICES ARE AVAILABLE FROM THE CITY CLERK'S OFFICE
PLEASE NOTE THAT THIS MEETING WILL BE AUDIO RECORDED
AND VIDEO BROADCAST

www.vaughan.ca (Agendas, Minutes and Live Council Broadcast)

Committee of the Whole (Public Hearing) Report

DATE: Monday, July 13, 2020

WARD: 4

**TITLE: METRUS (TERRA) PROPERTIES INC.
DRAFT PLAN OF SUBDIVISION FILE 19T-20V002
OFFICIAL PLAN AMENDMENT FILE OP.20.003
ZONING BY-LAW AMENDMENT FILE Z.20.008
7800 JANE STREET, VICINITY OF JANE STREET AND
HIGHWAY 7**

FROM:

Nick Spensieri, Acting Deputy City Manager, Planning and Growth Management

ACTION: FOR INFORMATION

Purpose

To receive comments from the public and the Committee of the Whole on Official Plan Amendment and Zoning By-law Amendment Files OP.20.003 and Z.20.008, and Draft Plan of Subdivision File 19T-20V002, to permit 1,203 residential units within two, 50 and 60-storey residential apartment buildings (Towers A and B) and a 17-storey office building (Tower C). The proposed development would be connected by an 8-storey podium with integrated ground floor retail uses, residential units, and amenity space, and contains 6-levels of above-grade structured parking, and 2 levels of underground parking with access via a future north-south local street.

Report Highlights

- To receive input from the public and the Committee of the Whole on Official Plan Amendment, Zoning By-law Amendment and Draft Plan of Subdivision applications to permit a high-rise (50 to 60-storeys) mixed-use development consisting of 1,203 residential units, a 17-storey office tower and ground floor retail uses
- Official Plan Amendment, Zoning By-law Amendment and Draft Plan of Subdivision applications are required to permit the proposed development and to facilitate a future north-south local street and the proposed deletion of an east-west local street
- A Stratified Title Arrangement is proposed for underground parking beneath the new north-south local street consistent with Vaughan Metropolitan Centre Secondary Plan ('VMCSP') policy 4.3.6 related to office uses exceeding 10,000 m² in GFA
- The Subject Lands are partially located within the Humber River Floodplain as identified by the Toronto and Region Conservation Authority
- A technical report to be prepared by the VMC Program, Planning and Growth Management Portfolio, will be considered at a future Committee of the Whole meeting

Recommendations

1. THAT the Public Hearing report for Official Plan Amendment and Zoning By-law Amendment Files OP.20.003 and Z.20.008 and Draft Plan of Subdivision File 19T-20V002 (Metrus (Terra) Properties Inc.) BE RECEIVED; and, that any issues identified be addressed by the VMC Program, Planning and Growth Management Portfolio, in a comprehensive report to the Committee of the Whole.

Background

The subject lands (the 'Subject Lands') are located in the Vaughan Metropolitan Centre ('VMC') at the north-west corner of Highway 7 and Jane Street, and are municipally known as 7800 Jane Street, as shown on Attachment 1. The Subject Lands are currently developed with an existing retail building, which is proposed to be demolished. The lands were also previously developed with a gas station which has been decommissioned. The surrounding uses are also shown on Attachment 1.

The proposed mixed-use development of the Subject Lands consists of the following:

- Two (2) residential towers, with maximum building heights of 50-storeys (Tower A), 60-storeys (Tower B), and a 17-storey office building (Tower C)
- A total of 1,203 residential units, with 12 residential units at-grade

- A shared 8-storey podium consisting of a mix of uses (residential, retail, office), integrated above-grade parking (6 levels), and amenity (Floors 6 and 7) and lobby areas
- A total residential gross floor area ('GFA') of 102,037 m²
- A total office GFA of 22,879 m²
- A total retail GFA of 2,349 m²
- A density Floor Space Index (FSI) of 10.4 times the area of the lot
- Two (2) levels of underground parking and 6 levels of above-grade structured parking (Floors 3 to 8) integrated with office uses (Floors 2 to 5) and residential units
- A total of 685 above-grade parking spaces and a total of 526 underground parking spaces, for an overall total of 1,211 residential and visitor parking spaces
- Two (2) vehicular access points from the future north-south local street along the westerly lot line
- A total of 12,636 m² of combined indoor and outdoor residential amenity areas
- A total of 432 long and short-term bicycle parking spaces
- The proposed deletion of the east-west local street, which bisects the Subject Lands
- A stratified title arrangement proposed for underground parking spaces beneath the future north-south local street

Official Plan Amendment and Zoning By-law Amendment Applications have been submitted to permit the Development. A Draft Plan of Subdivision Application has been submitted to facilitate the future north-south local street.

The Owner has submitted the following applications (the 'Applications') for the Subject Lands, as shown on Attachments 1 and 2. The mixed-use development consists of two, 50 and 60-storey residential apartment buildings (Towers A and B), and a 17-storey office building (Tower C), on a shared 8-storey podium consisting of ground floor retail, at-grade residential uses, 6 levels of integrated above-grade parking (Floors 3 to 8), with 2 levels of underground parking, for a total of 1,203 residential units (the 'Development') as shown on Attachments 2 to 5. The following Applications are proposed:

1. Official Plan Amendment File OP.20.003 to amend the Vaughan Official Plan 2010 ("VOP 2010") and Volume 2 of VOP 2010, specifically the Vaughan Metropolitan Centre Secondary Plan (the "VMCSP"):
 - a) Policy 8.7.12 and Schedule I – to increase the maximum building height from 30-storeys to 50 and 60-storeys for the residential towers;

- b) Policy 8.7.17 – to increase the maximum podium height from 6 to 8-storeys in the “Station Precinct” designation;
 - c) Policy 8.7.18 – to increase the maximum tower floor plate size for the two, 50 and 60-storey residential towers from 750 m² to 850 m²;
 - d) Amend Schedules A through K to delete the east-west local street, which bisects the Subject Lands;
 - e) Schedule I – to increase the maximum FSI from 5.0 to 10.4 times the area of the lot; and
 - f) Schedule J – to remove the Subject Lands from the Black Creek Renewal Area and Existing Floodplain.
2. Zoning By-law Amendment Z.20.008 to amend By-law 1-88 to rezone the Subject Lands to the “C9 Corporate Centre Zone” to permit the mixed-uses in the manner shown on Attachment 2, and to permit site-specific development standards identified in Table 1 of this report; and
 3. Draft Plan of Subdivision File 19T-20V002 to facilitate the proportionate half of the future north-south local street for vehicular access points to serve the Development.

Public Notice was provided in accordance with the Planning Act and Council’s Notification Protocol

- a) Date of Notice of Public Hearing was circulated: May 15, 2020.

The Notice of Public Hearing was also posted on the City’s website at www.vaughan.ca and the two Notice Signs were installed (at the corner of Highway 7 and Jane Street, and the corner of Apple Mill Road and Jane Street), in accordance with the City’s Notice Signs Procedures.

- b) Circulation Area: To all property owners within 150 m of the Subject Lands.

Any written comments received will be forwarded to the Office of the City Clerk to be distributed to the Committee of the Whole as a Communication. All written comments that are received will be reviewed by the VMC Program, Planning and Growth Management Portfolio as input in the application review process and will be addressed in a technical report to be considered at a future Committee of the Whole meeting.

Previous Reports/Authority

Not applicable.

Analysis and Options

Amendments to Volume 2 of VOP 2010, the Vaughan Metropolitan Centre Secondary Plan, are required to permit the Development

Schedules F and J of the VMCSPP identify the Subject Lands within the “Station Precinct” land use precinct, and within an existing floodplain, which is subject to the Natural Heritage policies of 5.6.4 to 5.6.10. In accordance with Policy 5.6.6, the underlying land-use designations of “Station Precinct”, identified on Schedule F, is not currently in effect and will not come into force until conditions of Policy 5.6.6.a. to 5.6.6.c. are met to the satisfaction of the City, TRCA and the Province. These conditions include, but are not limited to, remedial flood protection works, and requirements for floodplain analysis and mapping. Therefore, the “Station Precinct” land-use designation will only come into force upon these conditions being satisfied. Policy 5.6.7 of the VMCSPP indicates that prior to the conditions of Policy 5.6.6 being satisfied, only existing uses as of the date of approval of this Plan will be permitted, along with any remedial works of the Black Creek.

Once the “Station Precinct” designation is in force, the “Station Precinct” designation will permit a broad mix of uses and a wide variety of building types including residential dwellings (apartment units and traditional back-to-back and stacked townhouses), retail, office, and service commercial uses. The Development includes residential, office, and retail uses, which conforms to the VMCSPP.

The VMCSPP permits a building height ranging from a 5-storey minimum to a 30-storey maximum, with a minimum FSI of 2.5 to a maximum FSI of 5.0 times the area of the lot. An Official Plan Amendment will be required to permit maximum building heights of 50 and 60-storeys, and to permit a maximum FSI of 10.4 times the area of the lot.

Policy 8.7.17 permits podiums that are generally 6-storeys in height in the “Station Precinct” designation; whereas, a podium height of 8-storeys is proposed. Policy 8.7.18 also permits a maximum residential tower floorplate of 750 m²; whereas, a maximum of 850 m² is proposed. The Development represents an FSI of 10.4 times the area of the lot, with a maximum building height of 60-storeys, which does not conform to the VMCSPP and requires an amendment to the Plan. Permissions for increased height and density will be considered and secured through a Section 37 Density and Bonusing Agreement with the City, if supported as good planning.

Schedule C – Street Network of the VMCSPP identifies two local streets at 20-22 m in width, which are proposed to the north and south of the Subject Lands. The right-of-way for Apple Mill Road (to the north) has been constructed and is owned by the City. The Development proposes to delete the future east-west local street, which bisects the

Subject Lands. The future north-south local street is proposed and will remain in public ownership. A review of the proposed east-west local street deletion will be considered in consultation with the Transportation Division of the VMC Program.

Policy 4.3.6 permits parking under a new local street, subject to a Strata Title Arrangement between the Owner and the City, and the required provision of a minimum of 10,000 m² of office development and/or uses. As a total office GFA of 22,879 m² is proposed, as such, the proposed parking under the new local street is permitted by the VMCSPP.

Schedule J – Floodplain and Environmental Open Spaces and Policy 5.6.4 to 5.6.10 identify the Subject Lands as being partially located within the Humber River Floodplain. Policy 5.6.8 indicates that phased development or site alterations may only be permitted subject to conditions of TRCA being satisfied. The TRCA confirms that the Subject Lands are within a regulatory floodplain area within a flood hazard. A floodplain analysis has been requested by the TRCA to assess the potential for any potential floodplain modifications or consideration of any flood remediation works in order to ensure appropriate floodplain management.

Amendments to By-law 1-88 are required to permit the Development

The Subject Lands are zoned “C7 Service Commercial Zone” by By-law 1-88, which does not permit the mixed-use development. The Owner proposes to amend By-law 1-88 by rezoning the Subject Lands from the “C7 Service Commercial Zone” to the “C9 Corporate Centre Zone” to request additional residential, office and retail permissions, together with the following site-specific zoning exceptions to permit the Development as shown on Attachments 2 to 5:

Table 1

	By-law 1-88 Standards	C9 Corporate Centre Zone Requirements	Proposed Exceptions and rezoning to the C9 Corporate Centre Zone Requirements
a.	Minimum Residential Parking Requirements	Bachelor/1 Bedroom at 0.7 spaces /unit 2 Bedrooms at 0.9 spaces/unit 3-Bedrooms at 1.0 spaces/unit	0.5 spaces per unit

	By-law 1-88 Standards	C9 Corporate Centre Zone Requirements	Proposed Exceptions and rezoning to the C9 Corporate Centre Zone Requirements
		Visitor at 0.15 spaces/unit	
b.	Maximum Driveway or Aisle Widths (Loading)	13.5 m (maximum)	No maximum width
c.	Minimum ground floor GFA devoted to commercial uses to provide individual external at-grade pedestrian access	60% minimum	30% minimum
d.	Minimum Rear Yard Setback	3 m	2 m
e.	Maximum Building Height (residential uses)	25-storeys	187 m (60-storeys (not including mechanical penthouse))
f.	Build-to-Zone (non- residential uses)	3-6 m	0-17 m
g.	Build-to-Zone (residential uses)	0-3 m	2-10 m
h.	Maximum Residential Density	67 m ² per unit	90 m ² per unit

The Owner has submitted a conceptual site plan in support of the Development, as shown on Attachment 2. Other zoning exceptions may be identified through the detailed review of the Applications and will be considered in a technical report to a future Committee of the Whole meeting.

Following a preliminary review of the Applications, the VMC Program has identified the following matters to be reviewed in greater detail

	MATTERS TO BE REVIEWED	COMMENT(S)
a.	Conformity with Provincial Policies, York Region Official Plan and City of Vaughan Official Plans	<ul style="list-style-type: none"> The Applications will be reviewed in consideration of all applicable statutory policies including the Provincial Policy Statement (2020) ("PPS"), A Place to Grow – the Growth Plan for the Greater Golden Horseshoe (2019) ("The Growth Plan"), and York Region and VOP 2010 policies.
b.	VMCSP	<p>The Applications will be reviewed in consideration of the following policies contained in the VMCSP, including, but not limited to, the following:</p> <ul style="list-style-type: none"> the identified vision and principles to create a new downtown area that is transit-oriented, walkable, accessible, diverse, vibrant, green and beautiful; the objectives of establishing a distinct downtown containing a mix of uses, civic attractions and a critical mass of people; establishing complete neighbourhoods containing a variety of housing; establishing a hierarchical, fine-grain grid network of streets and pathways linked to the larger road system; developing a generous and remarkable open space system; optimizing existing and planned investments in rapid transit; and ensuring the Development exhibits a high quality of urbanity, materials and design; the vision of buildings in the VMC, including ensuring the built form frames the streets and supports an engaging, comfortable and active public realm to bring vitality to the streets and contribute positively to the image of Vaughan's downtown; the appropriateness of the proposed building heights (50 and 60-storeys) and density (FSI) of 10.4 times the area of the lot, in consideration of the surrounding context, and confirmation that there are no significant adverse impacts from proposed buildings on neighbouring planned uses or the public realm,

	MATTERS TO BE REVIEWED	COMMENT(S)
		<p>including shadowing and microclimatic impact on Edgeley Pond and Park;</p> <ul style="list-style-type: none"> • the existing and planned surrounding land uses, environmental sustainability, transition, built form, compatibility, site organization, pedestrian accessibility and traffic impacts; • Policies 8.7.1 to 8.7.25 regarding built form, including location, massing and design of buildings, building facades, quality of materials fronting streets and mews and the contribution to human-scaled street walls, attractive streetscapes, a varied skyline, an active pedestrian realm and environmental sustainability by adhering to the urban design criteria with particular attention to the proposed massing and building height, microclimate impact and built form articulation; • Policy 8.7.11 respecting maximum building height; • Policy 8.7.17 regarding the maximum podium height of generally 6-storeys in the “Station Precinct” will be considered in review of the proposed 8-storey podium massing; • Policy 8.7.18 respecting the maximum tower floor plate size of 750 m²; • Policy 4.3.1 respecting the street network in considering the proposed deletion of the east-west local street as shown on Schedule C; • Policy 4.3.6 regarding parking spaces proposed beneath a new local street under a Stratified Title Agreement with the City; and • Policy 5.6 respecting the lands within the Black Creek Renewal Area and Existing Floodplain as shown on Schedules F and J.

	MATTERS TO BE REVIEWED	COMMENT(S)
c.	Section 37 of the <i>Planning Act</i> Bonusing and Density	<ul style="list-style-type: none"> • Pursuant to Section 37 of the <i>Planning Act</i>, the policies of VOP 2010 and the VMCSP, the City of Vaughan Guidelines for the Implementation of Section 37 of the <i>Planning Act</i>, provision of community benefits are proposed in return for increase in building heights and density in excess of VOP 2010 permissions. The request for additional height and density, will be reviewed in consideration of the following criteria: <ul style="list-style-type: none"> i) The appropriateness of the proposed increased building heights and density in consideration of the policies in Sections 10.1.2.9 of VOP 2010 and 8.1.23 of the VMCSP. Should the proposed increase in building height and density be determined to meet the criteria of the Official Plan, the proposed community must be identified to the satisfaction of the City; ii) Should the Development be approved, the Owner will be required to provide community benefits in the form of facilities or services to the satisfaction of the City. The benefits must bear a reasonable planning relationship to the proposed increase in building height and density. The Development must represent good planning and be consistent with the objectives of VOP 2010 and the VMCSP, and there must be adequate community infrastructure to support the increase in building heights and density. The provision of affordable housing in the form of land, residential units or cash contribution to be transferred to York Region (Housing York Inc.) or to a non-profit housing provider, free of cost (including maintenance and condominium fee, if applicable) will be considered as described below; and iii) The identified community benefits must be reflected in the implementing site-specific Zoning by-law, to the satisfaction of Vaughan Council, and subject to a separate Section 37 Agreement that will be registered on-title, should the Development be approved.

	MATTERS TO BE REVIEWED	COMMENT(S)
d.	Affordable Housing	<ul style="list-style-type: none"> • The Applications will be reviewed in consideration of the affordable housing policies contained in VOP 2010 including but not limited to the following: <ul style="list-style-type: none"> - Policy 7.5.1.1 that encourages and supports the provision of a full range of housing options, including ownership and rental housing, social housing, housing for seniors, supportive housing, emergency shelters for women and families, accessible housing that meets the needs of people with disabilities and other types of housing that meets the needs of Vaughan's diverse population; - Policy 7.5.1.2 that requires the implementation of York Region's affordable housing policies in the following context: <ul style="list-style-type: none"> • Requiring 25% of all new housing units in Vaughan to be affordable and that a portion of these units should be accessible for people with disabilities; and • Requiring a minimum of 35% of new residential units in key development areas to be affordable housing units. <p>Furthermore, Policy 8.1.3 of the VMC Secondary Plan identifies that affordable housing shall comprise a range of compact housing forms and tenures and include intrinsically affordable units for low and moderate-income households;</p> <ul style="list-style-type: none"> - Policy 7.5.1.3 requires all significant developments include a residential component that demonstrates the contribution to meeting the City's housing objectives through the preparation of a housing options statement, required for all Official Plan Amendment, Zoning By-law Amendment and Draft Plan of Subdivision applications that describe the following: <ul style="list-style-type: none"> • The total distribution of housing types

	MATTERS TO BE REVIEWED	COMMENT(S)
		<ul style="list-style-type: none"> • Tenure types and distribution • The range of unit sizes, both in terms of floor area and number of bedrooms • Special residential components, such as social or senior housing • The proposed unit type and anticipated unit/sale price at the time of preparing the housing options statement <p>The Owner has provided a housing summary within their Planning Justification Report, which is under review by the City. Should additional information be required, the Owner will be required to provide an updated housing statement to the satisfaction of the City, prior to consideration of a Technical Report by the Committee of the Whole.</p>
e.	Guidelines and other Area Plans	<ul style="list-style-type: none"> • The Development will be reviewed in consideration of the City-Wide Public Art Program, the City-Wide Urban Design Guidelines, the VMC Culture and Public Art Framework, the VMC Urban Design Guidelines, the VMC Streetscape and Open Space Plan, the VMC Transportation Plan, the Black Creek Storm Water Optimization Study Master Plan Class Environmental Assessment (EA), Black Creek Renewal Project, the Edgeley Pond and Park detailed design and the VMC Parking Strategy
f.	Vaughan Design Review Panel	<ul style="list-style-type: none"> • The Development will be reviewed in consideration of the recommendations provided by the City of Vaughan Design Review Panel (“DRP”) which is tentatively scheduled for June 25, 2020
g.	NavCanada and Bombardier Review	<ul style="list-style-type: none"> • The Subject Lands are located within regulatory flight paths under the jurisdiction of NavCanada and Bombardier Aerospace. The Owner will be required to satisfy all conditions of NavCanada and Bombardier
h.	External Agencies	<ul style="list-style-type: none"> • The Subject Lands are within the review areas of York Region, and the Toronto and Region Conservation Authority. The Applications have been circulated to these agencies for review. The Owner will be required to address the comments from the external agencies

	MATTERS TO BE REVIEWED	COMMENT(S)
i.	Studies and Reports	<ul style="list-style-type: none"> • The Owner has submitted the following studies and reports in support of the Applications, which must be approved to the satisfaction of the City and/or respective public approval authority: <ul style="list-style-type: none"> - Functional Servicing Report - Noise Feasibility Study - Phase One and Two Environmental Site Assessments - Planning Justification Report - Pedestrian Level Wind Study - Shadow Study - Sustainability Metrics - Stormwater Management Report - Traffic Impact Study <p>Additional studies and/or reports may be required as part of the Application review process</p>
j.	Servicing	<ul style="list-style-type: none"> • Servicing allocation must be identified and assigned to the Development, if approved. Should servicing capacity not be available, the Holding Symbol “(H)” may be applied to the Subject Lands. Removal of the Holding Symbol “(H)” will be conditional on servicing capacity being allocated to the lands
k.	Future Site Development Application	<ul style="list-style-type: none"> • A Site Development Application will be required to permit the mixed-use development, as shown on Attachments 2 to 5, should the Applications be approved. The following matters, but not limited to, will be considered to ensure: appropriate building and site design, massing, access, site circulation, parking, landscape, amenity area, sun and shadow, wind, noise, servicing and grading, bird-friendly design, and the appropriate built form interface with the surrounding uses and the public realm • Opportunities for sustainable design, including principles of CPTED (Crime Prevention Through Environmental Design) and LEED (Leadership in Energy and Environmental Design), and inclusion of features such as permeable pavers, bio-swales, drought tolerant landscape, bicycle racks to promote alternative modes of transportation, energy efficient lighting, reduction in

	MATTERS TO BE REVIEWED	COMMENT(S)
		<p>pavement and roof-top treatment to address the "heat island" effect, green roofs, etc. will be reviewed and implemented through the site plan approval process, if approved</p> <ul style="list-style-type: none"> In accordance with the City of Vaughan sustainability metrics program, the Development must achieve a minimum silver threshold application score
l.	Future Draft Plan of Condominium Application(s)	<ul style="list-style-type: none"> A future Draft Plan of Condominium Application(s) will be required, if the Applications are approved to establish the ownership tenure of the Development
m.	Development Charges	<ul style="list-style-type: none"> The Owner will be required to pay the applicable Development Charges (DCs) and is subject to the Area-Specific Development Charges
n.	Cash-in-Lieu of Parkland	<ul style="list-style-type: none"> The Owner will be required to pay to the City of Vaughan, cash-in-lieu of parkland in accordance with the <i>Planning Act</i> and the City's Cash-in-Lieu of Parkland Policy, if the subject applications are approved
o.	Toronto and Region Conservation Authority (TRCA)	<ul style="list-style-type: none"> The TRCA advises that the Subject Lands are located within a regulatory floodplain, and within a flood hazard area. A 10 m buffer to the regulatory floodplain and flood remediation works is required to any proposed building on the Subject Lands. A preliminary floodplain analysis has been submitted and must be approved to the satisfaction of the TRCA prior to consideration before the Committee of the Whole

Financial Impact

There are no requirements for new funding associated with these Applications.

Broader Regional Impacts/Considerations

The Applications have been circulated to the York Region Community Planning and Development Services Department for review and comment. Any issues will be addressed when the technical report is considered.

Conclusion

The preliminary issues identified in this report and other issues identified through the processing of the Applications will be considered in the technical review of the

Applications, together with comments from the public and Vaughan Council expressed at the Public Hearing or in writing, and will be addressed in a comprehensive report to a future Committee of the Whole meeting.

For more information, please contact: Natalie Wong, Senior Planner, VMC Program, Extension 8866.

Attachments

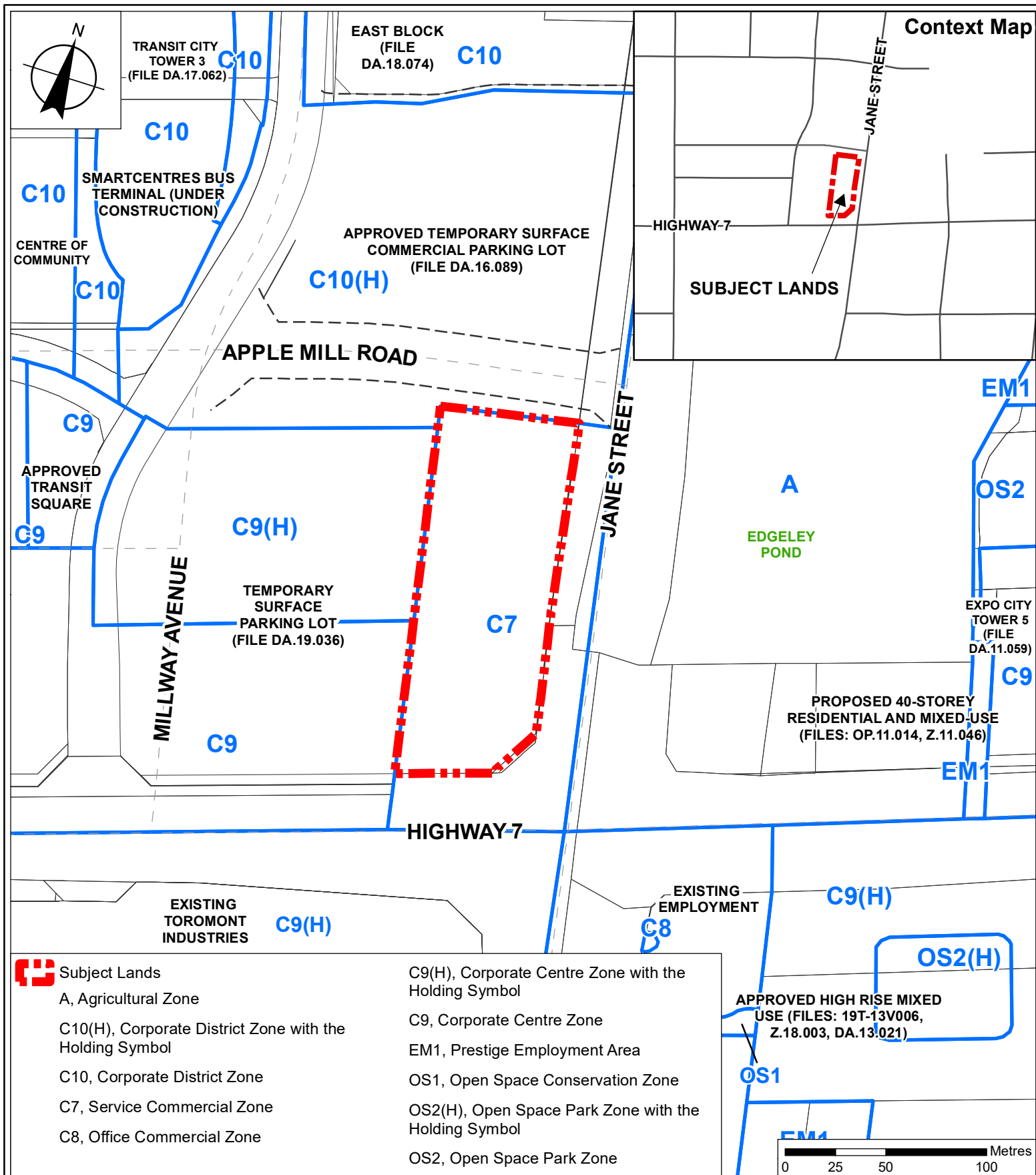
1. Context and Location Map
2. Proposed Site Plan & Rezoning
3. Proposed North and East Elevations
4. Proposed South and West Elevations
5. Coloured Rendering

Prepared by

Natalie Wong, Senior Planner, VMC Ext 8866

Amy Roots, VMC Senior Manager, Ex 8035

Christina Bruce, Director, VMC Program, Ext 8231



Context and Location Map

LOCATION:
Part of Lot 6, Concession 5; 7800 Jane Street

APPLICANT:
Metrus (Terra) Properties Inc.



Attachment

FILES: Z.20.008,
OP.20.003 and 19T-20V002

DATE:
July 13, 2020

1

60-STOREY RESIDENTIAL
BUILDING TOWER 'A'

60-STOREY RESIDENTIAL
BUILDING TOWER 'A'

50-STOREY
RESIDENTIAL
BUILDING
TOWER 'B'

17-STOREY
OFFICE BUILDING
TOWER 'C'

GLASS
50-STOREY
RESIDENTIAL
BUILDING
TOWER 'B'

GLASS
PRECAST
METAL PANEL
17-STOREY
OFFICE BUILDING
TOWER 'C'

GLASS

PRECAST
METAL PANEL

PRECAST
METAL PANEL

GLASS

GLASS

NORTH ELEVATION (FACING APPLE MILL ROAD)

EAST ELEVATION (FACING JANE STREET)

Not to Scale

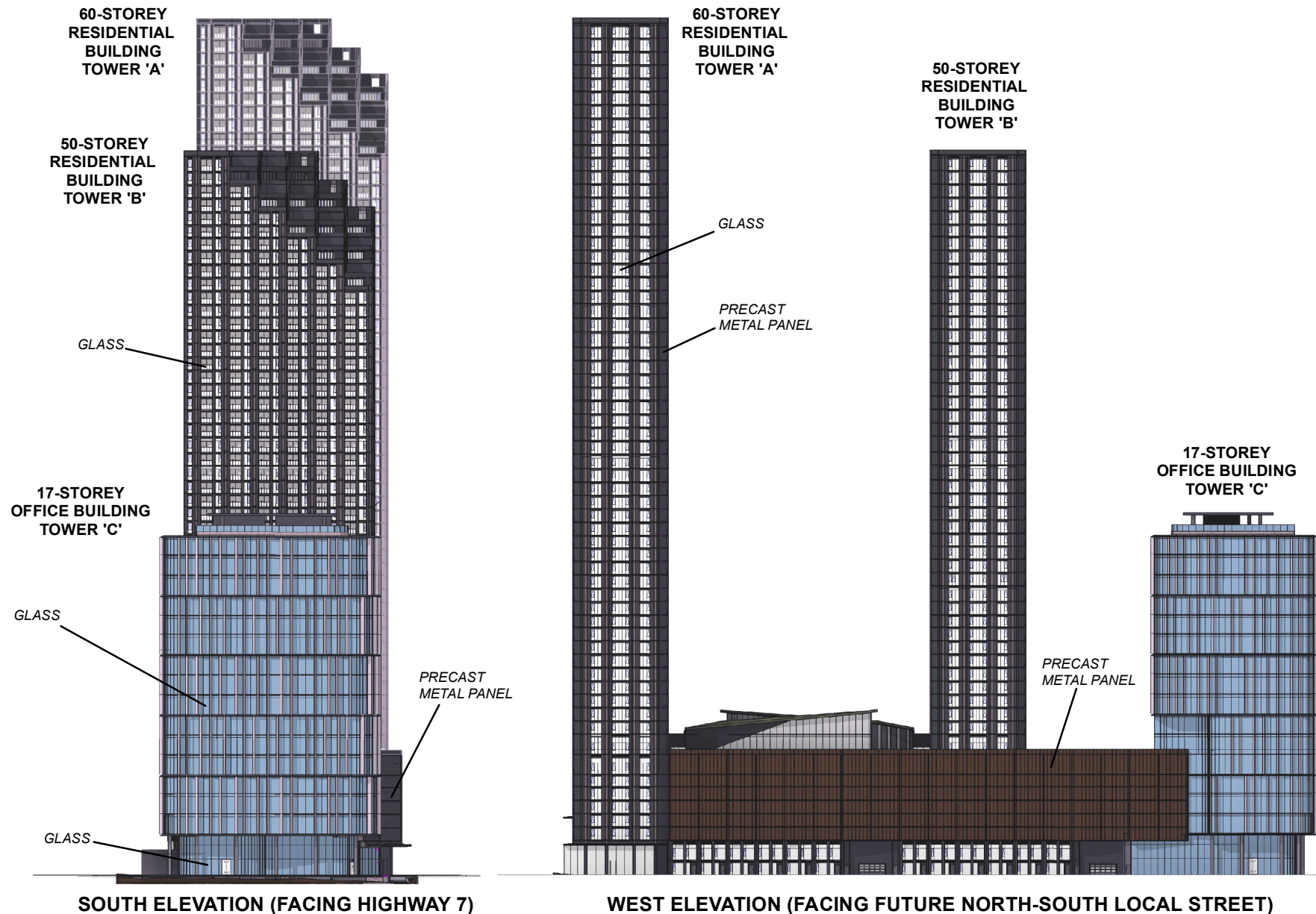
Proposed North and East Elevations

LOCATION:
Part of Lot 6, Concession 5; 7800 Jane Street

APPLICANT:
Metrus (Terra) Properties Inc.



Attachment
FILES: Z.20.008,
OP.20.003 and 19T-20V002
DATE:
July 13, 2020
3



Not to Scale

Proposed South and West Elevations

LOCATION:
Part of Lot 6, Concession 5; 7800 Jane Street

APPLICANT:
Metrus (Terra) Properties Inc.



Attachment

FILES: Z.20.008,
OP.20.003 and 19T-20V002

DATE:
July 13, 2020

4



NOT TO SCALE

Coloured Rendering

LOCATION:
Part of Lot 6, Concession 5; 7800 Jane Street

APPLICANT:
Metrus (Terra) Properties Inc.



Attachment

FILES: Z.20.008,
OP.20.003 and 19T-20V002

DATE:
July 13, 2020

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Committee of the Whole (Public Hearing) Report

DATE: Monday, July 13, 2020

WARD: 2

**TITLE: NAIMAN CONSULTING
OFFICIAL PLAN AMENDMET FILE OP.19.011
ZONING BY-LAW AMENDMENT FILE Z.19.033
8307 AND 8311 PINE GROVE ROAD
4, 6, 10 AND 12 HARTMAN AVENUE**

FROM:

Nick Spensieri, Acting Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To receive comments from the public and the Committee of the Whole on Official Plan and Zoning By-law Amendment Files OP.19.011 and Z.19.033 for the subject lands shown on Attachment 1. The Owner seeks approval to permit the development of 74, five-storey (14.5 m) stacked townhouse dwelling units within three buildings accessed from Hartman Avenue having a Floor Space Index of 1.39 times the area of the lot, as shown on Attachments 4 to 6.

Report Highlights

- To receive input from the public and the Committee of the Whole on Official Plan and Zoning By-law Amendment Applications to permit 74, five-storey (14.5 m) stacked townhouse dwelling units within three buildings accessed from Hartman Avenue with a total gross floor area of 8,250 m²
- Amendments to the Official Plan and Zoning By-law are required to permit the development
- A technical report will be prepared by the Development Planning Department at a future date

Recommendations

1. THAT the Public Hearing report for Official Plan and Zoning By-law Amendment Files OP.19.011 and Z.19.033 (Naiman Consulting) BE RECEIVED; and that any issues identified be addressed by the Development Planning Department in a comprehensive technical report to a future Committee of the Whole meeting.

Background

The subject lands (the 'Subject Lands') shown on Attachment 1 and are known as 8307 and 8311 Islington Avenue, and 4, 6, 10 and 12 Hartman Avenue and are generally located on the east side of Islington Avenue and south of Pine Grove Road. The Subject Lands consist of six amalgamated properties currently developed with single detached dwellings. The surrounding land uses are shown on Attachment 1.

Official Plan and Zoning By-law Amendment applications have been submitted to permit the Development

The Owner has submitted the following applications (the 'Applications') to permit 74, five-storey (14.5 m) stacked townhouse dwelling units within three buildings accessed from Hartman Avenue with a total gross floor area of 8,250 m², as shown on Attachments 4 to 6 (the 'Development'):

1. Official Plan Amendment File OP.19.011 to amend the policies of Vaughan Official Plan 2010 ('VOP 2010') as follows:
 - i) redesignate a portion of the Subject Lands from "Low-Rise Residential" shown on Attachment 2 to "Low-Rise Residential (2)" in the Woodbridge Centre Secondary Plan ("WCSP");
 - ii) redesignate a portion of the Subject Lands from "Natural Areas" shown on Attachment 3 to "Low-Rise Residential (2)" in the WCSP; and
 - iii) permit the following site-specific amendments to VOP 2010:

Table 1:

	VOP 2010 Policy	Proposed Amendments to VOP 2010
a.	Section 4.2.2.2 and Schedule 4 of the Woodbridge Centre Secondary Plan ('WCSP') permits a maximum building height of 3.5-storeys (12 m) for lands designated "Low-Rise Residential (2)".	Permit a maximum building height of 5-storeys (14.5 m) for townhouses.
b.	Volume 1, Section 9.2.3.4 Low-Rise Buildings, requires that stacked	Permit stacked townhouses (Block 3) to be setback 5.9 m from the existing

	VOP 2010 Policy	Proposed Amendments to VOP 2010
	townhouses shall generally be setback a minimum of 7.5 m from the property line and shall be contained within a 45-degree angular plane measured from the property line abutting the townhouses.	townhouses to the west, and not contained within a 45-degree angular plane measured from the property line abutting the townhouses.
c.	Section 4.2.2.2 and Schedule 3 of the WCSP permits a Floor Space Index ('FSI') of 0.5 times the area of the lot for lands designated "Low-Rise Residential (2)".	Permit a FSI of 1.39 times the area of the lot for the Development.
d.	Stacked townhouses shall generally be oriented onto a public street to provide front entrances on public streets.	Permit stacked townhouses to be oriented onto a private driveway and walkway.
e.	A minimum building setback of 7.5 m to a maximum building setback of 10 m from the Islington Avenue right-of-way.	Permit a minimum building setback of 3 m from the Islington Avenue right-of-way after the road widening.

Additional amendments to VOP 2010 may be identified through the detailed review of the Applications and will be considered in a technical report to a future Committee of the Whole meeting.

2. Zoning By-law Amendment File Z.19.033 to amend Zoning By-law 1-88, specifically to rezone the Subject Lands from "R1 Residential Zone" and "OS1 Open Space Conservation Zone" to "RM2 Multiple Residential Zone" and "OS1 Open Space Conservation Zone" in the manner shown on Attachment 4, together with the site-specific zoning exceptions identified in Table 2 of this report.

Public Notice was provided in accordance with the Planning Act and Vaughan Council's Notification Protocol

- a) Date the Notice of Public Hearing was circulated: June 23, 2020.
The Notice of Public Hearing was also posted on the City's web-site at www.vaughan.ca and Notice Signs were installed on the property in accordance with the City's Notice Signs Procedures and Protocols.
- b) Circulation Area: To all property owners within 250 m of the Subject Lands and to the Vaughanwood Ratepayers' Association, Village of Woodbridge Ratepayers' Association and Greater Woodbridge Ratepayers' Association.
- c) Comments received: None

Any written comments received will be forwarded to the Office of the City Clerk to be distributed to the Committee of the Whole as a Communication. All written comments that are received will be reviewed by the Development Planning Department as input in the application review process and will be addressed in the final technical report at a future Committee of the Whole meeting.

Previous Reports/Authority

Not Applicable

Analysis and Options

Amendments to the policies of the “Low-Rise Residential (2)” designation of VOP 2010 are required to permit the Development

The Subject Lands are designated “Low-Rise Residential” and “Low-Rise Residential (2)” by the WCSP, and “Natural Areas” by Schedule 13 - Land Use of VOP 2010. The Subject Lands are located within the “Islington Avenue Corridor” in Schedule 5 – Distinct Character Areas of the WCSP.

4, 6, 10 and 12 Hartman Avenue (‘Hartman Lands’), shown on Attachment 2, are designated “Low-Rise Residential” and are subject to the “Low-Rise Residential” policies of VOP 2010, Section 9.2.2.1 - Land Use Designations. Detached, semi-detached and townhouses, limited to a maximum building height of three-storeys, are permitted.

A portion of the Hartman Lands, specifically 10 and 12 Hartman Avenue, shown on Attachment 3, are also designated “Natural Areas” and are located within the “Built-Up Valley Lands” (Schedule 2 - Natural Heritage Network). The “Natural Areas” designation includes natural features such as wetlands, woodlands and valley and stream corridors, and does not permit development. VOP 2010, Section 3.2.3.17- Built-Up Valley Lands, prohibits new development and/or site alterations on Built-Up Valley Lands except in accordance with an approved Secondary Plan and/or an approved permit under the *Conservation Authorities Act*.

8307 and 8311 Islington Avenue (‘Islington Lands’) are designated “Low-Rise Residential (2)” by the WCSP. Townhouses, stacked townhouses and low-rise buildings, limited to a maximum FSI of 0.5 and a maximum building height of 3.5-storeys (12 m), are permitted.

The Development is not permitted by VOP 2010. Accordingly, an application to redesignate the Subject Lands and amend the policies of VOP 2010 has been submitted.

Official Plan Amendment 15 does not apply to the Subject Lands

VOP 2010, Section 9.1.2.4 - Low-Rise Residential Neighbourhood in an Established Community, establishes development criteria for multiple lot developments in a Community Area. Schedule 14-A - Areas Subject to Secondary Plans, identifies the Subject Lands being located within the WCSP Area. Official Plan Amendment 15 (‘OPA 15’) established development criteria for multiple lot developments and exempts lands

identified on Schedule 14 (i.e. lands subject to secondary plans) in VOP 2010 from the provisions of OPA 15. As such the development criteria for multiple lot developments does not apply to the Subject Lands as they are located in the WCSP.

Amendments to Zoning By-law 1-88 are required to permit the Development

The Subject Lands are zoned “R2 Residential Zone” and “OS1 Open Space Conservation Zone” by Zoning By-law 1-88, as shown on Attachment 1. The Development is not permitted within these zone categories and therefore, an amendment to Zoning By-law 1-88 is required to rezone the property to “RM2 Multiple Residential Zone” and “OS1 Open Space Conservation Zone” as shown on Attachment 4, together with the following site-specific zoning exceptions:

Table 2:

	By-law 1-88 Standard	RM2 Multiple Residential Zone Requirements	Proposed Exceptions to the RM2 Multiple Residential Zone Requirements
a.	Minimum Lot Frontage	30 m	29 m (Islington Avenue)
b.	Minimum Lot Area	230 m ² /Unit	81.38 m ² /Unit
c.	Minimum Front Yard Setback (Islington Avenue)	4.5 m	3 m
d.	Minimum Interior Yard Setback	1.5 m	<ul style="list-style-type: none"> • 1 m (Block 3) • 0.8 m (Underground Exit C to the west of Block 3)
e.	Minimum Rear Yard Setback	4.5 m	0 m
f.	Minimum Exterior Side Yard Setback	4.5 m	<ul style="list-style-type: none"> • 3 m (Hartman Avenue for Block 1) • 4.4 m (Hartman Avenue for Block 2) • 0 m (Underground Exit B to the south of Block 2 and to Hartman Avenue)
g.	Maximum Building Height	11 m	<ul style="list-style-type: none"> • 14.5 m (Block 1) • 14.2 m (Block 2) • 14.3 m (Block 3)

	By-law 1-88 Standard	RM2 Multiple Residential Zone Requirements	Proposed Exceptions to the RM2 Multiple Residential Zone Requirements
h.	Maximum Yard Encroachment and Restrictions for Exterior Stairs	4.5 m setback and not to exceed one-half storey (1.15 m) in height (6 risers). Zoning By-law 1-88 classifies a storey to be a minimum height of 2.3 m (one-half storey is 1.15 m in height)	Permit a minimum 0.5 m setback and a maximum height of 1.4 m (9 risers)
i.	Maximum Yard Encroachment and Restrictions for Balconies	1.8 m into a front or exterior yard	Permit a minimum 0 m setback to a balcony into a front, or exterior yard
j.	Minimum Front and Exterior Side Yard Setbacks of a Building Below Grade	1.8 m	0 m
k.	Minimum Amenity Area	i) 1 Bedroom Units @ 20 m ² x 8 Units = 160 m ² ii) 2 Bedroom Units @ 55 m ² x 50 Units = 2,750 m ² iii) 3 Bedroom Units @ 90 m ² x 15 Units = 1,350 m ² iv) 4 Bedroom Units @ 110 m ² x 1 Unit = 110 m ² Total = 4,370 m ²	74 Units @ 32.28 m ² /Unit = 2,389 m ²
l.	Minimum Parking Requirement	1.5 parking spaces/unit @ 74 units = 111 parking spaces	1.06 parking spaces/unit @ 74 units = 79 parking spaces

	By-law 1-88 Standard	RM2 Multiple Residential Zone Requirements	Proposed Exceptions to the RM2 Multiple Residential Zone Requirements
m.	Minimum Driveway Width (Two-way Driveway)	7.5 m	6 m
n.	Minimum Landscape Strip Abutting the Street	6 m	<ul style="list-style-type: none"> • 0.5 m (Islington Avenue) • 0 m (Hartman Avenue)

Additional zoning exceptions may be identified through the detailed review of the Applications and will be considered in a technical report to a future Committee of the Whole meeting.

Following a preliminary review of the Applications, the Development Planning Department has identified the following matters to be reviewed in greater detail:

	MATTERS TO BE REVIEWED	COMMENTS
a.	Consistency and Conformity with Provincial Policies, York Region and City Official Plans	<ul style="list-style-type: none"> ▪ The Development will be reviewed for consistency and conformity with the applicable policies of the <i>Provincial Policy Statement, 2020 ('PPS')</i>, <i>A Place to Grow: The Growth Plan for the Greater Golden Horseshoe 2019</i> (the 'Growth Plan'), and the York Region Official Plan ('YROP') policies ▪ Any Decision with respect to the Development made on or after May1, 2020, shall be consistent with revised PPS 2020
b.	Natural Heritage Features	<ul style="list-style-type: none"> ▪ A portion of the Subject Lands are designated "Natural Areas" and identified as being within a "Built-Up Valley Lands" in Schedule 2 - Natural Heritage Network of VOP 2010. The Humber River abuts the Subject Lands and includes an occupied Redside Dace habitat approximately 32 m from the Subject Lands. The Subject Lands also abut a deciduous forest ▪ The Environmental Impact Study ('EIS') submitted in support of the Applications must provide

	MATTERS TO BE REVIEWED	COMMENTS
		<p>appropriate rationale for the proposed modifications to the “Natural Areas” designation, and shall include measures to minimize impacts on natural heritage features and the Redside Dace habitat and protect and enhance the ecosystem function</p> <ul style="list-style-type: none"> ▪ The proposed development limits must be accurately identified and approved by the City and the Toronto and Region Conservation Authority (‘TRCA’), together with acceptability of the encroachment into the “Natural Areas” designation and identification of the necessary amendments to the environmental policies of Section 3 of VOP 2010 ▪ The following matters identified in the EIS submitted in support of the Applications must be reviewed and approved by City and the TRCA: <ul style="list-style-type: none"> i) the final development limits and buffers; ii) the proposed encroachment of the storm outlets and infiltration gallery, totaling an area of 80 m², into the natural feature and buffer; iii) Habitats of Threatened and Endangered Species (Redside Dace); and iv) mitigation measures
c.	Appropriateness of Proposed Uses and Site-Specific Official Plan and Zoning Exceptions	<ul style="list-style-type: none"> ▪ The appropriateness of the proposed amendments to VOP 2010 and Zoning By-law 1-88 will be reviewed in consideration of the existing and planned surrounding land uses, with consideration given to land use and built form compatibility, and appropriate development standards, including but not limited to: <ul style="list-style-type: none"> i) the scale and massing of the proposed buildings in relation to the surrounding lands; ii) the proposed configuration, transition and built

	MATTERS TO BE REVIEWED	COMMENTS
		<p>form compatibility in relation to the immediate surrounding area;</p> <p>iii) the building height, FSI, lot coverage and setbacks, including the minimum separation distance between Block 3 and the existing townhouse dwelling to the west and the minimum required 7.5 m building setback and 45-degree angular plane to the abutting property line;</p> <p>iv) the proposed encroachment of walkways to the townhouse units within the municipal right-of-way ('ROW') on Hartman Avenue;</p> <p>v) the proposed encroachment of Block 2 and 3 into the "Natural Areas" designation; and</p> <p>vi) the urban design policies of VOP 2010</p>
d.	TRCA/Development Limits/Open Space Dedication (Valleylands)	<ul style="list-style-type: none"> ▪ The Subject Lands are located within the TRCA's Regulated Area and the Applications have been circulated to the TRCA for review and comment ▪ The Owner is required to satisfy all requirements of the TRCA and obtain all necessary permits pursuant to the Development, Interference with Wetlands and Alterations to Shorelines and Watercourses Regulation (Ontario Regulation 166/06), as may be amended, to the satisfaction of TRCA, should the Applications be approved ▪ The Owner shall convey the valley lands and woodlot, including any required buffers/Vegetation Protection Zones ('VPZ'), to a public authority (i.e. the City or TRCA), free of all charges and encumbrances, as a condition of development approval in accordance with Section 3.2.3.10 of VOP 2010, if the Applications are approved
e.	Tree Preservation/Protection and	<ul style="list-style-type: none"> ▪ The Arborist Report and Tree Protection and Removal Plan submitted in support of the

	MATTERS TO BE REVIEWED	COMMENTS
	Removal	<p>Applications must be approved to the satisfaction of the City and the TRCA</p> <ul style="list-style-type: none"> Although the final limits of development and buffer(s) have not been approved by the City and TRCA, the Arborist report identifies 23 trees that are proposed to be removed from the Subject Lands and an additional 3 trees within the City's right-of-way that are proposed to be removed to accommodate street curbs and construction. The Arborist Report requires the installation of Tree Protection Zones ('TPZ') to protect trees in the Natural Area and along the north property line. Tree removal compensation, should the Applications be approved, is proposed through the planting of 46 new trees, which must be approved to the satisfaction of the City and TRCA Should the Applications be approved, the Owner will be required to enter into a Tree Protection Agreement ('Agreement') with the City in accordance with the Council adopted Tree By-law 052-2018 and the City's Tree Protection Protocol. The Agreement will include a tree compensation plan and/or cash-in-lieu payment that must be submitted for review and approval to the satisfaction of the City
f.	Traffic Impact Study /Traffic Management Plan/Parking Report	<ul style="list-style-type: none"> The Transportation Impact Study and Traffic Management Plan and Parking Study submitted in support of the Applications must be reviewed and approved by the Development Engineering ('DE') Department, including the proposed parking supply, driveway function at Hartman Avenue, vehicular and service vehicle maneuvering including refuse/recycling collection and loading, pedestrian site circulation, and bike infrastructure and requirements
g.	Cash-in-lieu of Parkland	<ul style="list-style-type: none"> The provision of cash-in-lieu of parkland dedication in accordance with the City's Cash-in-Lieu of Parkland Policy and the <i>Planning Act</i> is required if the Applications are approved. The final value of

	MATTERS TO BE REVIEWED	COMMENTS
		the cash-in-lieu of parkland dedication will be determined by the Real Estate Department
h.	Studies and Reports	<ul style="list-style-type: none"> ▪ The Owner has submitted the following studies and reports in support of the Applications, which must be approved to the satisfaction of the City and/or respective public approval authority: <ul style="list-style-type: none"> - Planning Justification Report - Urban Design and Sustainability Brief - Community Services and Facilities Study - Environmental Site Assessment Report - Phase One - Environmental Impact Study - Tree Inventory, Protection and Removal Plan, and Arborist Report - Edge Management Plan - Functional Servicing and Stormwater Management Report - Geotechnical/Soil Report with a Slope Stability Analysis - Flood Impact Analysis - Noise Impact Study - Transportation Impact Study and Traffic Management Plan - Parking Study ▪ These studies are available on the City's website at https://maps.vaughan.ca/planit/. (PLANit Viewer) ▪ The requirement for additional studies / information may be identified through the development application review process
i.	Site Development Application	<ul style="list-style-type: none"> ▪ A Site Development Application is required and will be reviewed in consideration of, but not limited to, the following: <ul style="list-style-type: none"> - appropriate building and site design - compliance with the Urban Design policies of the WCSP, barrier free accessibility, pedestrian connectivity, the location and size of amenity space

	MATTERS TO BE REVIEWED	COMMENTS
		<ul style="list-style-type: none"> - vehicular access, internal traffic circulation and parking - landscaping (hard and soft), the location of permeable pavers, landscape buffers, fencing, environmental sustainability, and bird friendly design - waste management - outdoor lighting designed to eliminate light spillage to neighboring properties - stormwater management, and servicing and grading
j.	Draft Plan of Condominium Application	<ul style="list-style-type: none"> ▪ Should the Applications be approved, a Draft Plan of Condominium (Standard) Application will be required to establish the condominium tenure for the Development
k.	Water and Servicing Allocation	<ul style="list-style-type: none"> ▪ The availability of water and sanitary sewage servicing capacity for the proposed residential units must be identified and allocated by Vaughan Council, if the Applications are approved. If servicing capacity is unavailable, the Holding Symbol ("H") may be applied to the Subject Lands. Removal of the Holding Symbol ("H") will be conditional on servicing being identified and allocated by Vaughan Council
l.	Section 37 of the <i>Planning Act</i>	<ul style="list-style-type: none"> ▪ The Applications may be reviewed in consideration of the bonusing provisions of Section 37 of the <i>Planning Act</i>, VOP 2010 and the City's Guidelines for the Implementation of Section 37 of the <i>Planning Act</i>. Section 37 allows municipalities to authorize an increase in the height and/or density of a development in return for community benefits, should the Applications be approved

Financial Impact

There are no financial requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

The Applications have been circulated to the York Region Community Planning and Development Services Department for review and comment. The Subject Lands are designated "Urban Area" by Map 1, "Regional Structure" and "Regional Greenlands System" by Map 2, "Regional Greenlands System" by the YROP 2010.

The Owner has submitted an application for a Local Official Plan Amendment to York Region. York Region has advised that any exemption from Regional approval for Official Plan Amendment File OP.19.011 will be determined through their review.

Any York Region issues to be identified such as the Islington Road widening, encroachment of walkways to the townhouses within the Regional right-of-way, and streetscape improvements, will be addressed when the technical report is considered.

Conclusion

The preliminary issues identified in this report and any other issues identified through the processing of the Applications will be considered in the technical review of the Applications, together with comments from the public and Vaughan Council expressed at the Public Hearing or in writing, and will be addressed in a comprehensive report to a future Committee of the Whole meeting.

For more information, please contact: Judy Jeffers, Planner, Development Planning Department, ext. 8645.

Attachments

1. Context and Location Map
2. Current Official Plan Designation and Proposed Amendment
3. VOP 2010 Schedule 13 Land Use
4. Proposed Zoning and Concept Plan
5. Typical Building Elevations - Block 1 Facing Islington Avenue and Hartman Avenue
6. Typical Building Elevations - Block 1 Interior Court and Driveway

Prepared by

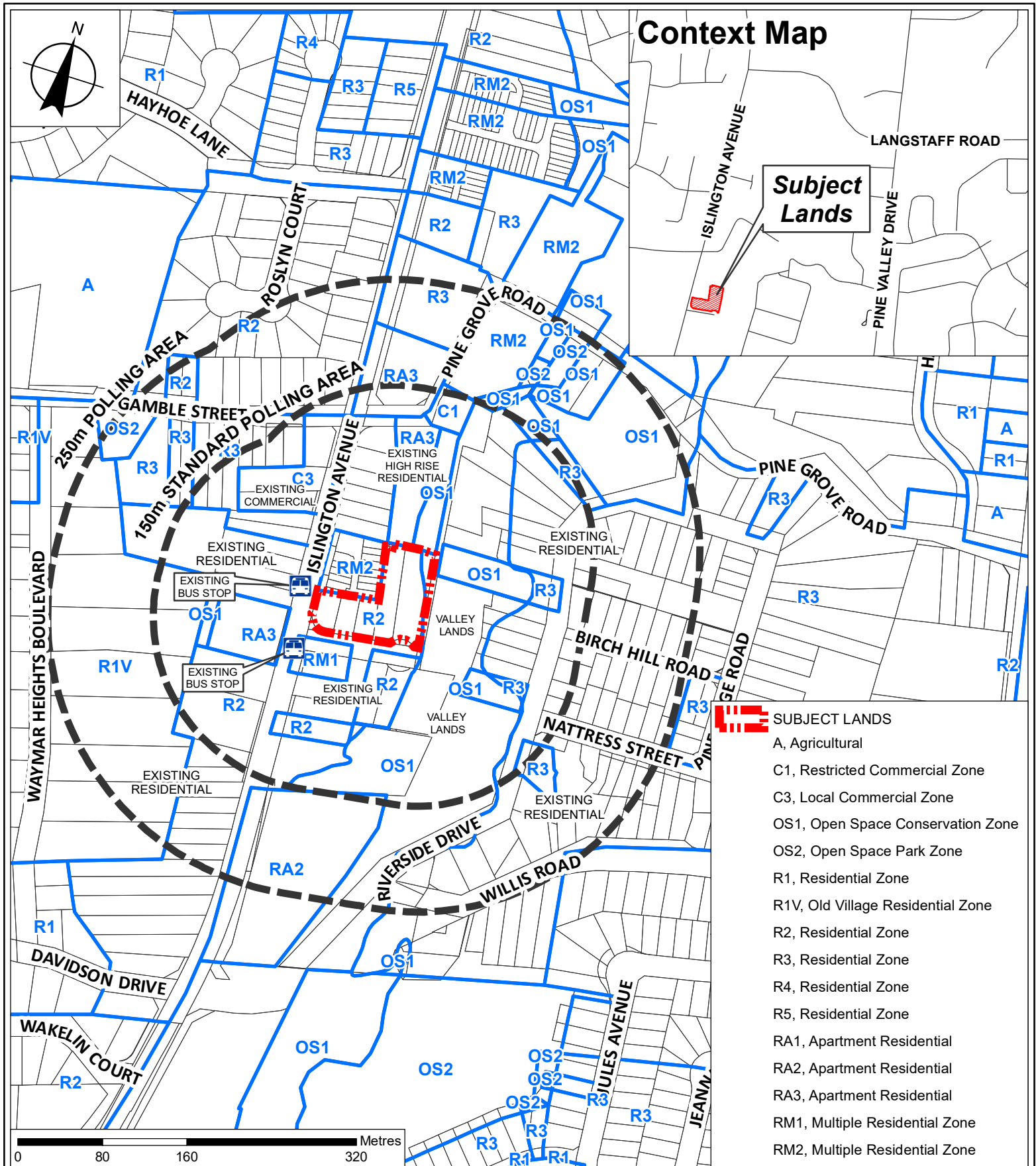
Judy Jeffers, Planner, ext. 8645

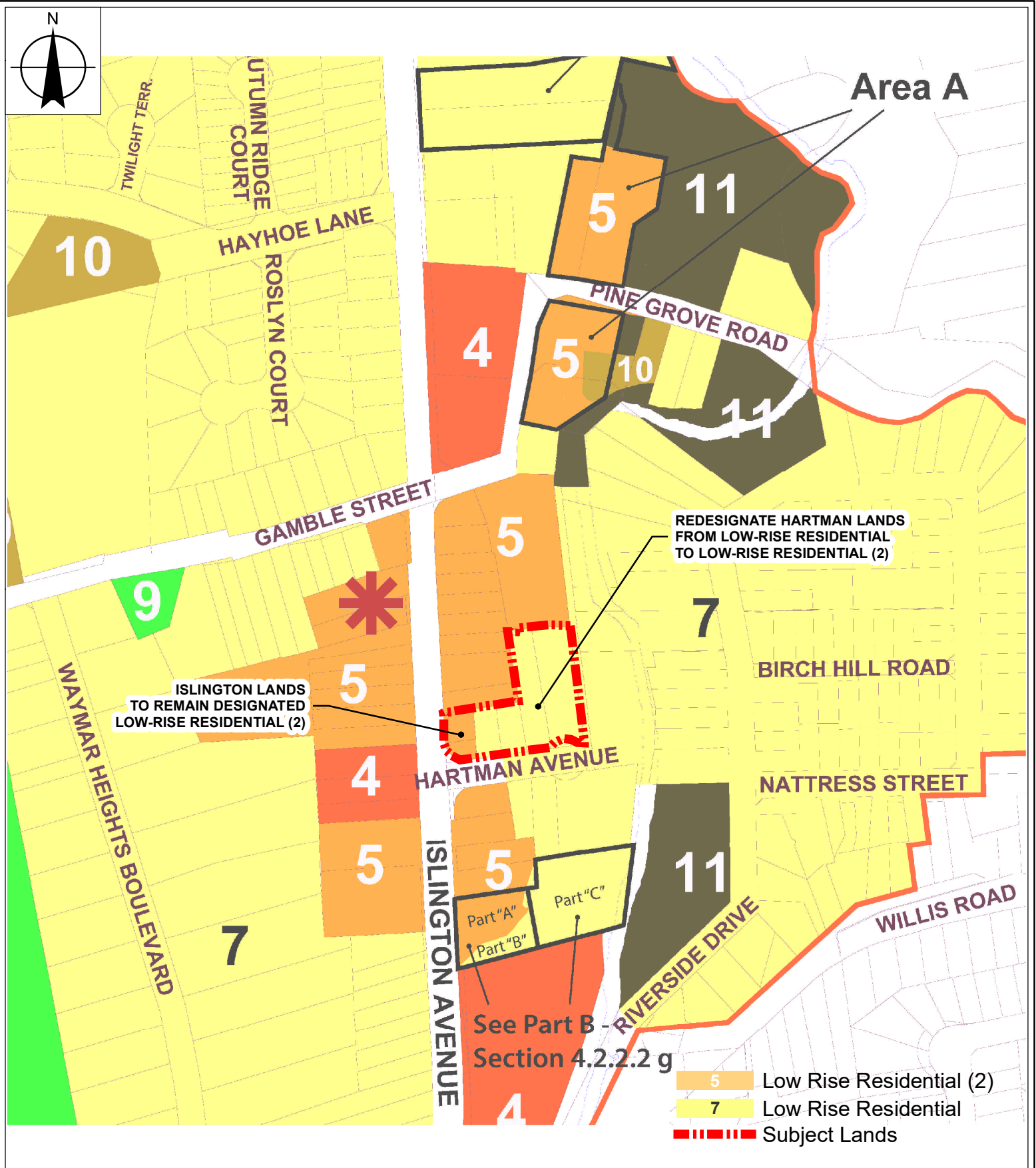
Mark Antoine, Senior Planner, ext. 8212

Carmela Marrelli, Senior Manager of Development Planning, ext. 8791

Mauro Peverini, Director of Development Planning, ext. 8407

/FA





Current Official Plan Designation and Proposed Amendment

LOCATION:
Part of Lot 9, Concession 7

APPLICANT:
Naiman Consulting



Attachment

FILES:
OP.19.011 and Z.19.033

DATE:
July 13, 2020

2



VOP 2010 Schedule 13 Land Use

LOCATION:
Part of Lot 9, Concession 7

APPLICANT:
Naiman Consulting

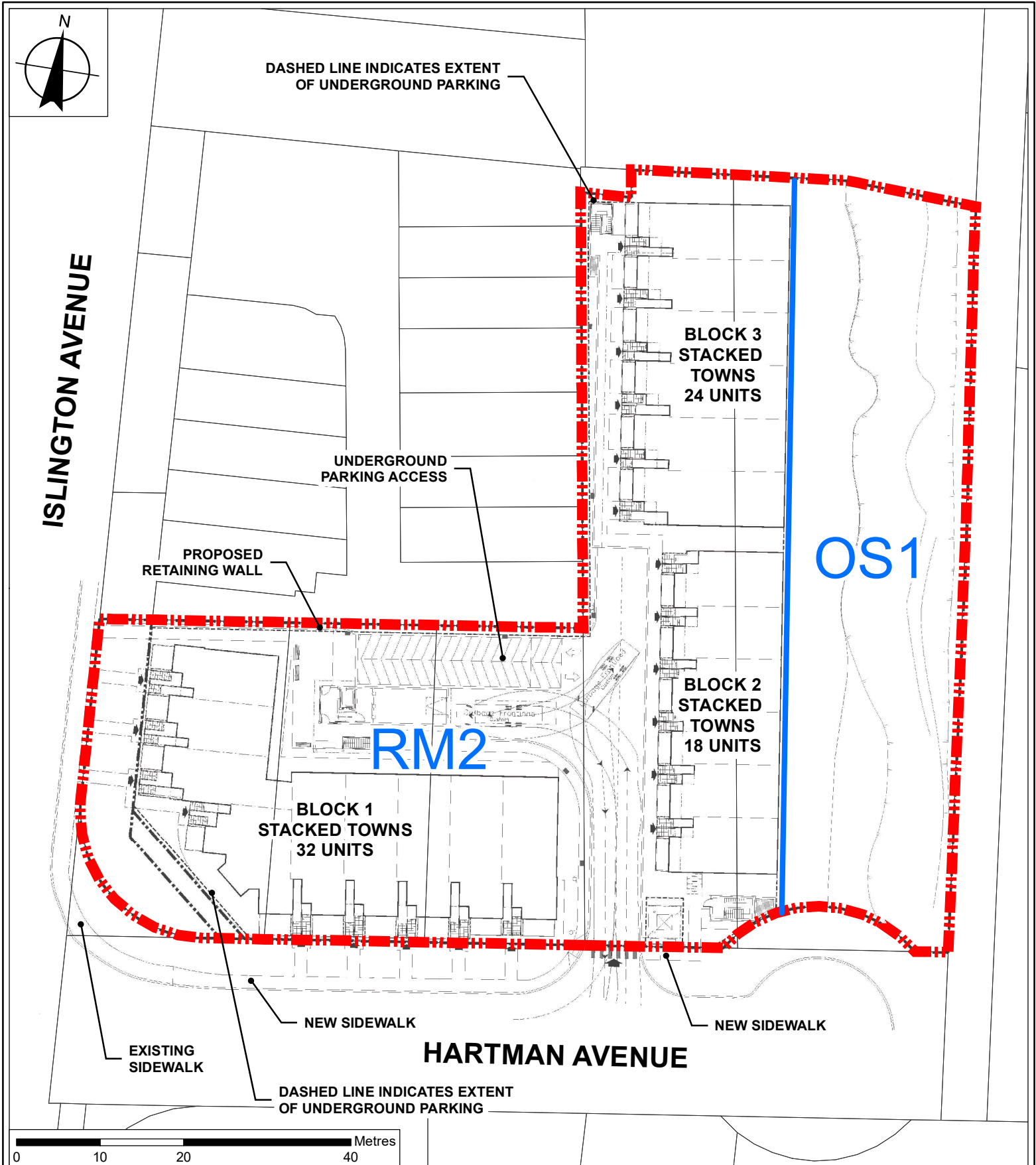


Attachment

FILES:
OP.19.011 and Z.19.033

DATE:
July 13, 2020

3



Proposed Zoning and Concept Plan

LOCATION:
Part of Lot 9, Concession 7

APPLICANT:
Naiman Consulting



Attachment

FILES:
OP.19.011 and Z.19.033

DATE:
July 13, 2020

4



Not to Scale

Typical Building Elevations - Block 1 Facing Islington Avenue and Hartman Avenue

LOCATION:
Part of Lot 9, Concession 7

APPLICANT: Naiman Consulting



Attachment

FILES:
OP.19.011 and Z.19.033

DATE:
July 13, 2020

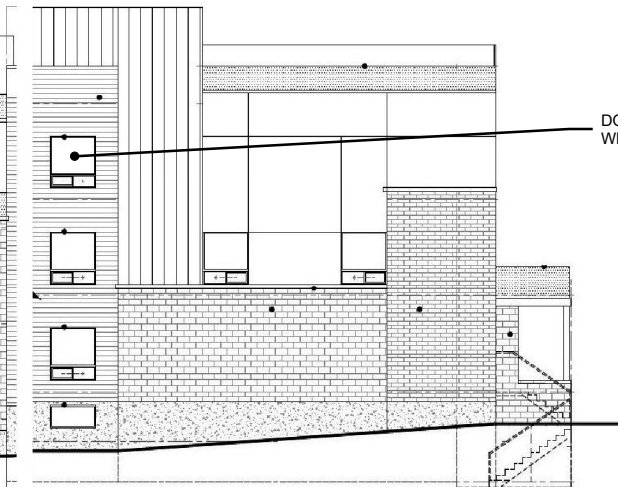
5

METAL SIDING WITH WOOD PATTERN



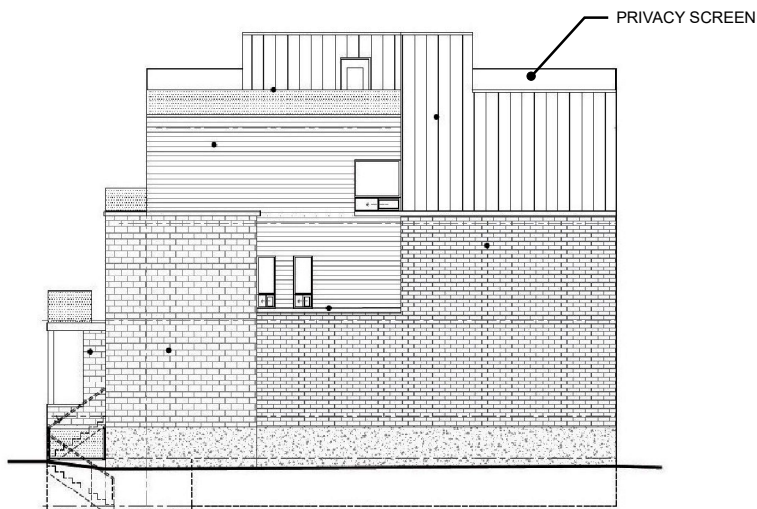
STONE FINISH

NORTH ELEVATION
(FACING INTERIOR COURT)



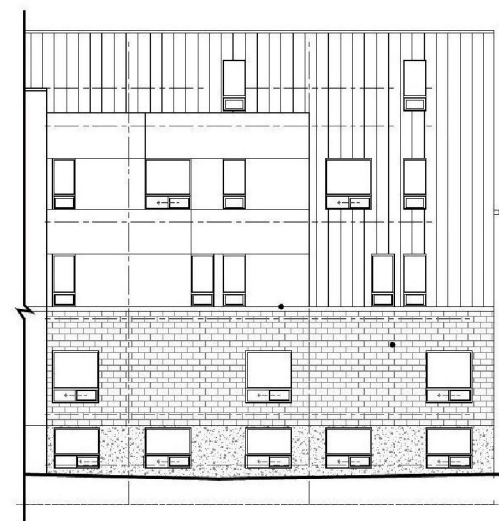
DOUBLE GLAZED
WINDOW (CLEAR GLASS)

NORTH ELEVATION
(FACING EXISTING TOWNHOUSE DWELLINGS)



PRIVACY SCREEN

EAST ELEVATION
(FACING INTERIOR DRIVEWAY)



EAST ELEVATION
(FACING INTERIOR COURT)

Not to Scale

Typical Building Elevations - Block 1 Interior Court and Driveway

LOCATION:
Part of Lot 9, Concession 7

APPLICANT: Naiman Consulting



Attachment

FILES:
OP.19.011 and Z.19.033

DATE:
July 13, 2020

6

Committee of the Whole (Public Hearing) Report

DATE: Monday, July 13, 2020

WARD(S): 2

**TITLE: PRIMONT (ISLINGTON) INC.
OFFICIAL PLAN AMENDMENT FILE OP.19.013
ZONING BY-LAW AMENDMENT FILE Z.19.035
7082 ISLINGTON AVENUE**

FROM:

Nick Spensieri, Acting Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To receive comments from the public and the Committee of the Whole on Official Plan and Zoning By-law Amendment Files OP.19.013 and Z.19.035 for the subject lands shown on Attachment 1. The Owner seeks approval to: amend Vaughan Official Plan 2010 to redesignate a portion of the subject lands from “Low-Rise Residential” to “High-Rise Residential” and increase the maximum permitted building height from 22 to 32-storeys; and to rezone a portion of the subject lands from “RT1(H) Residential Townhouse Zone” with a Holding Symbol (“H”) to “OS2 Open Space Park Zone” and increase the maximum permitted building height from 22 to 32-storeys for the “RA3(H) Apartment Residential Zone” with a Holding Symbol (“H”), together with the site-specific exceptions identified in Table 1 of this report. The applications would facilitate the development of four (4) residential apartment buildings ranging in height from 22 to 32-storeys, having a total of 997 total units and a Floor Space Index of 4.5 times the area of the lot, and 103 townhouse units on a private common element road, as shown on Attachments 1 to 6.

Report Highlights

- To receive input from the public and the Committee of the Whole regarding Official Plan and Zoning By-law Amendment applications to permit an apartment and townhouse development on the subject lands.
- An amendment to Vaughan Official Plan 2010 is required to increase the maximum permitted building height from 22 to 32-storeys and to re-designate a portion of the subject lands from “Low-Rise Residential” to “High-Rise Residential”.
- An amendment to Zoning By-law 1-88 is required to increase the building height and rezone a portion of the subject lands from “RT1(H) Residential Townhouse Zone” with a Holding Symbol (“H”) to “OS2 Open Space Park Zone.”
- A technical report will be prepared by the Development Planning Department to be considered at a future Committee of the Whole meeting.

Recommendations

1. THAT the Public Hearing report for Official Plan and Zoning By-law Amendment Files OP.19.013 and Z.19.035 (Primont (Islington) Inc.) BE RECEIVED; and that any issues identified be addressed by the Development Planning Department in a comprehensive technical report to a future Committee of the Whole meeting.

Background

The subject lands (‘Subject Lands’), shown on Attachment 1 are municipally known as 7082 Islington Avenue and located on the west side of Islington Avenue, north of Steeles Avenue West. The Subject Lands abut valley lands to the west, identified as “Other Lands Owned by Applicant, Not Part of this Application”, as shown on Attachment 1.

Council on May 5, 2009, approved Zoning By-law Amendment File Z.05.017 (Ferma Properties Inc.) for the Subject Lands permitting a maximum of 1,040 residential units. The approval also included live/work units, seven (7) residential apartment buildings ranging in building height from 8 to 12-storeys, 2,187 parking spaces and a range of ground floor commercial uses in accordance with Official Plan Amendment 605 (‘OPA 605’), which previously applied to the Subject Lands.

Council on June 19, 2018, approved Official Plan and Zoning By-law Amendment Files OP.15.007 and Z.15.030 and Draft Plan of Subdivision File 19T-17V006 (Islington Steeles Ventures Inc.) for the Subject Lands, to permit apartments and townhouse units in two phases, as shown on Attachment 7 and as follows:

Phase 1

- 135, 4-storey back-to-back and street townhouse units over 14 residential blocks on a private common element road

Phase 2

- Four (4), 19 to 22-storey residential apartment buildings containing a total of 760 units, with a gross floor area ('GFA') of 78,983 m² and a Floor Space Index ('FSI') of 4.7 times the area of the lot for the portion (1.68 ha) of the Subject Lands designated 'High-Rise Residential'
- Four (4) levels of underground parking to serve the apartment buildings containing 760 residential parking spaces and 153 visitor parking spaces
- A 1,180 m² private outdoor amenity area

Official Plan and Zoning By-law Amendment Applications have been submitted to permit the development on the Subject Lands

Primont (Islington) Inc. (the 'Owner') has submitted the following applications (the 'Applications') to permit the development shown on Attachments 2 to 6 (the 'Development'):

1. Official Plan Amendment File OP.19.013 to amend Vaughan Official Plan 2010 ('VOP 2010'), specifically Volume 2, Section 13.41 - 7082 Islington Avenue, Official Plan Amendment 27 ('OPA 27') to:
 - a) redesignate a portion of the Subject Lands (Attachment 2) from "Low-Rise Residential" to "High-Rise Residential" and permit an at-grade outdoor amenity area atop an underground parking garage; and
 - b) increase the maximum permitted building height from 22 to 32-storeys for the entire "High-Rise Residential" designation.
2. Zoning By-law Amendment File Z.19.019 to amend Zoning By-law 1-88, subject to site-specific Exception 9(1323) as follows, together with the site-specific zoning exceptions identified in Table 1 of this report:
 - a) rezone a portion (Attachment 3) of the Subject Lands from "RT1(H) Residential Townhouse Zone" with a Holding Symbol ("H") to "OS2 Open Space Park Zone" and permit additional uses in the OS1 Zone, including a portion of an underground parking garage for Towers 1 and 4 and associated mechanical, electrical, utility and infrastructure services, and loading spaces; and
 - b) increase the permitted maximum building height from 22-storeys (75 metres) to 32-storeys (103 metres) for the entirety of the lands zoned "RA3(H) Apartment Residential Zone Three" with a Holding Symbol ('RA3(H) Zone').

The Development is proposed over two phases and consists of the following as shown on Attachment 3:

Phase 1

- 103, 4-storey back-to-back and street townhouse units over 11 residential blocks on a private common element road

Phase 2

- Four (4), 22 to 32-storey residential apartment buildings with 3-storey podiums containing a total of 997 units, having a GFA of 92,990 m² and an FSI of 4.5 times the area of the lot designated 'High-Rise Residential' (2.08 ha) as shown on Attachment 2
- Five (5) levels of underground parking containing 898 residential parking spaces and 170 visitor parking spaces, and 30 surface parking spaces to serve the apartment buildings
- A 3,620 m² private outdoor amenity area

Public Notice was provided in accordance with the Planning Act and Council's Notification Protocol

- a) Date the Notice of Public Hearing was Circulated: June 23, 2020

The Notice of Public Hearing was also posted on the City's website at www.vaughan.ca and a Notice Sign was installed along the Islington Avenue street frontage in accordance with the City's Notice Signs Procedures and Protocols.

- b) Circulation Area: 150 m radius from the Subject Lands and to the West Woodbridge Homeowners Association
- c) The Development Planning Department received written comments/questions from J. Fantino, Islington Avenue, representing Famee Furlane of Toronto (email dated May 12, 2020) regarding the following matters/questions:
- The location of points of ingress/egress to the Subject Lands;
 - How many inhabitants are anticipated for the Development;
 - How many parking spaces are proposed;
 - Any potential commercial component to the Development; and
 - What traffic studies have been conducted for the Development.

Any written comments received will be forwarded to the Office of the City Clerk to be distributed to the Committee of the Whole as a Communication. All written comments that are received will be reviewed by the Development Planning Department as input in the application review process and will be addressed in a technical report to be considered at a future Committee of the Whole meeting.

Previous Reports/Authority

Previous reports related to the Applications are available at the following web links:

[April 20, 2009 CoW Z.05.017 Ferma Properties Inc. \(Item 25, Report No. 23\)](#)

[Sept 19, 2017 CoW \(PH\) OP.15.007, Z.15.030, 19T-17V006 Islington Steeles Ventures Inc. \(Item 1, Report No. 32\)](#)

[June 5, 2018 CoW OP.15.007, Z.15.030, 19T-17V006 Islington Steeles Ventures Inc. \(Item 46, Report No. 21\)](#)

Analysis and Options

Amendments to OPA 27 of VOP 2010 are required to permit the Development

The Subject Lands are designated “High-Rise Residential”, “Low-Rise Residential” and “Natural Areas” by site-specific OPA 27. The “High Rise Residential” designation permits the development of four (4) residential apartment buildings with a maximum building height of 22-storeys and a maximum FSI of 4.7 times the area of the Subject Lands designated “High-Rise Residential”. The “Low-Rise Residential” designation permits back-to-back townhouse and street townhouse dwelling units with a maximum building height of 4-storeys, a maximum of 16 back-to-back townhouse dwelling units within a townhouse block, and permissions for the townhouse units to front onto a common element private road.

The Owner is proposing to redesignate a 0.4 hectare portion of the Subject Lands from “Low Rise Residential” to “High-Rise Residential”, increase the maximum permitted building height from 22 to 32-storeys and include policies to permit an at-grade outdoor amenity area atop an underground parking garage, as shown on Attachment 2.

The proposed expansion of the “High Rise Residential” designation on the Subject Lands results in an FSI of 4.5 times the area of the Subject Lands designated High-Rise Residential. Despite the proposed addition of 237 apartment units through the Applications, the density for the “High-Rise Residential” portion of the Subject Lands has decreased from 4.7 FSI to 4.5 FSI due to an additional 0.4 hectare of land area being designated “High-Rise Residential”; therefore, an amendment to the maximum permitted FSI is not proposed.

Amendments to site-specific Exception 9(1323) are required to permit the Development

The Subject Lands are zoned “RA3(H) Apartment Residential Zone Three” (‘RA3(H) Zone’) and “RT1(H) Residential Townhouse Zone” (‘RT1(H) Zone’) each with a Holding Symbol, “OS1 Open Space Conservation Zone” (‘OS1 Zone’) and “OS2 Open Space Park Zone” (‘OS2 Zone’) as shown on Attachment 1, and subject to site-specific Exception 9(1323). This zoning permits the development shown on Attachment 7, including residential apartment buildings with a maximum building height of 22-storeys (75 metres) on the RA3(H) Zone portion of the Subject Lands, and back-to-back townhouse and street townhouse dwelling units fronting onto a private common element

road on the RT1(H) Zone portion of the Subject Lands, subject to the conditions identified in Exception 9(1323) that are required to lift the Holding Symbol “(H)”.

The Owner is proposing to amend site-specific Exception 9(1323) to rezone a portion (Attachment 3) of the Subject Lands from “RT1(H) Residential Townhouse Zone” with a Holding Symbol (‘RT1(H)’) to “OS2 Open Space Park Zone” (‘OS2 Zone’), together with the following site-specific zoning exceptions:

Table 1

	Zoning By-law 1-88 Standards	Site-Specific Exception 9(1323) Requirements	Proposed Amendments to Site-Specific Exception 9(1323)
a.	Maximum Building Height in the RA3 Zone	22-storeys (75 m), exclusive of mechanical equipment and architectural features	32-storeys (103 m), exclusive of mechanical equipment and architectural features
b.	Minimum Parking Requirements in an RA3 Zone	<u>Towers 1 and 2</u> <ul style="list-style-type: none"> • 383 units at 1 space/unit = 383 spaces • 383 units at 0.2 visitor spaces/unit = 77 spaces <u>Towers 3 and 4</u> <ul style="list-style-type: none"> • 377 units at 1 space/unit = 377 spaces • 377 units at 0.2 visitor spaces/unit = 76 spaces <p>Total: 913 spaces</p>	<u>Towers 1 and 2</u> <ul style="list-style-type: none"> • 547 units at 0.9 spaces/unit = 493 spaces • 547 units at 0.2 visitor spaces/unit = 110 spaces <u>Towers 3 and 4</u> <ul style="list-style-type: none"> • 450 units at 0.9 spaces/unit = 405 spaces • 450 units at 0.2 visitor spaces/unit = 90 spaces <p>Total: 1,098 spaces</p>
c.	Permitted Uses Within the OS1 Zone	<ul style="list-style-type: none"> • Conservation Uses – Conservation Project and Forestry Project • Recreational Uses – Limited to a walking trail only • At-grade Visitor Parking • Bicycle Parking • Hard and Soft Landscaping 	<p>Permit the following additional uses:</p> <ul style="list-style-type: none"> • Mechanical, electrical, utility and infrastructure services • Loading spaces • A portion of an underground parking garage for Tower 4

	Zoning By-law 1-88 Standards	Site-Specific Exception 9(1323) Requirements	Proposed Amendments to Site-Specific Exception 9(1323)
		<ul style="list-style-type: none"> A portion of an underground parking garage for Tower 1 only 	
d.	Maximum Driveway Width	15 m	16 m

Additional zoning exceptions may be identified through the detailed review of the Applications and will be considered in a technical report to a future Committee of the Whole meeting.

Following a preliminary review of the Applications, the Development Planning Department has identified the following matters to be reviewed in further detail:

	Matters to be Reviewed	Comment(s)
a.	Consistency and Conformity with Provincial Policies and Official Plans	<ul style="list-style-type: none"> The Applications will be reviewed in consideration of the statutory Provincial policies including the Provincial Policy Statement 2014 (the 'PPS'), A Place to Grow: Growth Plan for the Greater Golden Horseshoe 2019 (the 'Growth Plan'), and the policies of the York Region Official Plan ('YROP 2010') and VOP 2010 Should a decision on the Applications be made on or after May 1, 2020, the Applications will be reviewed in consideration of the Provincial Policy Statement 2020
b.	Appropriateness of the Proposed Amendments to VOP 2010	<ul style="list-style-type: none"> The Owner is proposing to re-designate a portion of the Subject Lands from "Low-Rise Residential" to "High-Rise Residential", and amend the maximum permitted building height from 22-storeys to 32-storeys The Owner is proposing to designate lands for a private open space to High-Rise Residential in order to not exceed the maximum permitted FSI of 4.7 times the area of the lot on the "High-Rise Residential" portion of the Subject Lands. The appropriateness of designating private park space as "High-Rise Residential" rather than permitting an increased FSI will be reviewed

	Matters to be Reviewed	Comment(s)
		<ul style="list-style-type: none"> The Applications will be reviewed in consideration of the “Urban Structure” policies of VOP 2010, OPA 27, and the built form compatibility with the existing and planned surrounding land uses
c.	Appropriateness of the proposed Zoning and Site-Specific Exceptions	<ul style="list-style-type: none"> The appropriateness of the proposed rezoning for a portion of the RT1(H) Zone to an OS2 Zone and amendments to site-specific Exception 9(1323) will be reviewed in consideration of the built form compatibility with the existing and planned surrounding land uses, and appropriate development standards
d.	Studies and Reports	<ul style="list-style-type: none"> The following studies and reports were submitted in support of the Applications and must be approved to the satisfaction of the City and/or respective public approval authority: <ul style="list-style-type: none"> – Planning Justification Report – Urban Design Brief – Arborist Report – Pedestrian Level Wind Study – Sun and Shadow Study – Community Services and Facilities Report – Parkland Dedication Calculations Table – Functional Servicing and Stormwater Management Report – Geotechnical Report – Noise and Vibration Report – Phase 1 and 2 Environmental Site Assessment – Slope Stability Assessment – Traffic Impact Study – Natural Heritage Evaluation – Sustainability Metrics These reports and studies are available on the City’s website at https://maps.v Vaughan.ca/planit/ (PLANit Viewer) Additional studies/reports may be required as part of the application review process

	Matters to be Reviewed	Comment(s)
e.	Urban Design Guidelines	<ul style="list-style-type: none"> • The Development will be reviewed in consideration of the City of Vaughan City-wide Urban Design Guidelines
f.	Related Site Development Applications	<ul style="list-style-type: none"> • Site Development File DA.18.015 for Phase 1 must be revised to reflect the current Development consisting of 103, 4-storey back-to-back and street townhouse units over 11 residential blocks on a private common element road, whereas 135 units were previously proposed • Site Development File DA.20.007 for Towers 1 and 2, as shown on Attachment 3, for a portion of Phase 2 of the Development, will be reviewed comprehensively and concurrently with the Applications • The review of the Site Development Applications will consider, but not be limited to, the following matters: <ul style="list-style-type: none"> – Appropriate built form, building elevations and materials, site design, enhanced landscaping, and interface with Islington Avenue – Site circulation, pedestrian connectivity, proper vehicular access and turning movements, including service vehicles – Barrier-free accessibility – Appropriate landscape, amenity and snow storage areas – Implementation of appropriate waste collection design standards, stormwater management, and site servicing and grading – Potential connections from the Subject Lands to the adjacent and nearby natural areas and future trails – Impacts to natural heritage features adjacent to the Subject Lands – Accessibility and location of the proposed at-grade and underground residential and visitor parking spaces

	Matters to be Reviewed	Comment(s)
		<ul style="list-style-type: none"> • A Site Development Application(s) will be required for Towers 3 and 4, should the Applications be approved
g.	Draft Plan of Subdivision Application	<ul style="list-style-type: none"> • Vaughan Council, on June 19, 2018, approved Draft Plan of Subdivision File 19T-17V006 (Islington Steeles Ventures Inc), subject to conditions of draft approval, to permit the development shown on Attachment 7 • The Owner must address all outstanding conditions for Draft Plan of Subdivision File 19T-17V006 prior to registration of the subdivision
h.	Draft Plan of Condominium and Part Lot Control Applications	<ul style="list-style-type: none"> • Draft Plan of Condominium Applications will be required to establish the condominium tenure and common elements of the apartment buildings and townhouse development, should the Applications be approved • A Part Lot Control application(s) is required to establish parcels of tied-land ('POTLS') for individual ownership for the townhouse development
i.	Sustainable Development	<ul style="list-style-type: none"> • Opportunities for sustainable design, including Crime Prevention Through Environmental Design ('CPTED'), Leadership in Energy and Environmental Design ('LEED'), permeable pavers, bioswales, drought tolerant landscaping, energy efficient lighting, reduction in pavement, bird-friendly treatments, etc., will be reviewed and implemented through the Site Development Application process, should the Applications be approved • In accordance with the City of Vaughan's Sustainability Metrics Program, the Development must achieve a minimum Bronze Threshold Application Score
j.	Parkland Dedication	<ul style="list-style-type: none"> • The Owner will be required to pay to the City of Vaughan cash-in-lieu of parkland dedication, prior to the issuance of a Building Permit, in accordance with the <i>Planning Act</i> and the City of Vaughan's Cash-in-

	Matters to be Reviewed	Comment(s)
		<p>Lieu of Parkland Policy, should the Applications be approved</p> <ul style="list-style-type: none"> The final value of the cash-in-lieu of parkland dedication will be determined by the Real Estate Department
k.	Water and Servicing Allocation	<ul style="list-style-type: none"> The availability of water and sanitary servicing capacity for the Development must be identified and allocated by Vaughan Council, should the Applications be approved If servicing allocation is unavailable, the Holding Symbol “(H)” will remain on the Subject Lands until Vaughan Council identifies and allocates servicing capacity for the Subject Lands, and the Owner satisfies all other conditions for the removal of the Holding Symbol “(H)” from the Subject Lands
l.	Section 37 (Density Bonusing) of the <i>Planning Act</i> , VOP 2010 and City Guidelines	<ul style="list-style-type: none"> The Applications will be subject to, and reviewed in consideration of, the City’s bonusing for increases in building height and density (Section 37 of the <i>Planning Act</i>) policies of VOP 2010, and the City’s Guidelines for the Implementation of Section 37 of the <i>Planning Act</i>, whereby Council may authorize an increase in building height and/or density in return for community benefits
m.	York Region - Road Widening, Access and Traffic	<ul style="list-style-type: none"> The Subject Lands are located on Islington Avenue, which has a planned 36 m right-of-way and is under the jurisdiction of York Region York Region will identify any required land conveyances and approve the location and design of the proposed access/egress driveway. York Region must review and approve the Traffic Impact Study submitted in support of the Applications
n.	Ministry of Transportation Ontario (‘MTO’)	<ul style="list-style-type: none"> Highway 407 is situated to the north of the Subject Lands, which is under the jurisdiction of the MTO

	Matters to be Reviewed	Comment(s)
		<ul style="list-style-type: none"> • The MTO must review and approve the Traffic Impact Study submitted in support of the Applications • The MTO previously provided comments on Draft Plan of Subdivision File 19T-17V006 that must be addressed by the Owner
o.	Toronto and Region Conservation Authority ('TRCA')	<ul style="list-style-type: none"> • The Development abuts lands containing a valley corridor and several unevaluated wetland features that are regulated by the TRCA. The limits of the natural area, including a 7 m buffer from the long-term stable top of bank, were previously assessed. A 3 m setback from the 7 m buffer was recommended to create an overall structural setback of 10 m from the long-term stable top-of-bank. Any encroachment into the 10 m setback will be reviewed through the Applications • The Owner is required to address comments provided by the TRCA
p.	Canadian Pacific Railway ('CPR') and Canadian National Railway ('CNR')	<ul style="list-style-type: none"> • The Subject Lands abut both CPR and CNR operated rail lines. The Applications have been circulated to the CPR and CNR for review
q.	Design Review Panel ('DRP')	<ul style="list-style-type: none"> • The DRP on March 30, 2017, considered the previous development approved through Official Plan and Zoning By-law Amendment Files OP.15.007 and Z.15.030. The DRP shall reconsider the revised Applications

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

The Subject Lands are located on Islington Avenue, which has a planned 36 m right-of-way and is under the jurisdiction of York Region. The Applications have been circulated to the York Region Community Planning and Development Services Department for review and comment.

The Owner has requested an exemption from Regional approval of Official Plan Amendment File OP.19.013 in accordance with YROP 2010 and By-law A-0265-189-017, to be considered by York Region. At the time of preparation of this report, York Region has not advised of the status of the request for exemption. Any issues identified by York Region will be addressed through a technical report at a future Committee of the Whole meeting.

Conclusion

The preliminary issues identified in this report and any other issues identified through the processing of the Applications will be considered through a technical review, together with comments from the public and Vaughan Council expressed at the Public Hearing or in writing, and will be addressed in a comprehensive report to a future Committee of the Whole meeting.

For more information, please contact: Chris Cosentino, Planner, at extension 8215

Attachments

1. Context & Location Map
2. Proposed Official Plan Designation
3. Site Plan and Proposed Zoning
4. Landscape Plan
5. Apartment Building Elevations
6. Townhouse Cross-Section
7. Approved Zoning and Development Concept - Files OP.15.007 & Z.15.030

Prepared by

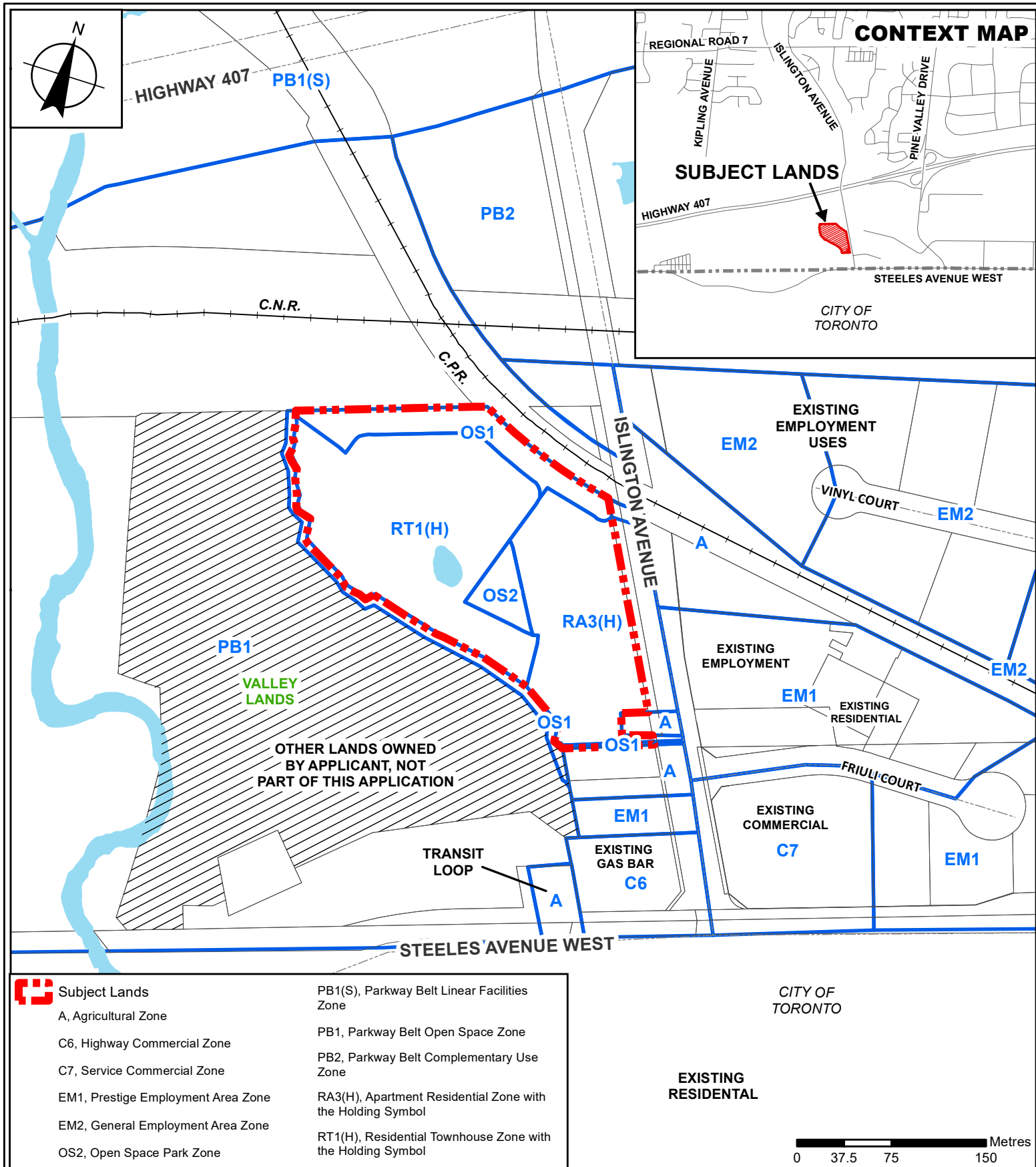
Chris Cosentino, Planner, ext. 8215

Mark Antoine, Senior Planner, ext. 8212

Carmela Marrelli, Senior Manager of Development Planning, ext. 8791

Mauro Peverini, Director of Development Planning, ext. 8407

/FA



Context & Location Map

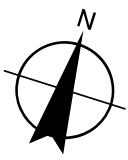
LOCATION:
Part of Lot 1, Concession 7
7082 Islington Avenue

APPLICANT:
Primont (Islington) Inc.



Attachment

FILES:
OP.19.013, Z.19.035
RELATED FILES:
DA.18.015, DA.20.007
DATE:
July 13, 2020



**LANDS TO BE
REDESIGNATED
FROM LOW-RISE
RESIDENTIAL TO
HIGH-RISE
RESIDENTIAL**

**LOW-RISE
RESIDENTIAL**

**NATURAL
AREAS**

**TOWER 1
22-STOORIES**

BUILDING A

**HIGH-RISE
RESIDENTIAL
H - 32
D - 4.5**


**TOWER 2
32-STOORIES**

ISLINGTON AVENUE

**TOWER 3
30-STOORIES**

BUILDING B

**TOWER 4
22-STOORIES**

 **Lots to be Redesignated**

 **Subject Lands**

0 15 30 60 Metres

Proposed Official Plan Designation

LOCATION:
Part of Lot 1, Concession 7
7082 Islington Avenue

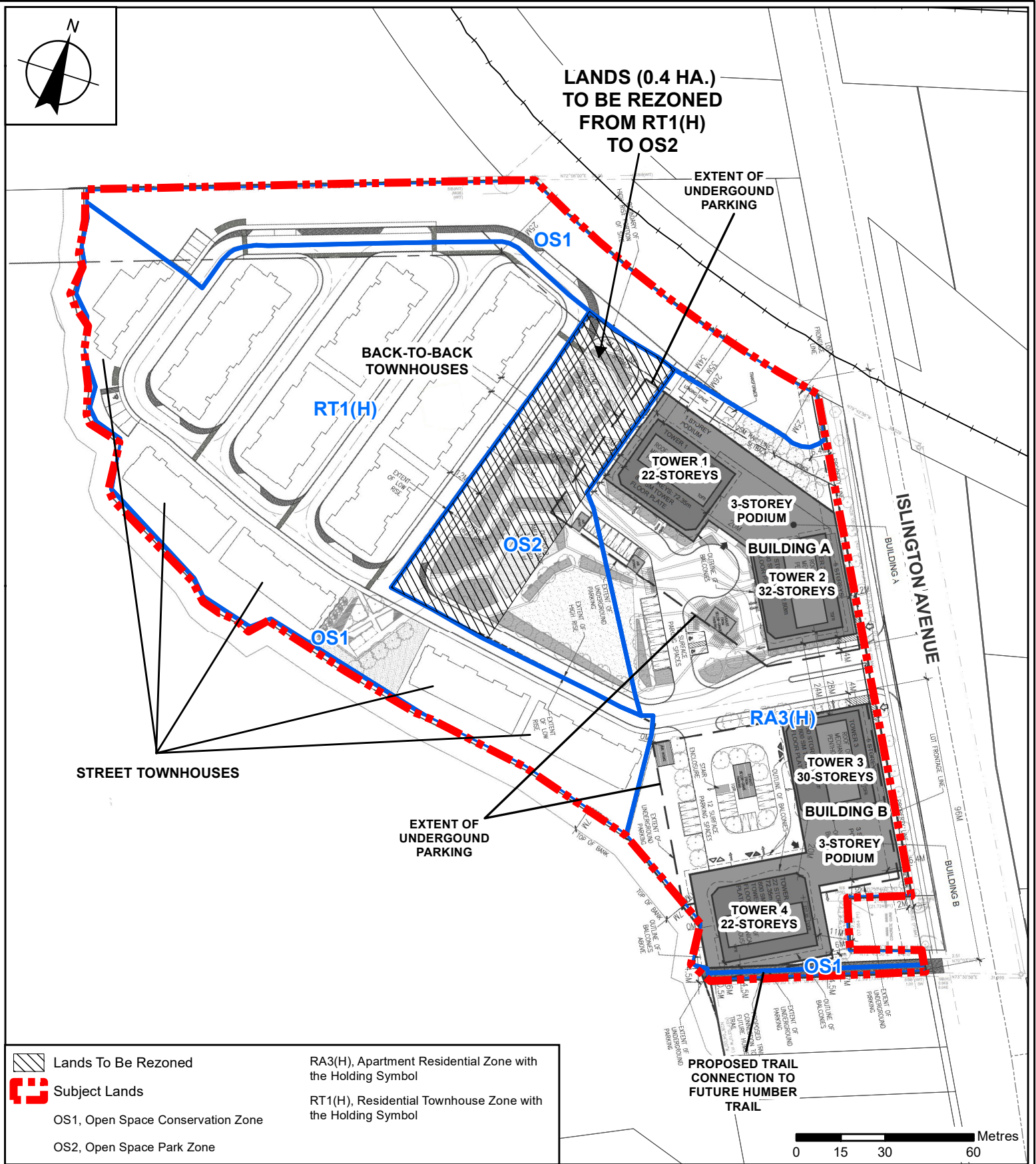
APPLICANT:
Primont (Islington) Inc.



Attachment

FILES:
OP.19.013, Z.19.035
RELATED FILES:
DA.18.015, DA.20.007
DATE:
July 13, 2020

2



Site Plan and Proposed Zoning

LOCATION:
Part of Lot 1, Concession 7
7082 Islington Avenue

APPLICANT:
Primont (Islington) Inc.



Attachment


FILES:
OP.19.013, Z.19.035

RELATED FILES:
DA.18.015, DA.20.007

DATE:
July 13, 2020

3



 Subject Lands

Landscape Plan

LOCATION:
Part of Lot 1, Concession 7
7082 Islington Avenue

APPLICANT:
Primont (Islington) Inc.



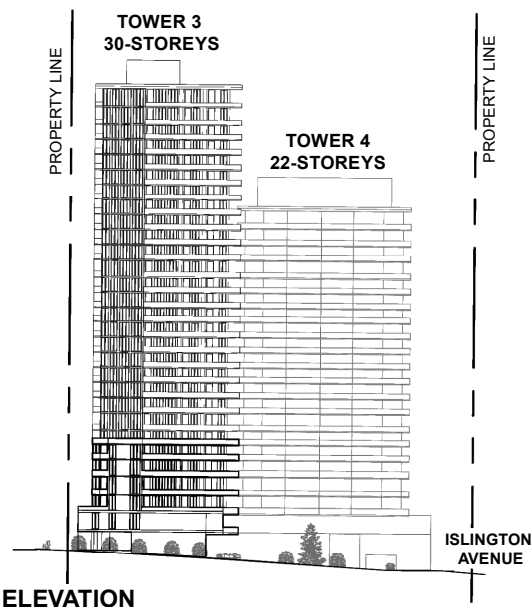
Attachment

FILES:
OP.19.013, Z.19.035
RELATED FILES:
DA.18.015, DA.20.007
DATE:
July 13, 2020

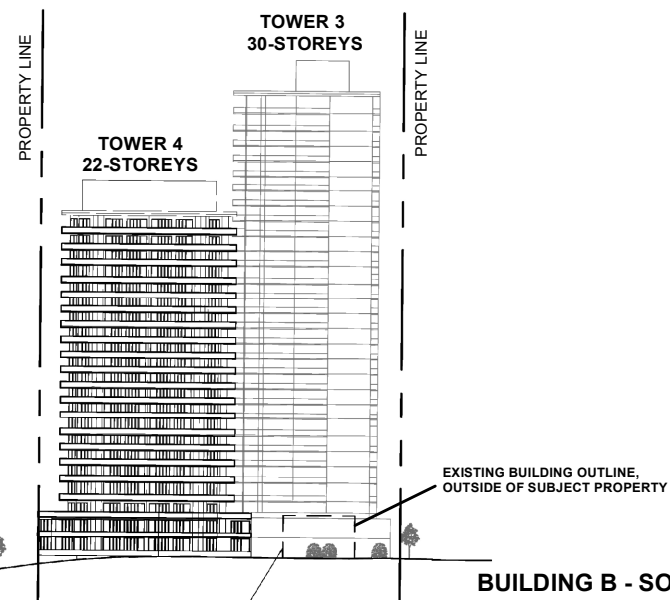
4



BUILDINGS A & B - EAST ELEVATION FACING ISLINGTON AVENUE



BUILDING B - NORTH ELEVATION



BUILDING B - SOUTH ELEVATION

Apartment Building Elevations

LOCATION:
Part of Lot 1, Concession 7
7082 Islington Avenue

APPLICANT:
Primont (Islington) Inc.

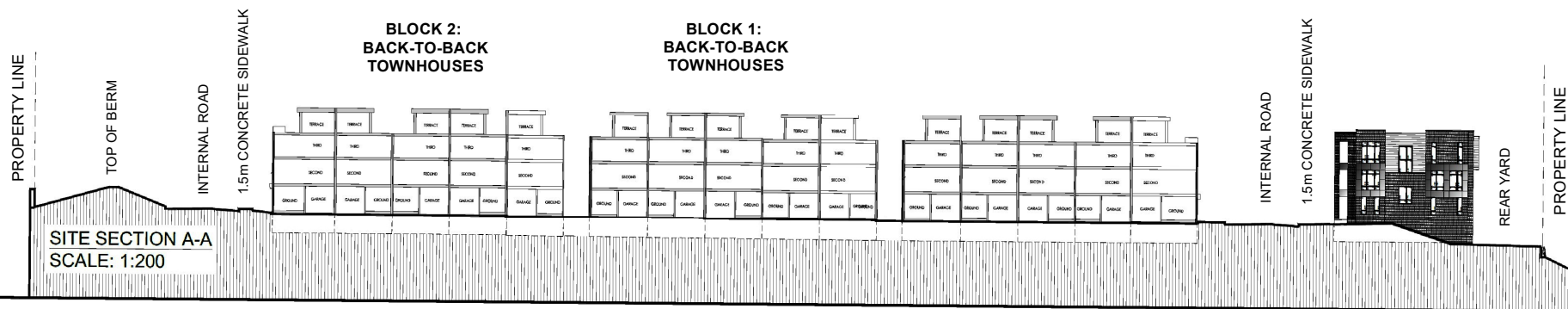


Attachment

FILES:
OP.19.013, Z.19.035
RELATED FILES:
DA.18.015, DA.20.007

DATE:
July 13, 2020

5



Townhouse Cross-Section

LOCATION:
Part of Lot 1, Concession 7
7082 Islington Avenue

APPLICANT:
Primont (Islington) Inc.



Attachment

FILES:
OP.19.013, Z.19.035
RELATED FILES:
DA.18.015, DA.20.007
DATE:
July 13, 2020

6

Committee of the Whole (Public Hearing) Report

DATE: Monday, July 13, 2020

WARD(S): 5

TITLE: THE SALZ CORPORATION

OFFICIAL PLAN AMENDMENT FILE OP.20.001

ZONING BY-LAW AMENDMENT FILE Z.20.004

DRAFT PLAN OF SUBDIVISION FILE 19T-20V001

100 STEELES AVENUE WEST

VICINITY OF YONGE STREET AND STEELES AVENUE WEST

FROM:

Nick Spensieri, Acting Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To receive comments from the public and the Committee of the Whole on Official Plan and Zoning By-law Amendment and Draft Plan of Subdivision Files OP.20.001, Z.20.004 and 19T-20V001 for the subject lands shown on Attachment 1. The Owner seeks the approval of the development shown on Attachments 2 to 8 consisting of the following:

- Tower 1: 54-storey mixed-use apartment building with a 7-storey podium (637 units) and 1,203 m² of ground floor retail area
- Tower 2: 49-storey residential apartment building with a 7-storey podium (652 units)
- Towers 3 and 4: 2, 18-storey residential apartment buildings with a 6-storey podium having 244 and 232 units respectively
- A 3,996 m² Commercial Block
- 5 levels of underground parking
- A maximum density (Floor Space Index) of 8.4 times the area of the lot

Report Highlights

- To receive input from the public and the Committee of the Whole for a mixed-use development comprised of 4 buildings having a total of 1,765 residential units, ground floor retail uses, and a commercial block, all served by 5 levels of underground parking
- Official Plan and Zoning By-law Amendments and a Draft Plan of Subdivision are required to permit the Development
- A technical report prepared by the Development Planning Department will be considered at a future Committee of the Whole meeting

Recommendations

1. THAT the Public Hearing report for Official Plan Amendment File OP.20.001, Zoning By-law Amendment File Z.20.004 and Draft Plan of Subdivision File 19T-20V001 (The Salz Corporation) BE RECEIVED; and, that any issues identified be addressed by the Development Planning Department in a comprehensive report to the Committee of the Whole.

Background

The subject lands (the 'Subject Lands') shown on Attachment 1, are municipally known as 100 Steeles Avenue West and are located on the north side of Steeles Avenue West, west of Yonge Street. The Subject Lands are currently developed with 2, single-storey commercial buildings.

Official Plan and Zoning By-law Amendment and Draft Plan of Subdivision Applications have been submitted to permit the Development

The Salz Corporation (the 'Owner') has submitted the following applications (the 'Applications') for the Subject Lands shown on Attachment 1 to permit the development shown on Attachments 2 to 8:

1. Official Plan Amendment File OP.20.001 to amend in-effect Official Plan Amendment 210 ('Thornhill Vaughan Community Plan') to redesignate the Subject Lands from "General Commercial Area" and "Low Density Residential" to "Mixed Commercial/Residential Area" with a maximum Floor Space Index ('FSI') of 8.4 times the area of the lot, a maximum building height of 54-storeys and a 0 m front yard setback to Steeles Avenue West (the 'Development').
2. Zoning By-law Amendment File Z.20.004 to amend Zoning By-law 1-88 to rezone the Subject Lands from "C2 General Commercial Zone" subject to site-specific Exception 9(731) to "RA3 Apartment Residential Zone" in the manner shown on Attachment 2, and to permit the site-specific zoning exceptions identified in Table 1 of this report.
3. Draft Plan of Subdivision File 19T-20V001, as shown on Attachment 3, for a plan of subdivision consisting of the following:

<u>Blocks</u>	<u>Land Use</u>	<u>ha</u>
Block 1	Commercial	0.40
Block 2	Commercial/Residential	0.54
Block 3	Residential	0.37
Block 4	Residential	0.33
Street 'A'	Road	0.42
Total		2.06

Public Notice was provided in accordance with the Planning Act and Council's Notification Protocol and to an extended notification area

- a) Date the Notice of Public Hearing was circulated: June 23, 2020.

The Notice of Public Hearing was also posted on the City's web-site at www.vaughan.ca and a Notice Sign was installed on the property in accordance with the City's Notice Signs, Procedures and Protocols.

- b) Circulation Area: A minimum 150 m radius from the Subject Lands, to the Springfarm Ratepayers' Association, the City of Toronto, the City of Markham and to anyone on file with the Office of the City Clerk having requested notice.

- c) Comments Received:

The Development Planning Department received written comments from the following (as of June 29, 2020):

- B. Gerstein, Glenmanor Way, email dated June 26, 2020
- S. Clodman; email dated June 26, 2020
- SpringFarm Ratepayers' Association, meeting held on March 12, 2020

The following is a summary of the comments provided in the written correspondence received to date. Resident comments have been organized by theme as follows:

Density and Height

- the development is too dense and the buildings too high for the neighbourhood
- the proposed density and building heights are double those permitted in the Yonge-Steeles Corridor Secondary Plan (the 'YSCSP')

Traffic/Transportation

- the Yonge Street and Steeles Avenue area is congested with traffic
- the planned subway will not be constructed in time to alleviate traffic in area with the proposed density of the development
- the proposed developments in the area do not have an integrated road network which will cause further traffic issues

- the development does not include the required east/west road to the rear of the property as identified in the YSCSP

Other

- no coordination is provided between the proposed developments in the area
- no public uses, parks, community centres, public spaces for existing and new residents in area are proposed

Any written comments received will be forwarded to the Office of the City Clerk to be distributed to the Committee of the Whole as a Communication. All written comments received will be reviewed by the Development Planning Department as input in the application review process and will be addressed in a technical report to be considered at a future Committee of the Whole meeting.

Previous Reports/Authority

Not applicable.

Analysis and Options

Amendments to in-effect Official Plan Amendment 210 (Thornhill Vaughan Community Plan) are required to permit the Development

The Subject lands are designated “General Commercial Area” and “Low Density Residential” by in-effect Official Plan Amendment 210 (Thornhill Vaughan Community Plan). The “General Commercial Area” designation permits the existing commercial uses to continue and retail stores, restaurants, banks and business and professional offices. The “Low Density Residential” designation permits single detached units with a net density of 22 units per hectare. The Development of mixed-use residential apartment buildings, ranging in heights from 18 to 54-storeys with a density of 8.4 FSI does not conform to the “General Commercial Area” and “Low Density Residential” policies of OPA 210.

The Owner proposes to amend OPA 210 to redesignate the Subject Lands to “Mixed Commercial/Residential Area” and permit residential uses, business and professional offices, retail uses, and associated facilities with no prescribed maximum building height or density requirements and in accordance with a comprehensive design scheme to ensure the compatibility of the commercial and residential uses. In accordance with OPA 210, the Owner has submitted conceptual design plans and studies in support of the Applications to facilitate the Development shown on Attachments 2 to 8.

The Yonge Steeles Corridor Secondary Plan (Volume 2, Vaughan Official Plan 2010) has been appealed to the Local Planning Appeal Tribunal

The Subject Lands have a dual designation. The front half of the Subject Lands along Steeles Avenue West are designated “High-Rise Mixed-Use” and the rear portion “Mid-Rise Residential” by Vaughan Official Plan 2010 (‘VOP 2010’), Volume 2, Yonge Steeles Corridor Secondary Plan (‘YSCSP’).

The “High-Rise Mixed-Use” designation permits residential, retail, community and office uses with a maximum FSI of 3.5 times the area of the lot and a maximum building height of 22-storeys. The High-Rise Mixed-Use policies require new development along Steeles Avenue West to be setback approximately 3 m, be designed with the highest quality and are intended to support existing and planned transit services located within approximately 600-700 metres.

The “Mid-Rise Residential” designation is intended to provide a transition from the higher densities and taller buildings along Steeles Avenue West and the existing Low-Rise Residential neighbourhood to the north. New development is expected to be in the form of townhouses, stacked townhouses and low-rise buildings not exceeding 5-storeys in height and a maximum FSI of 1.5 times the area of the lot.

The proposed Development, comprised of buildings ranging in height from 18 to 54-storeys, a density of 8.4 FSI, and a 0 m building setback along Steeles Avenue West does not conform to the building height, density, and setback policies of the YSCSP.

Vaughan Council on September 7, 2010, adopted the YSCSP. York Region Council on January 21, 2016, adopted the YSCSP with modifications. The Owner has appealed the YSCSP to the Ontario Municipal Board (‘OMB’), now the Local Planning Appeal Tribunal (‘LPAT’) as it pertains to the Subject Lands. A number of landowners in the YSCSP area have also appealed the Secondary Plan to the OMB/LPAT. The YSCSP is not in-effect for the Subject Lands.

Amendments to Zoning By-law 1-88 are required to permit the Development

The Subject Lands are zoned “C2 General Commercial Zone”, subject to site-specific Exception 9(731) by Zoning By-law 1-88. This zoning does not permit the Development. The Owner proposes to amend Zoning By-law 1-88 to rezone the Subject Lands to “RA3 Apartment Residential Zone” together with the following site-specific zoning exceptions to permit the Development shown on Attachments 2 to 8:

Table 1:

	Zoning By-law 1-88 Standards	RA3 Apartment Residential Zone Requirements	Proposed Exceptions to the RA3 Apartment Residential Zone
a.	Permitted Uses	<ul style="list-style-type: none"> - Apartment Dwelling - Day Nursery 	Permit the following additional uses within the Commercial Building and Tower 1: <ul style="list-style-type: none"> - Automotive Retail Store - Bank or Financial Institution - Brewers Retail Outlet - Business or Professional Office - Club or Health Centre

	Zoning By-law 1-88 Standards	RA3 Apartment Residential Zone Requirements	Proposed Exceptions to the RA3 Apartment Residential Zone
			<ul style="list-style-type: none"> - Eating Establishment - Eating Establishment, Convenience & Take-out - Hotel - Laboratory - L.C.B.O Outlet - Motel - Motor Vehicle Sales Establishment - Multi-Unit Building - Office Building - Personal Service Shop - Pet Grooming Establishment, to be contained within a wholly enclosed building - Pharmacy - Photography Studio - Place of Amusement - Place of Entertainment - Retail Nursery - Retail Store - Service or Repair Shop - Studio - Supermarket - Technical or Commercial School - Veterinary Clinic - Video Store
b.	Definitions	<p>Amenity Area - Means space outside a dwelling unit within or outside the building designed for the passive enjoyment or active recreational needs of the residents</p> <p>Lot - Means a parcel of land fronting on a street separate from any abutting land to the</p>	<p>Amenity Area - Means an indoor or outdoor shared communal space designed and maintained for active or passive recreational uses for residents of a dwelling but shall not include any exclusive area only accessible by from an individual unit</p> <p>Lot - Means the Subject Lands shall be deemed to</p>

	Zoning By-law 1-88 Standards	RA3 Apartment Residential Zone Requirements	Proposed Exceptions to the RA3 Apartment Residential Zone
		extent that a consent contemplated by Section 50 of the <i>Planning Act</i> , R.S.O. 1990, c. P. 13. would not be required for its conveyance. For the purpose of this paragraph, land defined in an application for a building permit shall be deemed to be a parcel of land and a reserve shall not form part of the lot	be one lot, regardless of the number of buildings and units, and the creation of any new lot by plans or subdivision, plan of condominium, part lot control, consent, and any easement or registrations that are given
c.	Minimum Parking Requirements	<u>Residential</u> 1.5 spaces/unit x 1,765 units = 2,648 spaces <u>Visitor</u> 0.25 spaces/unit x 1765 units = 442 spaces <u>Commercial</u> 6 spaces/100 m ² x 13,921 m ² = 836 spaces Total Parking Required = 3,926 spaces	<u>Residential</u> 0.538 spaces/unit x 1765 units = 950 spaces <u>Visitor</u> 0.149 spaces/unit x 1765 units = 264 spaces <u>Commercial</u> 0.51 spaces/100 m ² x 13,921 m ² = 72 spaces Provide a total of 1,286 spaces
e.	Minimum Loading Space Requirements	4 loading spaces (Block 1) 1 loading space (Block 2) = 5 loading spaces	A minimum total of 4 loading spaces shall be provided
f.	Maximum Residential Units	No requirement	Maximum of 1,765 units
g.	Minimum Front Yard	7.5 m	0 m
h.	Maximum Building Height	44 m (14-storeys)	Commercial Building - 20 m (4-storeys) Tower 1 - 152 m (49-storeys) Tower 2 - 168 m (54-storeys) Towers 3 and 4 - 57 m (18-storeys)
i.	Minimum Lot Area Per Unit	67 m ² /unit	Tower 1 - 4.21 m ² /unit Tower 2 - 15.3 m ² /unit

	Zoning By-law 1-88 Standards	RA3 Apartment Residential Zone Requirements	Proposed Exceptions to the RA3 Apartment Residential Zone
			Towers 3 and 4 - 14.03 m ² /unit
j.	Minimum Amenity Area	996 One Bedroom Unit x 20 m ² /unit = 19,920 m ² 650 Two Bedroom Unit x 55 m ² /unit = 35,750 m ² 119 Three Bedroom Unit x 90 m ² /unit = 10,710 m ² Total required amenity area = 66,380 m ²	Provide a total amenity area of 5,600 m ²

Other zoning exceptions may be identified through the detailed review of the Applications and will be considered in a technical report at a future Committee of the Whole meeting.

Following a preliminary review of the Applications, the Development Planning Department has identified the following matters to be reviewed in greater detail

	MATTERS TO BE REVIEWED	COMMENT(S)
a.	Consistency and Conformity with Provincial Policies, and York Region Official Plan	<ul style="list-style-type: none"> The Applications will be reviewed in consideration of the statutory Provincial policies including the Provincial Policy Statement 2020 (the 'PPS'), the Growth Plan for the Greater Golden Horseshoe 2017 (the 'Growth Plan'), and the policies of the York Region Official Plan ('YROP 2010')

	MATTERS TO BE REVIEWED	COMMENT(S)
b.	City of Vaughan Official Plans	<ul style="list-style-type: none"> The appropriateness of the proposed redesignation of the Subject Lands to a "Mixed Commercial/Residential Area" designation will be reviewed in consideration of the policies of the in-effect OPA 210 and VOP 2010 The Applications will be reviewed in consideration of the Council and York Region adopted YSCSP policies, including but not limited to, the following:

		<ul style="list-style-type: none"> - the appropriateness of redesignating the rear portion of the Subject Lands from “Mid-Rise Residential” to “High-Rise Mixed-Use Residential” - the appropriateness of increasing the maximum permitted FSI from 1.5 and 3.5 to 8.4 times the area of the lot - the appropriateness of increasing the maximum permitted building height from 5 and 22-storeys to 54-storeys - the affordable housing policies of the Official Plan - the proposed 0m building setback along Steeles Avenue West and the urban design policies - the policy requirement to provide retail uses along Steeles Avenue West - constraints with the construction of and connections to the future Yonge subway extension and bus station that may affect the site design - pre and post subway population thresholds identified by the Yonge Steeles Area Regional Transportation Study - coordinated development between all YSCSP landowners and proposed development applications - appropriateness of proposed road “Street A” - connection to future extension of Royal Palm Drive to the rear of the Subject lands - requirement of a planned publicly accessible open space to the rear of the Subject lands <ul style="list-style-type: none"> ▪ The Applications will be reviewed in consideration of the City’s Urban Structure established in VOP 2010
c.	Appropriateness of Proposed Rezoning and Site-Specific Zoning Exceptions	<ul style="list-style-type: none"> ▪ The appropriateness of the proposed rezoning of the Subject Lands and the site-specific amendments to Zoning By-law 1-88 required to permit the Development will be reviewed in consideration of the existing and planned surrounding land uses and the city’s new draft comprehensive zoning by-law

d.	Studies and Reports	<ul style="list-style-type: none"> ▪ The Owner has submitted the following studies and reports in support of the Applications: <ul style="list-style-type: none"> - Planning Justification Report - Urban Design Brief - Community Services and Facilities Plan - Phase 1 Environmental Site Assessment - Pedestrian Wind Assessment - Sun/Shadow Study - Hydrogeological Investigation - Functional Servicing and Stormwater Management Report - Noise and Vibration Feasibility Study - Geotechnical Investigation - Transportation Study - Tree Inventory and Preservation Plan and Study ▪ These reports are available on the city's website at https://maps.vaughan.ca/planit/ (PLANit Viewer) ▪ Additional studies and/or reports may be required as part of the Application review process
e.	Design Review Panel	<ul style="list-style-type: none"> ▪ The Development will be reviewed by the City of Vaughan Design Review Panel ('DRP')

	MATTERS TO BE REVIEWED	COMMENT(S)
f.	Public Agency/Municipal Review	<ul style="list-style-type: none"> ▪ The Subject Lands are located within the review areas of Metrolinx, the Toronto Transit Commission ('TTC'), City of Toronto, City of Markham, York Region Rapid Transit Corporation and the Region of York. The Owner will be required to address the comments from the external public agencies / municipalities and the Public, Separate, and French School Boards
g.	Sustainable Development	

	MATTERS TO BE REVIEWED	COMMENT(S)
		<ul style="list-style-type: none"> ▪ In accordance with the City of Vaughan Sustainability Metrics Program the Development must achieve a Bronze Threshold Overall Application Score ▪ Opportunities for sustainable design, including CPTED (Crime Prevention Through Environmental Design), LEED (Leadership in Energy and Environmental Design), permeable pavers, bio-swales, drought tolerant landscaping, energy efficient lighting, reduction in pavement etc., will be reviewed and implemented through the Site Plan review process, if the Applications are approved
h.	Comprehensive Development	<ul style="list-style-type: none"> ▪ The YSCSP encourages comprehensive assembly within the development blocks of the Secondary Plan. Development shall proceed in an orderly manner including required infrastructure, parks and streets ▪ It is encouraged that landowners within the YSCSP propose development on a comprehensive basis including a phasing strategy that provides for the equitable sharing of the costs of public infrastructure among benefitting landowners
i.	Proposed Draft Plan of Subdivision	<ul style="list-style-type: none"> ▪ Should the Applications be approved, the required Draft Plan of Subdivision conditions will be included to address site access, road alignments and connections, servicing and grading, environmental considerations, noise, and other municipal, regional and public agency and utility requirements
j.	Yonge Subway Extension Metrolinx/Toronto Transit Commission	<ul style="list-style-type: none"> ▪ The planned Yonge Subway Extension ("YSE") is a cross-jurisdictional project from the City of Toronto into the City of Markham, City of Vaughan and City of Richmond Hill. The YSE

	MATTERS TO BE REVIEWED	COMMENT(S)
		<p>includes a subway station located at Yonge Street and Steeles Avenue West</p> <ul style="list-style-type: none"> ▪ The development will be reviewed in consideration of any land requirements from Metrolinx and/or the Toronto Transit Commission including but not limited to land required during construction and ultimate design for right-of-way, subway connections and bus platform for Steeles Avenue West Bus Route
k.	Proposed Roads and Road Widenings	<ul style="list-style-type: none"> ▪ The Development is bisected by a proposed public road, Street "A", as shown on Attachment 1, with an interim cul-de-sac to the rear. The proposed cul-de-sac appears to extend north onto adjacent properties ▪ The YSCSP establishes a Road Network for the Secondary Plan area and identifies the eastward extension of Royal Palm Drive at the rear of the Subject Lands ▪ The proposed roads and interim cul-de-sac will be reviewed by the Development Engineering Department and consideration of the policies of the YSCSP ▪ The Development fronts onto Steeles Avenue West. This right-of-way, including the northerly boulevard, belongs to the City of Toronto and is under their jurisdiction. Required road widenings, encroachment permits, or agreements shall be determined by the City of Toronto
l.	Parks and Publicly Accessible Open Space	<ul style="list-style-type: none"> ▪ The YSCSP delineates Parks and Publicly Accessible Open Space throughout the Secondary Plan area. The YSCSP identifies a Publicly Accessible Open Space to be located on the north portion of the Subject Lands abutting the planned Royal Palm Drive extension

	MATTERS TO BE REVIEWED	COMMENT(S)
		<ul style="list-style-type: none"> ▪ The requirement and details of the Publicly Accessible Open Space shall be reviewed by the Parks Planning Department
m.	Site Development and Draft Plan of Condominium Application(s)	<ul style="list-style-type: none"> ▪ A future Site Development and Draft Plan of Condominium Application(s) will be required, if the Applications are approved, to permit the Development and to establish the ownership tenure(s) of the Development ▪ Should the Applications be approved, the required Draft Plan of Subdivision conditions will be included to address site access, road alignments and connections, servicing and grading, environmental considerations, noise, and other municipal, regional and public agency and utility requirements
n.	Parkland Dedication	<ul style="list-style-type: none"> ▪ The Owner shall convey land at the rate of 1 ha per 300 / units and or pay to the City of Vaughan by way of certified cheque, cash-in-lieu of the dedication of parkland at the rate of 1 ha per 500 units, or at a fixed unit rate, prior to the issuance of a Building Permit, in accordance with the <i>Planning Act</i> and the City's Cash-in-Lieu policies, if the Applications are approved
o.	Bonusing (Section 37 of the <i>Planning Act</i>)	<ul style="list-style-type: none"> ▪ The Applications will be subject to and reviewed in consideration of the City's bonusing for increases in building height and density (Section 37 of the <i>Planning Act</i>) policies of VOP 2010, and the City's Guidelines for the Implementation of Section 37 of the <i>Planning Act</i>, whereby Council may authorize an increase in building height and/or density in return for community benefits

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

The Applications have been circulated to the York Region Community Planning and Development Services Department for review and comment. Any Regional issues will be addressed when the technical report is considered. At the time of the preparation of this report the Owner had not requested exemption from York Region approval of Official Plan Amendment File OP.20.001.

Conclusion

The preliminary issues identified in this report and any other issues identified through the processing of the Applications will be considered in the technical review of the Applications, together with comments from the public and Vaughan Council expressed at the Public Hearing or in writing, and will be addressed in a comprehensive report to a future Committee of the Whole meeting.

For more information, please contact: Mary Caputo, Senior Planner, Development Planning Department, ext. 8635

Attachments

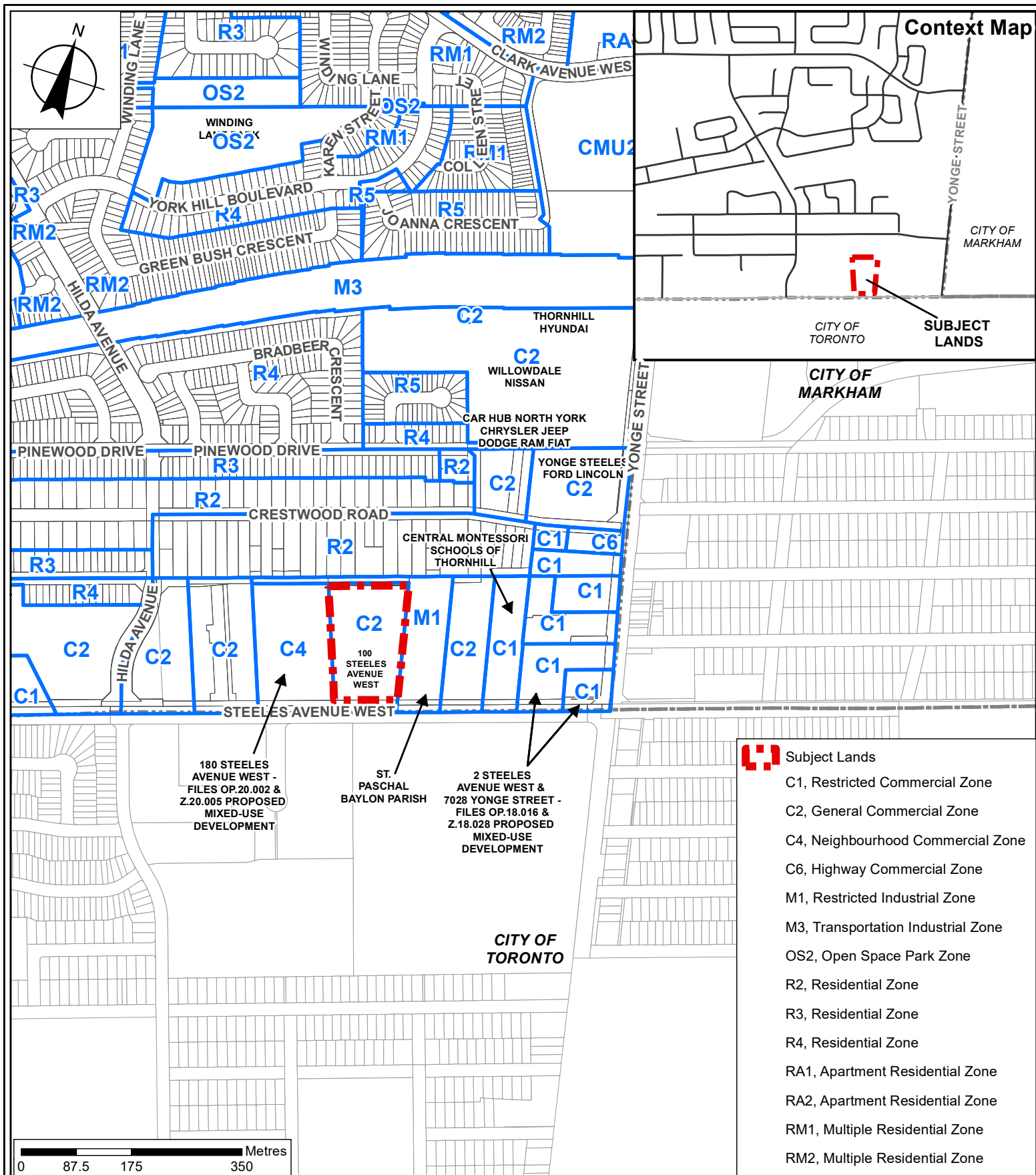
1. Context and Location Map
2. Conceptual Site Plan and Proposed Zoning
3. Draft Plan of Subdivision
4. Conceptual Landscape Plan
5. Building Elevations - Towers 1 & 2 (South and West)
6. Building Elevations - Towers 1 & 2 (North and East)
7. Building Elevations - Tower 3
8. Building Elevations - Tower 4

Prepared by

Mary Caputo, Senior Planner - ext. 8635

Nancy Tuckett, Senior Manager of Development Planning - ext. 8529

Mauro Peverini, Director of Development Planning - ext. 8407



Context and Location Map

Location:
Part of Lot 26, Concession 1

Applicant:
The Salz Corporation

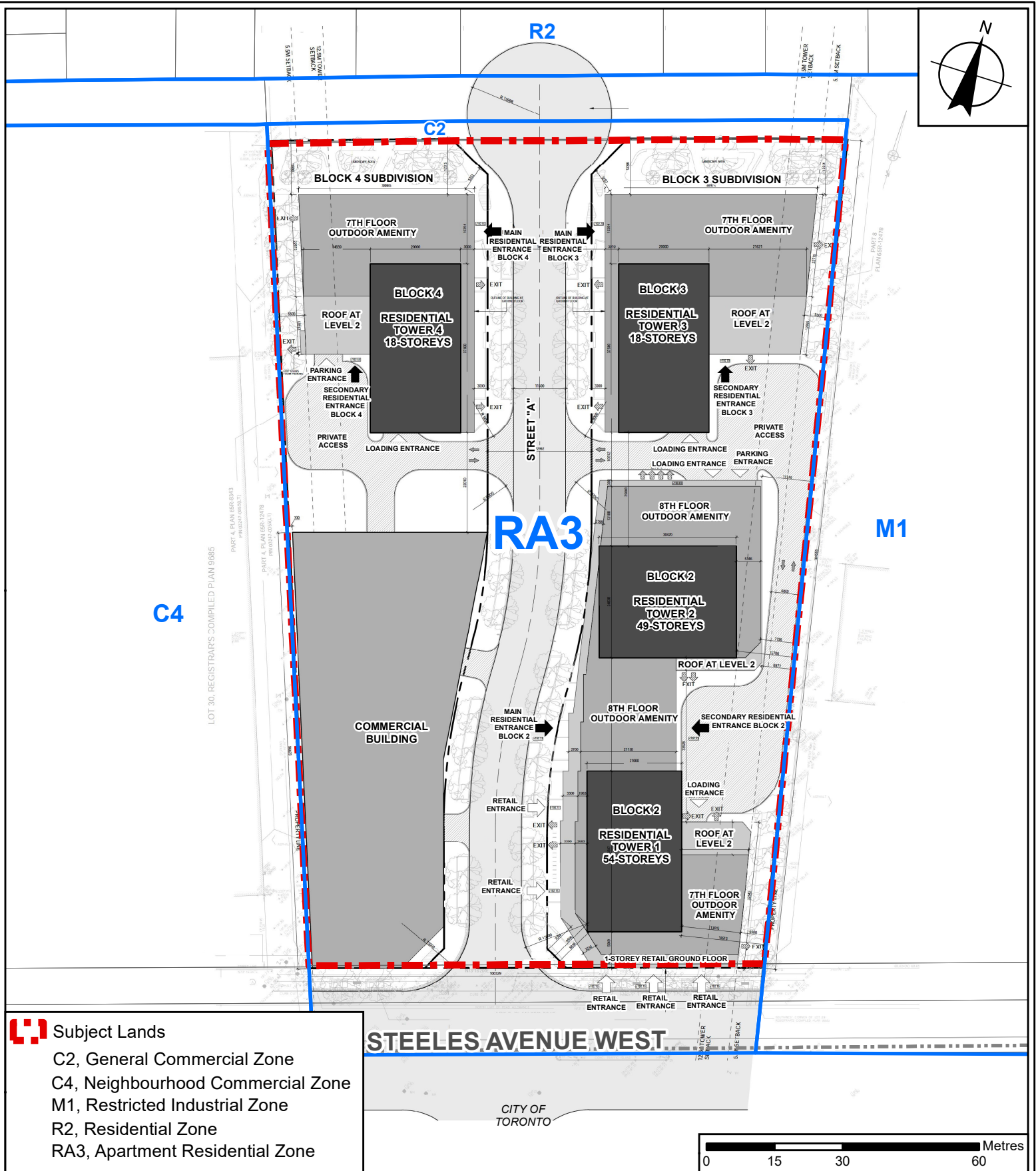


Attachment

Files:
OP.20.001, Z.20.004, and 19T-20V001

Date:
July 13, 2020

1



Conceptual Site Plan & Proposed Zoning

Location:
Part of Lot 26, Concession 1

Applicant: The Salz Corporation



Attachment

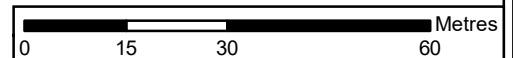
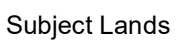
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19T-20V001

Date:
July 13, 2020

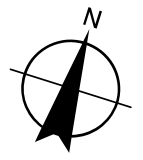
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**CITY OF
TORONTO**



3

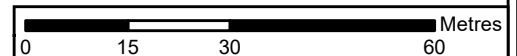


STEELES AVENUE WEST

CITY OF
TORONTO



Subject



Conceptual Landscape Plan

Location:
Part of Lot 26, Concession 1

Applicant:
The Salz Corporation

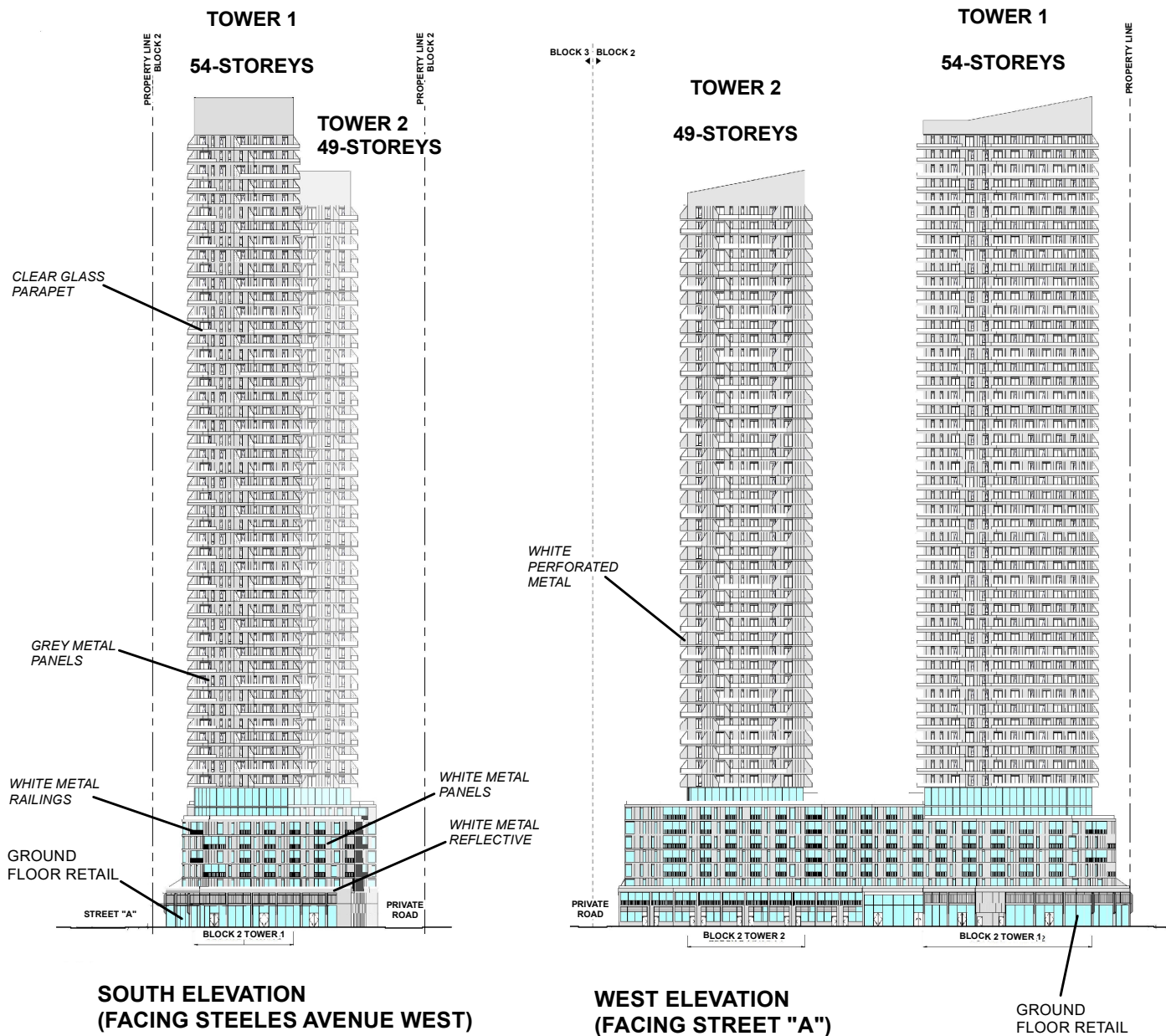


Attachment

Files:
OP.20.001, Z.20.004, and
19T-20V001

Date:
July 13, 2020

4



Not to Scale

Building Elevations - Towers 1 & 2

Location:
Part of Lot 26, Concession 1

Applicant:
The Salz Corporation

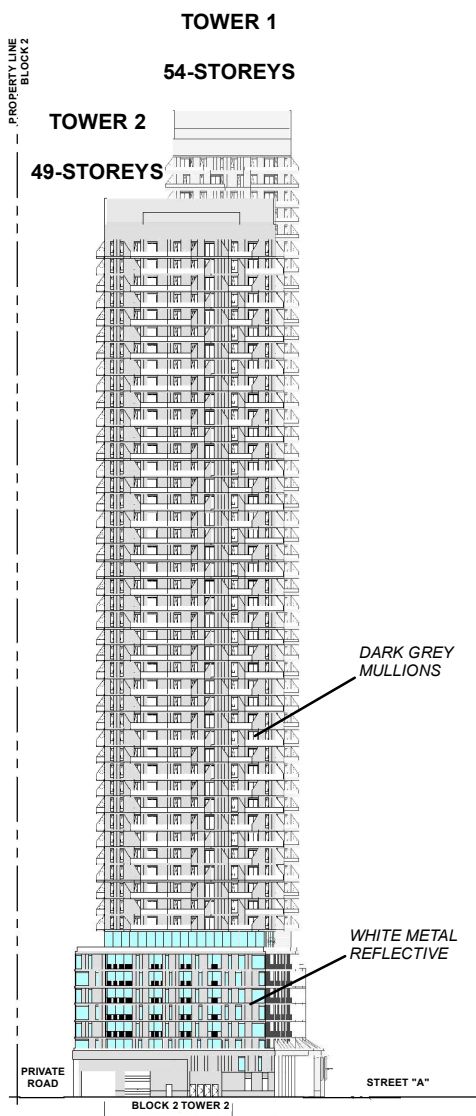


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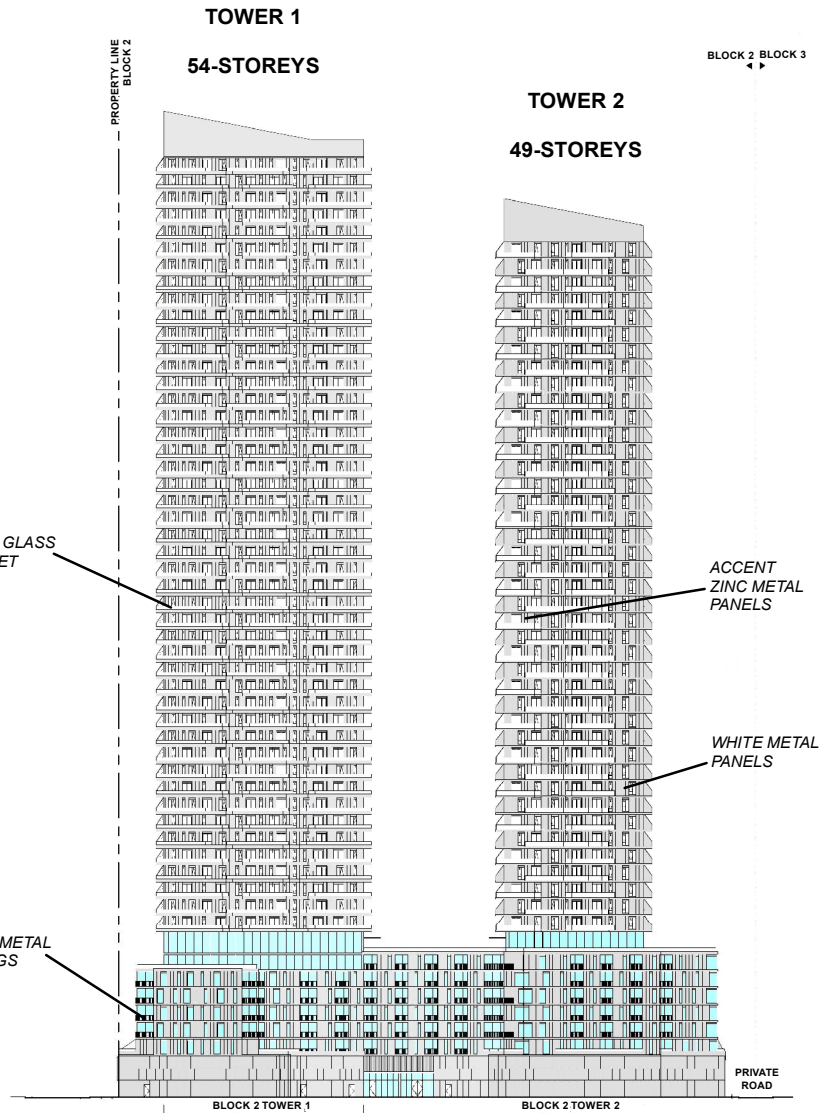
Files:
OP.20.001, Z.20.004, and
19T-20V001

Date:
July 13, 2020

5



NORTH ELEVATION



EAST ELEVATION

Not to Scale

Building Elevations - Towers 1 & 2

Location:
Part of Lot 26, Concession 1

Applicant:
The Salz Corporation



Attachment

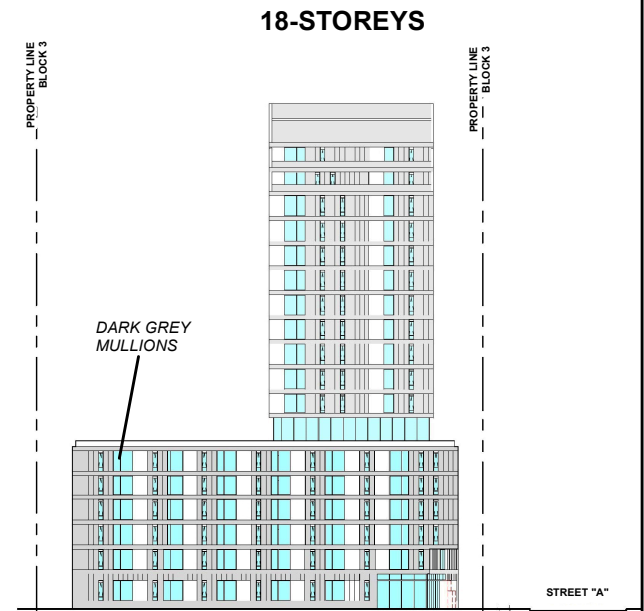
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Date:
July 13, 2020

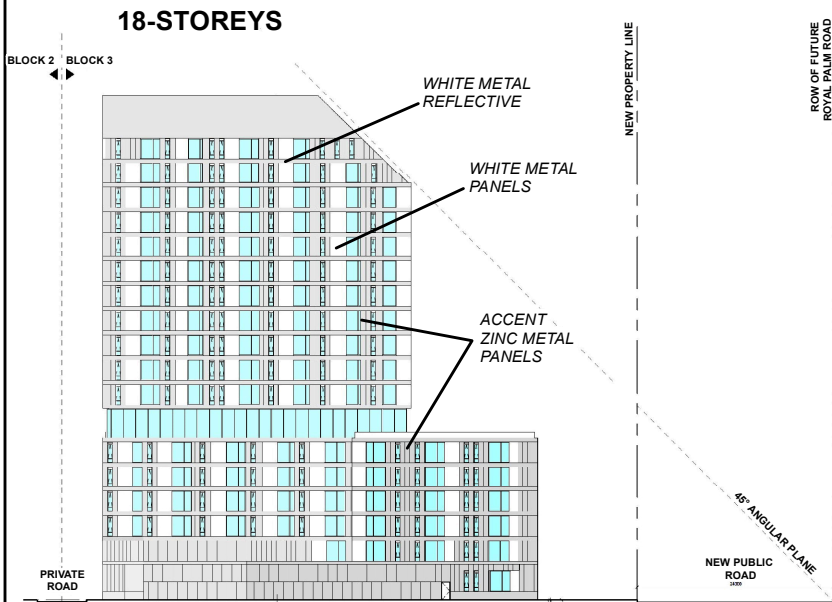
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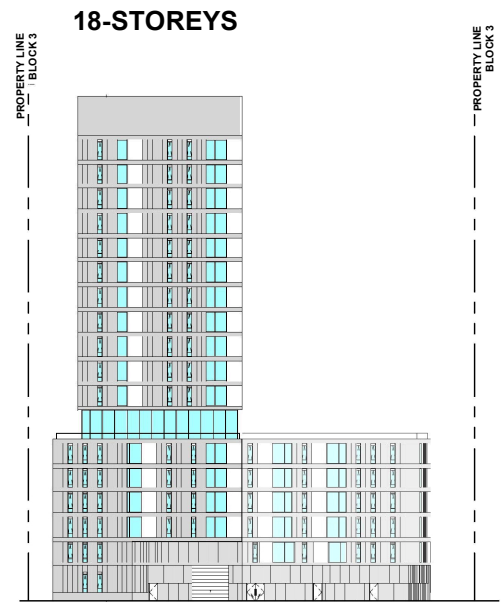
WEST ELEVATION (FACING STREET "A")



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

Not to Scale

Building Elevations - Tower 3

Location:
Part of Lot 26, Concession 1

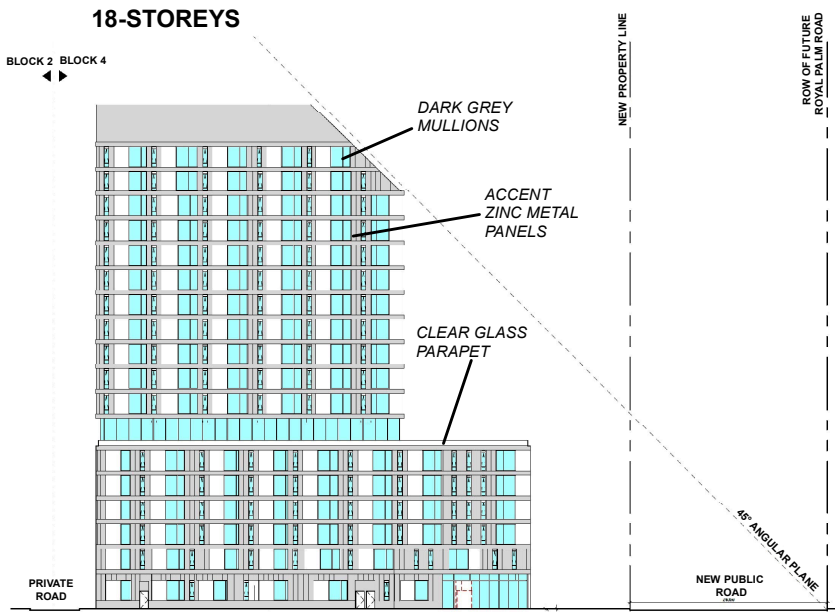
Applicant:
The Salz Corporation



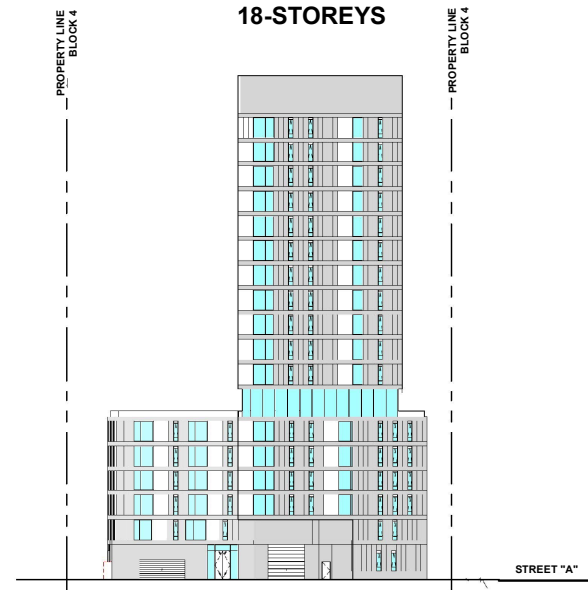
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OP.20.001, Z.20.004, and
19T-20V001

Date:
July 13, 2020

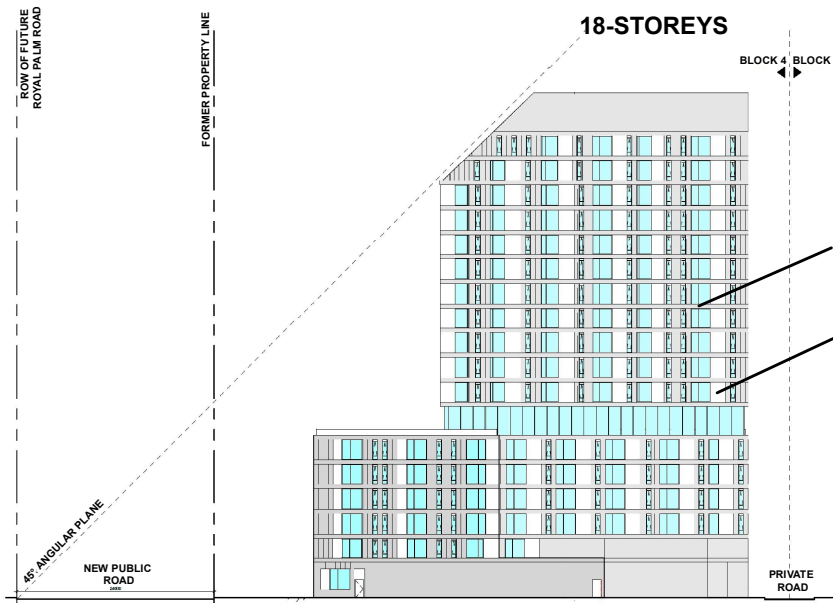
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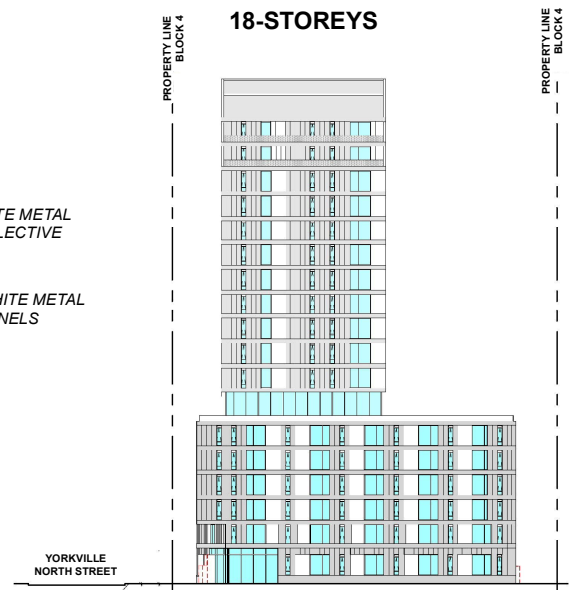
EAST ELEVATION (FACING STREET "A")



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION

Not to Scale

Building Elevations - Tower 4

Location:
Part of Lot 26, Concession 1

Applicant:
The Salz Corporation



Files:
OP.20.001, Z.20.004, and
19T-20V001

Date:
July 13, 2020

8

Committee of the Whole (Public Hearing) Report

DATE: Monday, July 13, 2020

WARD(S): 5

**TITLE: MIZRAHI CONSTANTINE (180 SAW) INC., 742397 ONTARIO
LIMITED AND 562443 ONTARIO LIMITED
OFFICIAL PLAN AMENDMENT FILE OP.20.002
ZONING BY-LAW AMENDMENT FILE Z.20.005
180 STEELES AVENUE WEST
VICINITY OF YONGE STREET AND STEELES AVENUE WEST**

FROM:

Nick Spensieri, Acting Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To receive comments from the public and the Committee of the Whole on Official Plan and Zoning By-law Amendment Files OP.20.002 and Z.20.005 for the subject lands shown on Attachment 1. The Owner seeks approval of the development shown on Attachments 2 to 7 consisting of the following:

- Buildings 1 and 3: 39 and 29-storey mixed-use apartment buildings with a 5-storey podium, 818 units, and 1,690 m² of ground floor retail area
- Buildings 2 and 4: 45 and 25-storey residential apartment buildings with a 5-storeypodium 867 units, and 1,583 m² of ground floor retail area
- Buildings 5 and 6: 2, 16-storey residential apartment buildings with attached Block Townhouses (Building 5, 216 apartment units and 7 townhouse units) (Building 6, 179 apartment units and 7 townhouse units)
- 5 levels of underground parking with a total of 1876 parking spaces
- A maximum density (Floor Space Index) of 6.46 times the area of the lot

Report Highlights

- To receive input from the public and the Committee of the Whole for a mixed-use development comprised of 6 buildings having a total of 2080 residential units and ground floor retail uses all served by 5 levels of underground parking
- Official Plan and Zoning By-law Amendments and a Draft Plan of Subdivision are required to permit the Development
- A technical report prepared by the Development Planning Department will be considered at a future Committee of the Whole meeting

Recommendations

1. THAT the Public Hearing report for Official Plan Amendment and Zoning By-law Amendment Files OP.20.002 and Z.20.005 (Mizrahi Constantine (180 Saw) Inc.) BE RECEIVED; and, that any issues identified be addressed by the Development Planning Department in a comprehensive report to the Committee of the Whole.

Background

The subject lands (the 'Subject Lands') as shown on Attachment 1, are municipally known as 180 Steeles Avenue West and located on the north side of Steeles Avenue West, west of Yonge Street. The Subject Lands are currently developed with 2, single-storey commercial buildings.

Official Plan and Zoning By-law Amendment and Draft Plan of Subdivision Applications have been submitted to permit the Development

Mizrahi Constantine (180 SAW) Inc. (the 'Owner') has submitted the following applications (the 'Applications') for the Subject Lands shown on Attachment 1 to permit the development shown on Attachments 2 to 7:

1. Official Plan Amendment File OP.20.002 to amend the in-effect Official Plan 210 ('Thornhill Vaughan Community Plan') to redesignate the Subject Lands from "General Commercial Area" and "Low Density Residential" to "Mixed Commercial/Residential Area" with a maximum Floor Space Index ('FSI') of 6.46 times the area of the lot and maximum building height of 45-stories.
2. Zoning By-law Amendment File Z.20.005 to amend Zoning By-law 1-88 to rezone the Subject Lands from "C4 Neighbourhood Commercial Zone" subject to site-specific Exception 9(442) to "RA3 Apartment Residential Zone" in the manner shown on Attachment 2, and to permit the site-specific zoning exceptions identified in Table 1 of this report.

Public Notice was provided in accordance with the Planning Act and Council's Notification Protocol and to an extended notification area

- a) Date the Notice of Public Hearing was circulated: June 23, 2020.

The Notice of Public Hearing was also posted on the City's web-site at www.vaughan.ca and a Notice Sign was installed on the property in accordance with the City's Notice Signs Procedures and Protocols.

- b) Circulation Area: A minimum 150 m radius from the Subject Lands, to the Springfarm Ratepayers' Association, the City of Toronto, the City of Markham and to anyone on file with the Office of the City Clerk having requested notice.
- c) Comments Received:

The Development Planning Department received written comments from the following (as of June 29, 2020):

- B. Gerstein, Glenmanor Way, email dated June 26, 2020
- S. Clodman; email dated June 26, 2020
- SpringFarm Ratepayers' Association, meeting held on March 12, 2020

The following is a summary of the comments provided in the written correspondence received to date. Resident comments have been organized by theme as follows:

Density and Height

- the development is too dense and the buildings too high for the neighbourhood
- the proposed density and building heights are double those permitted in the Yonge-Steeles Corridor Secondary Plan (the 'YSCSP')

Traffic/Transportation

- the Yonge Street and Steeles Avenue area is congested with traffic
- the planned subway will not be constructed in time to alleviate traffic in area with the proposed density of the development
- the proposed developments in the area do not have an integrated road network which will cause further traffic issues
- the development does not include the required east/west road to the rear of the property as identified in the YSCSP

Other

- no coordination is provided between the proposed developments in the area
- no public uses, parks, community centres, public spaces for existing and new residents in area are proposed

Any written comments received will be forwarded to the Office of the City Clerk to be distributed to the Committee of the Whole as a Communication. All written comments that are received will be reviewed by the Development Planning Department as input in

the application review process and will be addressed in a technical report to be considered at a future Committee of the Whole meeting.

Previous Reports/Authority

Not applicable

Analysis and Options

Amendments to in-effect Official Plan Amendment 210 (Thornhill Vaughan Community Plan) are required to permit the Development

The Subject lands are designated “General Commercial Area” and “Low Density Residential” by in-effect Official Plan Amendment 210 (Thornhill Vaughan Community Plan). The “General Commercial Area” designation permits the existing commercial uses to continue, retail stores, restaurants, banks and business and professional offices. The “Low Density Residential” designation permits single detached units with a net density of 22 units per hectare. The Development of mixed-use residential apartment buildings, ranging in heights from 16 to 45-storeys with a density of 6.46 FSI does not conform to the “General Commercial Area” and “Low Density Residential” policies of OPA 210.

The Owner proposes to amend in-effect OPA 210 to redesignate the Subject Lands to “Mixed Commercial/Residential Area” to permit residential uses, business and professional offices, retail uses, and associated facilities with no prescribed maximum building height or density and developed in accordance with a comprehensive design scheme to ensure the compatibility of the retail and residential uses. Owner has submitted design plans and studies in support of the Applications to facilitate the Development shown on Attachments 2 to 7.

The Yonge Steeles Corridor Secondary Plan (Volume 2, Vaughan Official Plan 2010) has been appealed to the Local Planning Appeal Tribunal

The subject lands are split designated. The front half of the Subject Lands along Steeles Avue West are designated “High-Rise Mixed-Use” and the rear portion “Mid-Rise Residential” by the Vaughan Official Plan 2010 (“VOP 2010”), Volume 2, Yonge Steeles Corridor Secondary Plan (“YSCSP”).

The “High-Rise Mixed-Use” designation permits residential, retail, community and office uses with a maximum FSI of 3.5 times the area of the lot and a maximum building height of 22-storeys. The High-Rise Mixed-Use policies require new development along Steeles Avenue West to be setback approximately 3 m, be designed with the highest quality and support existing and planning transit services located within approximately 600-700 metres.

The “Mid-Rise Residential” designation is intended to provide a transition from the higher densities and taller buildings along Steeles Avenue West and the existing Low-Rise Residential neighbourhood to the north. New development is expected to be in the

form of townhouses, stacked townhouses and low-rise buildings not exceeding five-storeys in height and a maximum FSI of 1.5 times the area of the lot.

The Development comprised of buildings ranging in height from 16 to 45-storeys, an FSI of 6.46 times the area of the lot does not conform to the building height and density policies of the YSCSP.

Vaughan Council on September 7, 2010, adopted the YSCSP. York Region Council on January 21, 2016, adopted the YSCSP with modifications. A number of landowners in the YSCSP have appealed the YSCSP to the Ontario Municipal Board ('OMB'), now the Local Planning Appeal Tribunal ('LPAT'). The Owner has obtained party status on the appeal of the YSCSP to the LPAT. The YSCSP is not yet in-effect for the Subject Lands.

Amendments to Zoning By-law 1-88 are required to permit the Development

The Subject Lands are zoned "C4 Neighbourhood Commercial Zone", subject to site-specific Exception 9(442) by Zoning By-law 1-88. This zoning does not permit the Development. The Owner proposes to amend Zoning By-law 1-88 to rezone the Subject Lands to "RA3 Residential Apartment Zone" together with the following site-specific zoning exceptions to permit the Development shown on Attachments 2 to 7:

Table 1:

	Zoning By-law 1-88 Standards	RA3 Apartment Residential Zone Requirements	Proposed Exceptions to the RA3 Apartment Residential Zone
a.	Permitted Uses	<ul style="list-style-type: none"> - Apartment Dwelling - Day Nursery 	<p>Permit the following additional uses within the Podiums of the Apartment Buildings 1 to 4:</p> <ul style="list-style-type: none"> - Banking or Financial Institution - Club or Health Centre - Eating Establishment - Eating Establishment, Convenience & Take-out - Personal Service Shop - Pharmacy - Retail Store <p>Permit the additional use of townhouse dwellings in Buildings 5 and 6</p>
b.	Definition of a Lot	Lot - Means a parcel of land fronting on a street separate from any abutting land to the	Lot - Means the Subject Lands shall be deemed to be one lot, regardless of

	Zoning By-law 1-88 Standards	RA3 Apartment Residential Zone Requirements	Proposed Exceptions to the RA3 Apartment Residential Zone
		extent that a consent contemplated by Section 50 of the <i>Planning Act</i> , R.S.O. 1990, c. P. 13. would not be required for its conveyance. For the purpose of this paragraph, land defined in an application for a building permit shall be deemed to be a parcel of land and a reserve shall not form part of the lot	the number of buildings and units, and the creation of any new lot by plans or subdivision, plan of condominium, part lot control, consent, and any easement or registrations that are given.
c.	Minimum Parking Requirements	<u>Residential</u> 1.5 spaces/unit x 2080 units = 3,120 spaces <u>Visitor</u> 0.25 spaces/unit x 2080 units = 520 spaces <u>Commercial</u> 3,620 m ² GFA @ 6 spaces/100 m ² x = 218 spaces Total required parking = 3,858 spaces	<u>Residential</u> 0.75 spaces/unit x 2080 units = 1,560 spaces <u>Visitor</u> 0.15 spaces/unit x 2080 units = 312 spaces <u>Commercial</u> 2 spaces/100 m ² x 3,620 m ² = 73 spaces Total parking proposed = 2,465 spaces
d.	Minimum Front Yard - Steeles Avenue West	7.5 m	5 m
e.	Minimum Interior Side	7.5 m or half the height, whichever is greater	0 m
f.	Minimum Setback from Front Lot Line to the Nearest Part of a Building Below Finished Grade (Underground Garage)	1.8 m	0 m (Steeles Avenue West)
g.	Minimum Amenity Area	92 Bachelor Units x 15m ² /unit = 1,380 m ² 1,033 One Bedroom Units x 20 m ² /unit = 20,660 m ²	Total proposed amenity area of 8,468 m ²

	Zoning By-law 1-88 Standards	RA3 Apartment Residential Zone Requirements	Proposed Exceptions to the RA3 Apartment Residential Zone
		838 Two Bedroom Units x 55 m ² /unit = 46,090 m ² 117 Three Bedroom Unit x 90 m ² /unit = 10,530 m ² Total required amenity area = 78,660 m ²	
h.	Maximum Building Height	44 m	Building 1 - 126.5 m (39-storeys) Building 2 - 144.5 m (45-storeys) Building 3 - 95.9 m (29-storeys) Building 4 - 83.6 m (25-storeys) Buildings 5 and 6 - 53.3 m (16-storeys)
i.	Minimum Lot Area Per Unit	67 m ² /unit	10.8 m ² /unit

Other zoning exceptions may be identified through the detailed review of the Applications and will be considered in a technical report at a future Committee of the Whole meeting.

Following a preliminary review of the Applications, the Development Planning Department has identified the following matters to be reviewed in greater detail

	MATTERS TO BE REVIEWED	COMMENT(S)
a.	Consistency and Conformity with Provincial Policies, and York Region Official Plan	<ul style="list-style-type: none"> The Applications will be reviewed in consideration of the statutory Provincial policies including the Provincial Policy Statement 2020 (the "PPS"), the Growth Plan for the Greater Golden Horseshoe 2017 (the "Growth Plan"), and the policies of the York Region Official Plan ("YROP 2010")

	MATTERS TO BE REVIEWED	COMMENT(S)
b.	City of Vaughan Official Plans	<ul style="list-style-type: none"> ▪ The appropriateness of redesignating the Subject Lands to “Mixed Commercial/Residential Area” will be reviewed in consideration of the policies of the in-effect OPA 210 and VOP 2010 ▪ The Applications will be reviewed in consideration of the Council and York Region adopted YSCSP policies, including but not limited to, the following: <ul style="list-style-type: none"> - the appropriateness of redesignating of the rear portion of the Subject Lands from “Mid-Rise Residential” to “High-Rise Mixed-Use Residential” - the appropriateness of increasing the maximum permitted FSI from 1.5 and 3.5 FSI to 6.46 times the area of the lot - the appropriateness of increasing the maximum permitted building height from 5 and 22-storeys to 45-storeys - the affordable housing policies of the Official Plan - the policy requirement to provide retail uses along Steeles Avenue West - constraints with the construction of and connections to the future Yonge subway extension and bus station that may affect the site design - coordinated development between all YSCSP landowners and proposed development applications - appropriateness of proposed private road “A” - provision of and connection to the future extension of Royal Palm Drive at the rear of the Subject lands - requirement of a planned publicly accessible open space at the rear of the Subject lands ▪ The Applications will be reviewed in consideration of the City’s Urban Structure established in VOP 2010
c.		

	MATTERS TO BE REVIEWED	COMMENT(S)
	Appropriateness of Proposed Rezoning and Site-Specific Zoning Exceptions	<ul style="list-style-type: none"> ▪ The appropriateness of the proposed rezoning of the Subject Lands and the site-specific amendments to Zoning By-law 1-88 required to permit the Development will be reviewed in consideration of the existing and planned surrounding land uses, and the City's new draft comprehensive zoning by-law
d.	Studies and Reports	<ul style="list-style-type: none"> ▪ The Owner has submitted the following studies and reports in support of the Applications: <ul style="list-style-type: none"> - Planning Justification Report - Urban Design and Sustainability Brief - Community Services and Facilities Plan - Phase 1 Environmental Site Assessment - Pedestrian Wind Assessment - Sun/Shadow Study - Hydrogeological Investigation - Functional Servicing and Stormwater Management Report - Noise and Vibration Feasibility Study - Geotechnical Investigation - Transportation and Parking Study - Pedestrian & Bicycle Circulation Plan - Tree Inventory and Preservation Plan and Study ▪ These reports are available on the city's website at https://maps.v Vaughan.ca/planit/ (PLANit Viewer) ▪ Additional studies and/or reports may be required as part of the Application review process
e.	Design Review Panel	<ul style="list-style-type: none"> ▪ The Development will be reviewed by the City of Vaughan Design Review Panel ('DRP')
f.	Public Agency/Municipal Review	<p>The Subject Lands are located within the review areas of Metrolinx, the Toronto Transit Commission ('TTC'), City of Toronto, City of Markham, York Region Rapid Transit Corporation and York Region. The Owner will be required to address the comments from the external public</p>

	MATTERS TO BE REVIEWED	COMMENT(S)
		agencies/municipalities, and the Public, Separate and French School Boards
g.	Sustainable Development	<ul style="list-style-type: none"> ▪ In accordance with the City of Vaughan Sustainability Metrics Program the Development must achieve a Bronze Threshold Overall Application Score ▪ Opportunities for sustainable design, including CPTED (Crime Prevention Through Environmental Design), LEED (Leadership in Energy and Environmental Design), permeable pavers, bio-swales, drought tolerant landscaping, energy efficient lighting, reduction in pavement etc., will be reviewed and implemented through the Site Plan review process, if the Applications are approved
h.	Comprehensive Development	<ul style="list-style-type: none"> ▪ The YSCSP encourages comprehensive assembly within the development blocks of the Secondary Plan. Development shall proceed in an orderly manner including required infrastructure, parks and streets ▪ It is encouraged that landowners within the YSCSP propose development on a comprehensive basis including a phasing strategy that provides for the equitable sharing of the costs of public infrastructure among benefitting landowners

	MATTERS TO BE REVIEWED	COMMENT(S)
i.	Yonge Subway Extension Metrolinx/Toronto Transit Commission	<ul style="list-style-type: none"> ▪ The planned Yonge Subway Extension ("YSE") is a cross-jurisdictional project from the City of Toronto into the City of Markham, City of Vaughan and City of Richmond Hill. The YSE includes a subway station located at Yonge Street and Steeles Avenue West

	MATTERS TO BE REVIEWED	COMMENT(S)
		<ul style="list-style-type: none"> ▪ The development will be reviewed in consideration of any land requirements from Metrolinx and/or the Toronto Transit Commission including but not limited to land required during construction and ultimate design for right-of-way, subway connections and bus platform for Steeles Avenue West Bus Route
j.	Proposed Private Road Network and Road Widenings	<ul style="list-style-type: none"> ▪ The Development is bisected by a proposed private road network as shown on Attachment 1, with an interim cul-de-sac to the rear of private road "A". ▪ The YSCSP establishes a road network for the Secondary Plan area and identifies the eastward extension of Royal Palm Drive at the rear of the Subject Lands ▪ The proposed road network and interim cul-de-sac will be reviewed by the Development Engineering Department in consideration of the YSCSP policies ▪ The Development fronts onto the Steeles Avenue West. This right-of-way, including the north boulevard, belongs to the City of Toronto and is under their jurisdiction. Required road widenings, encroachment permits, or agreements shall be determined by the City of Toronto
k.	Parks and Publicly Accessible Open Space	<ul style="list-style-type: none"> ▪ The YSCSP delineates Parks and Publicly Accessible Open Space throughout the Secondary Plan area. The YSCSP identifies a Publicly Accessible Open Space to be located on the northerly portion of the Subject Lands abutting the planned Royal Palm Drive eastward extension ▪ The requirements and details of the Publicly Accessible Open Space will be reviewed by the Parks Planning Department
l.	Site Development and Draft Plan of	<ul style="list-style-type: none"> ▪ Site Development and Draft Plan of Condominium Application(s) will be required, if the Applications

	MATTERS TO BE REVIEWED	COMMENT(S)
	Condominium Application(s)	are approved, to permit the Development and to establish the ownership tenure(s) of the Development
m.	Parkland Dedication	<ul style="list-style-type: none"> The Owner shall convey land at the rate of 1 ha per 300 / units and/or pay to the City of Vaughan by way of certified cheque, cash-in-lieu of the dedication of parkland at the rate of 1 ha per 500 units, or at a fixed unit rate, prior to the issuance of a Building Permit, in accordance with the <i>Planning Act</i> and the City's Cash-in-Lieu policies, if the Applications are approved
n.	Bonusing (Section 37 of the Planning Act)	<ul style="list-style-type: none"> The Applications will be subject to and reviewed in consideration of the City's bonusing for increases in building height and density (Section 37 of the <i>Planning Act</i>) policies of VOP 2010, and the City's Guidelines for the Implementation of Section 37 of the <i>Planning Act</i>, whereby Council may authorize an increase in building height and/or density in return for community benefits

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

The Applications have been circulated to the York Region Community Planning and Development Services Department for review and comment. Any Regional issues will be addressed when the technical report is considered. At the time of the preparation of this report the Owner had not requested exemption from York Region approval of Official Plan Amendment File OP.20.002.

Conclusion

The preliminary issues identified in this report and any other issues identified through the processing of the Applications will be considered in the technical review of the Applications, together with comments from the public and Vaughan Council expressed at the Public Hearing or in writing, and will be addressed in a comprehensive report to a future Committee of the Whole meeting.

For more information, please contact: Mary Caputo, Senior Planner, Development Planning Department, ext. 8635

Attachments

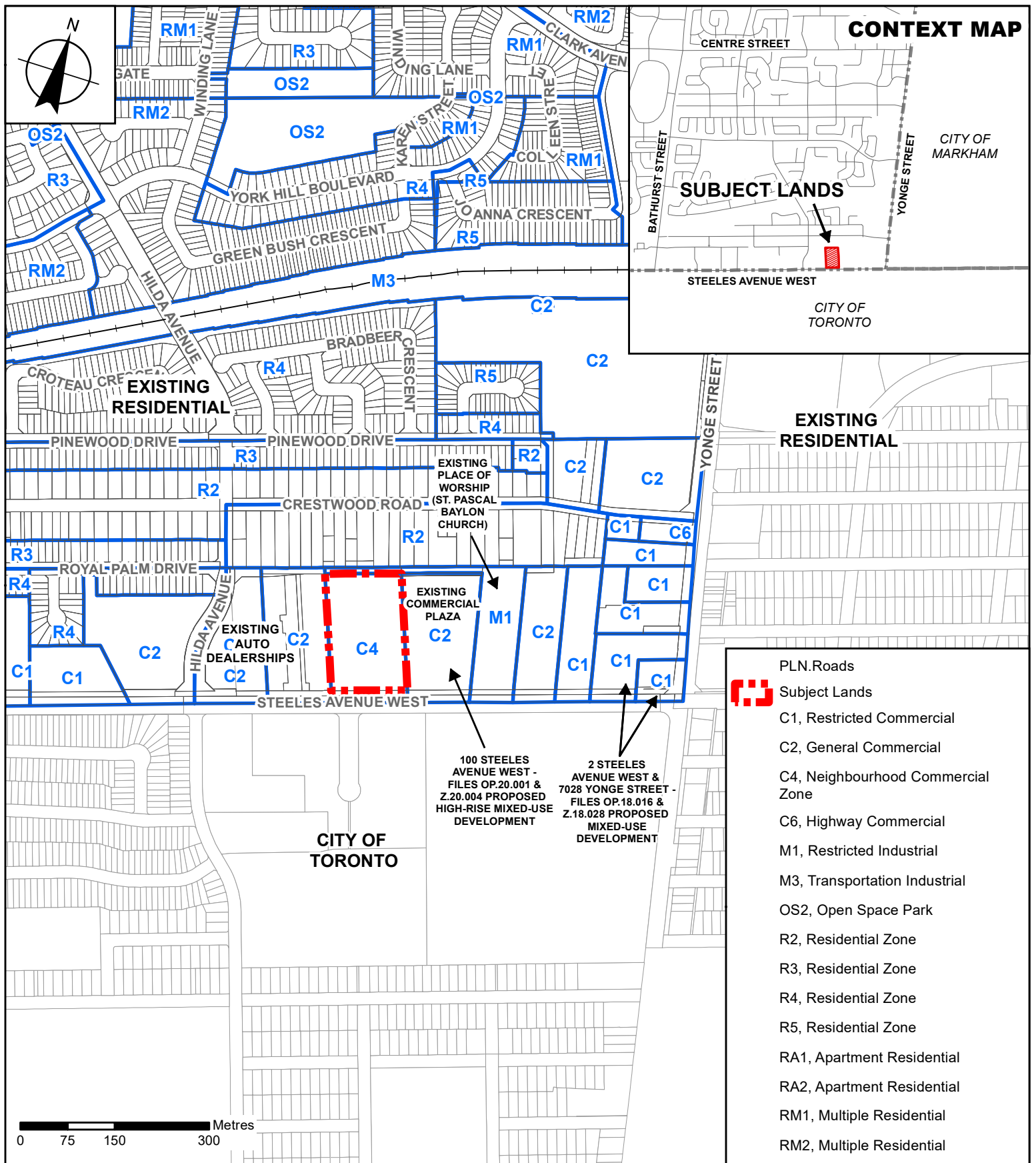
1. Context and Location Map
2. Conceptual Site Plan and Proposed Zoning
3. Conceptual Landscape Plan
4. South Elevations
5. East Elevations
6. West Elevations
7. North Elevations

Prepared by

Mary Caputo, Senior Planner - ext. 8635

Nancy Tuckett, Senior Manager of Development Planning - ext. 8529

Mauro Peverini, Director of Development Planning - ext. 8407



Context and Location Map

LOCATION: Part of Lot 26, Concession 1
180 Steeles Avenue West

APPLICANT:
Mizrahi Constantine (180 SAW) Inc.

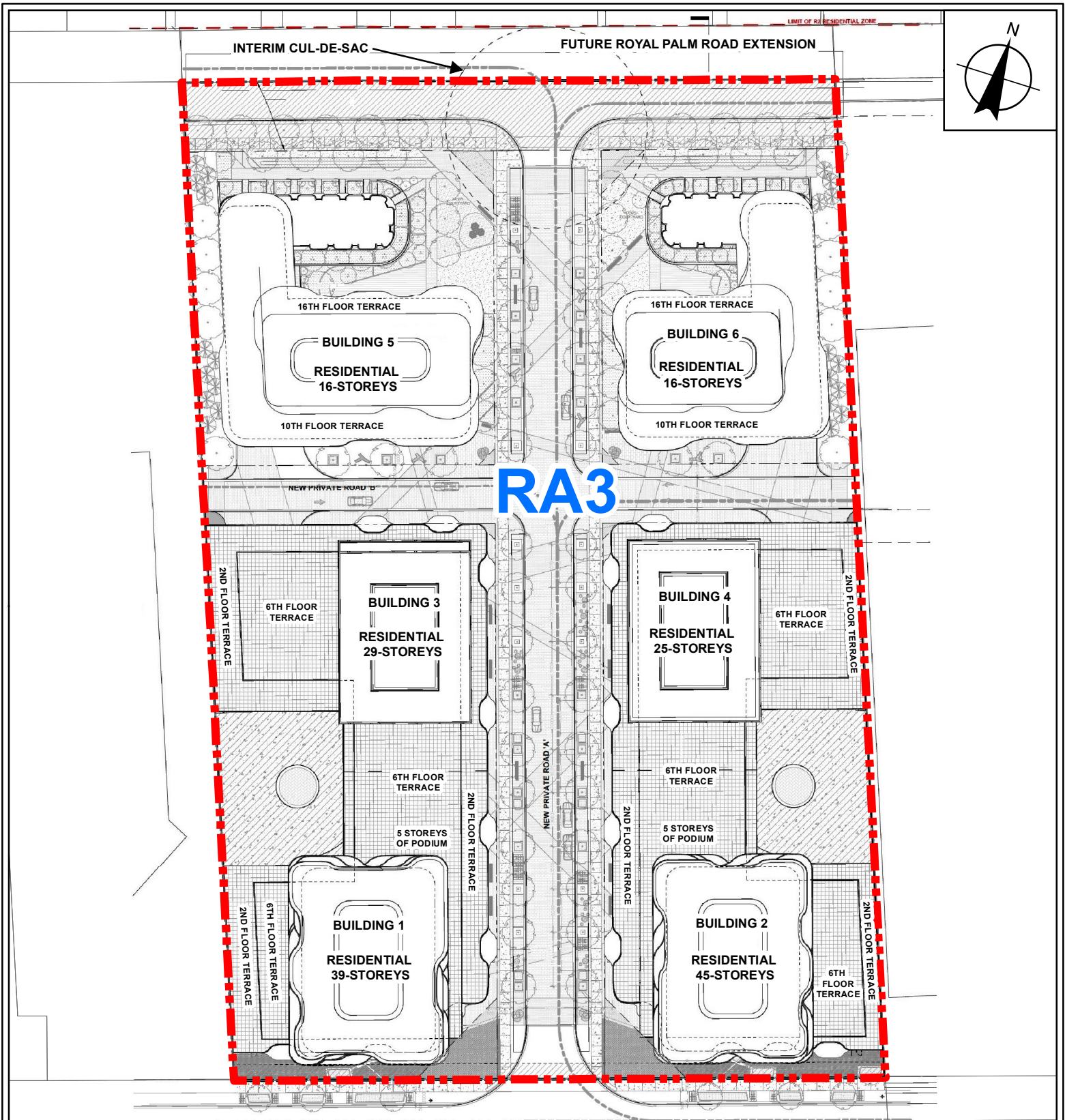


Attachment

FILES: OP.20.002 and
Z.20.005

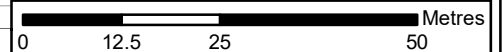
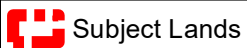
DATE:
July 13, 2020

1



RA3, Apartment Residential Zone

STEELES AVENUE WEST



Conceptual Site Plan & Proposed Zoning

LOCATION: Part of Lot 26, Concession 1
180 Steeles Avenue West

APPLICANT:
Mizrahi Constantine (180 SAW) Inc.

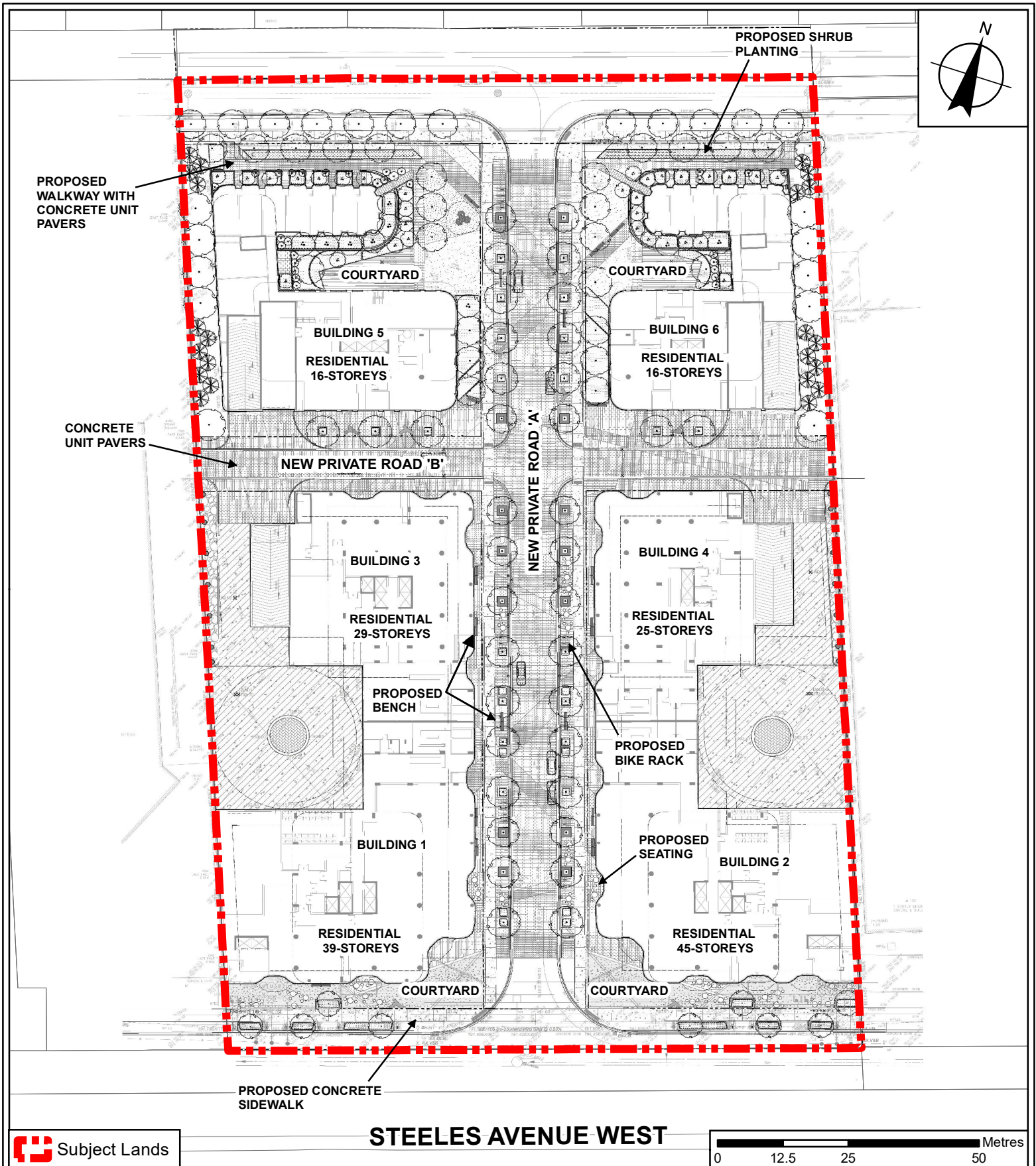


Attachment

FILES: OP.20.002 and
Z.20.005

DATE:
July 13, 2020

2



Conceptual Landscape Plan

LOCATION: Part of Lot 26, Concession 1
180 Steeles Avenue West

APPLICANT:
Mizrahi Constantine (180 SAW) Inc.

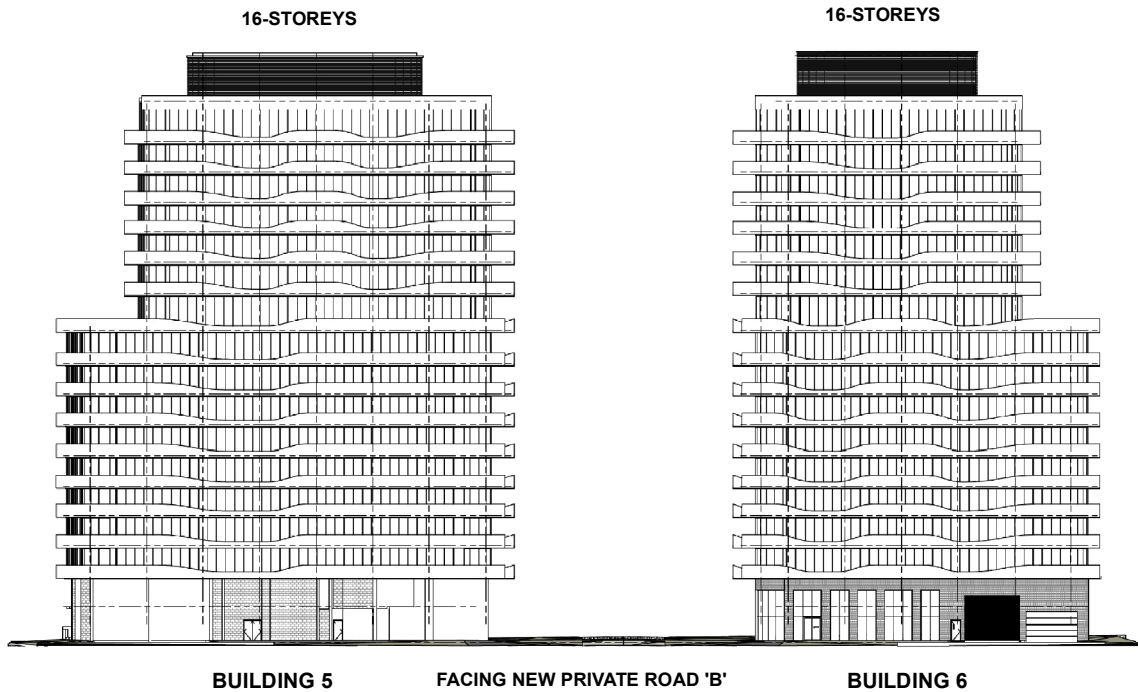
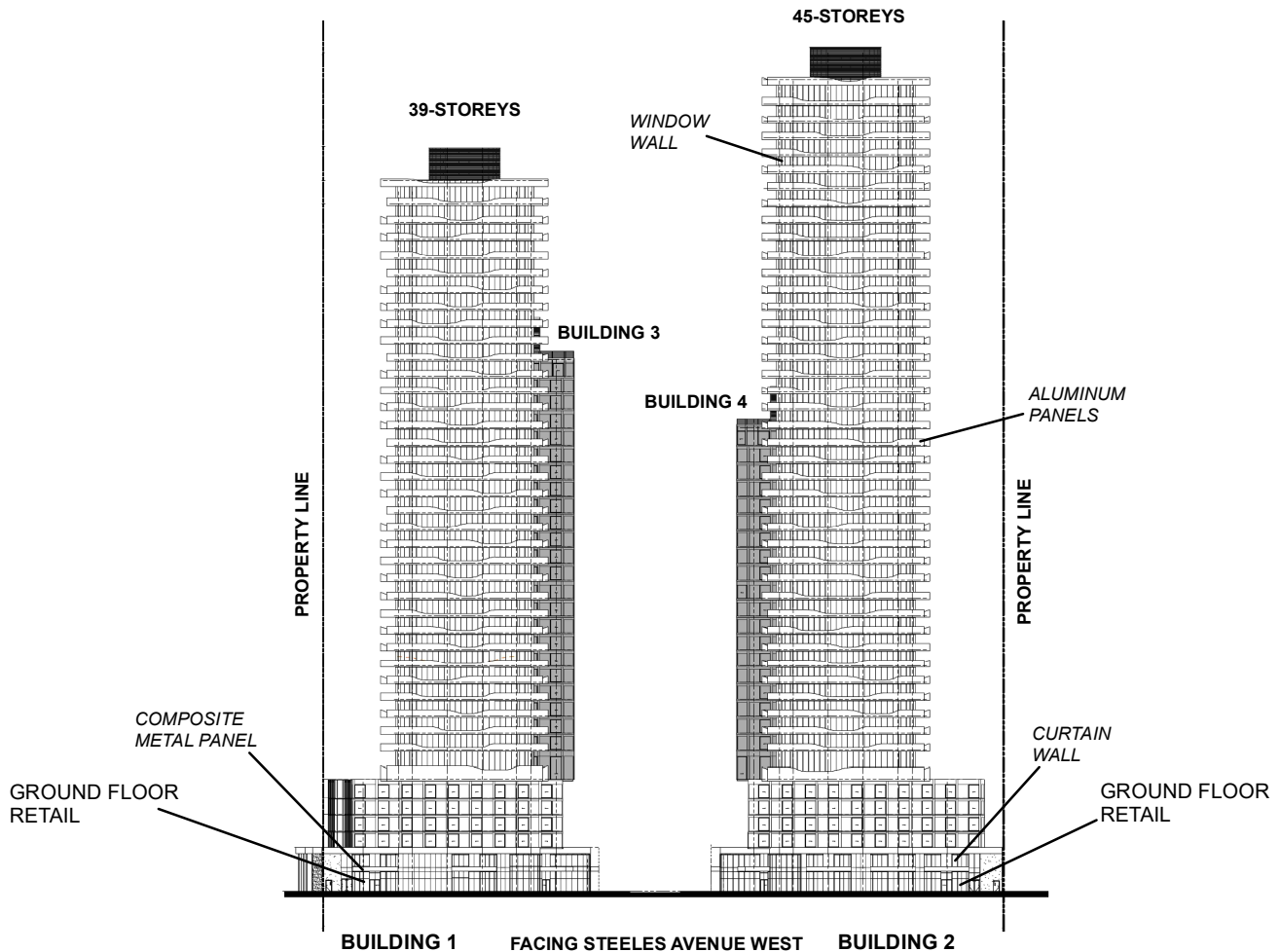


Attachment

FILES: OP.20.002 and
Z.20.005

DATE:
July 13, 2020

3



South Elevations

LOCATION: Part of Lot 26, Concession 1
180 Steeles Avenue West

APPLICANT:
Mizrahi Constantine (180 SAW) Inc.

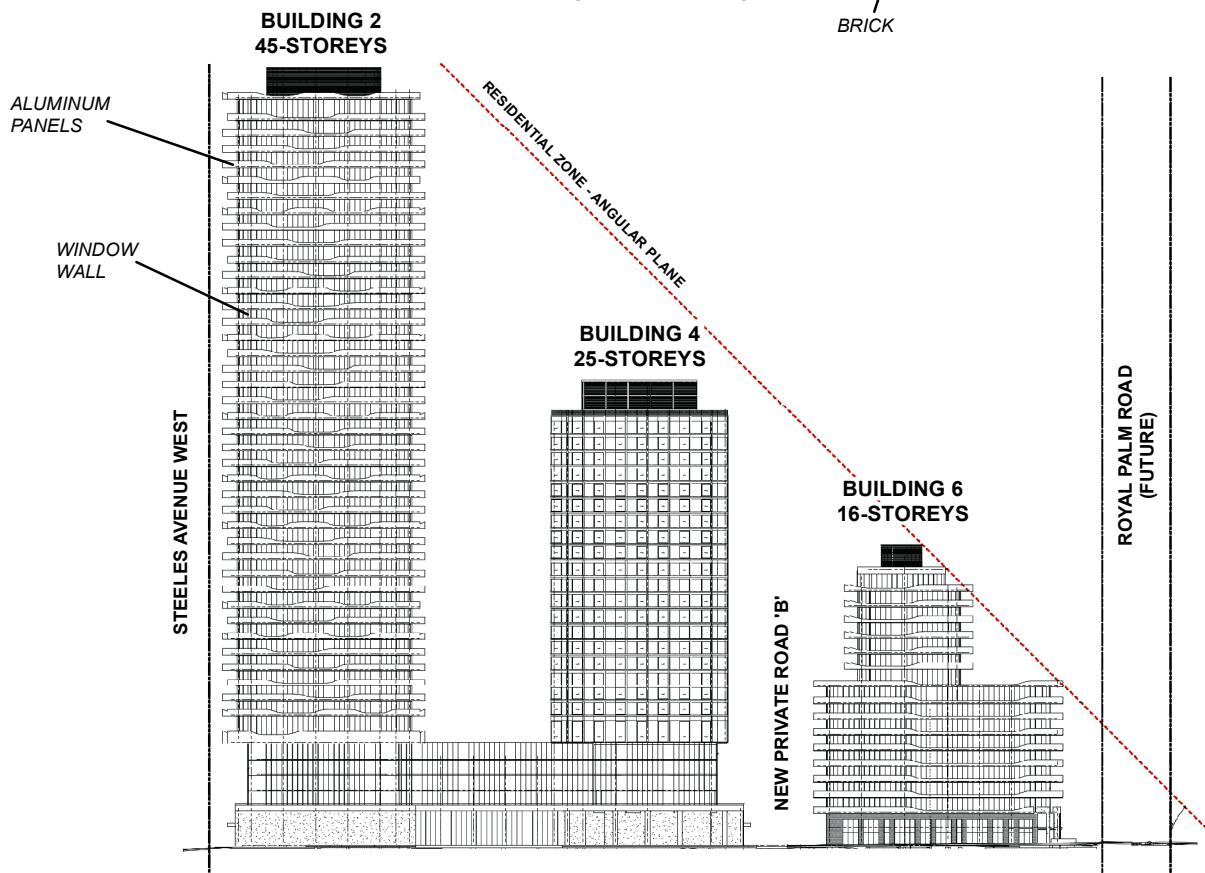
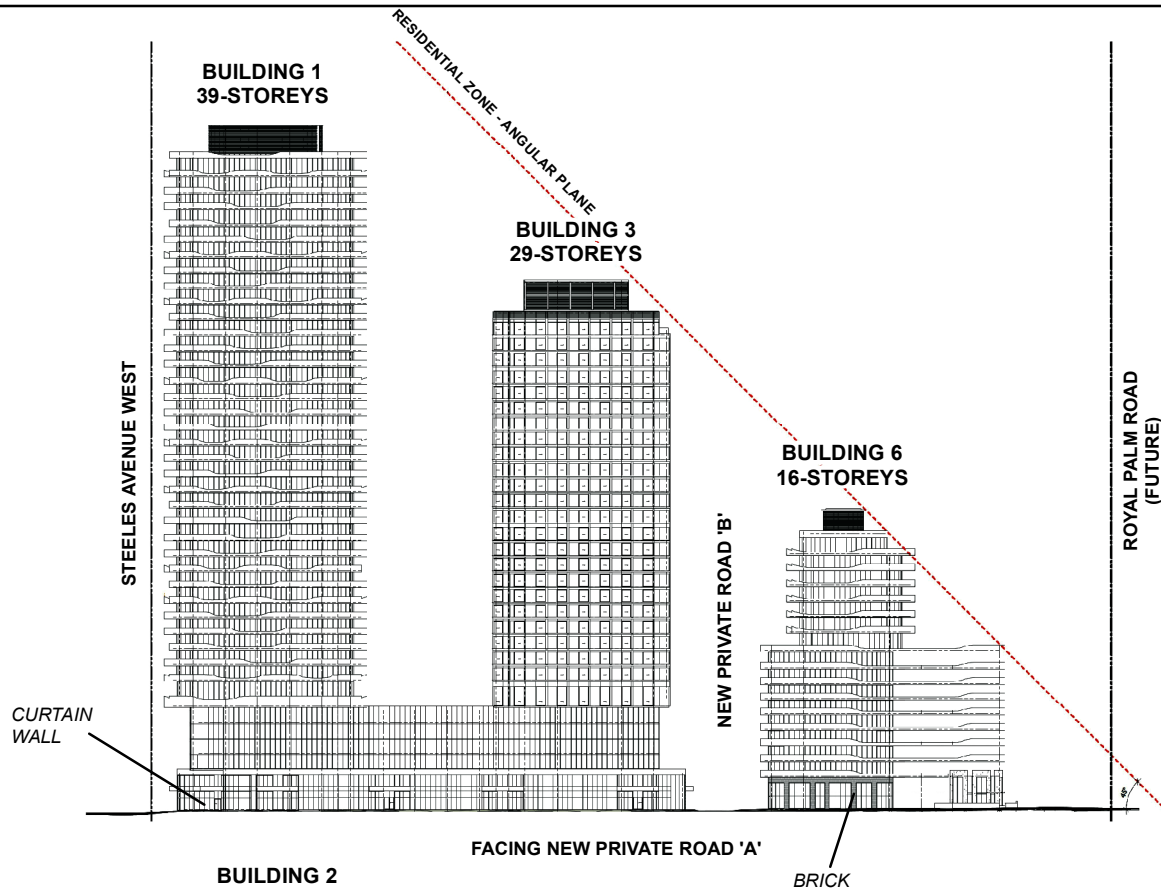


Attachment

FILES: OP.20.002 and
Z.20.005

DATE:
July 13, 2020

4



East Elevations

LOCATION: Part of Lot 26, Concession 1
180 Steeles Avenue West

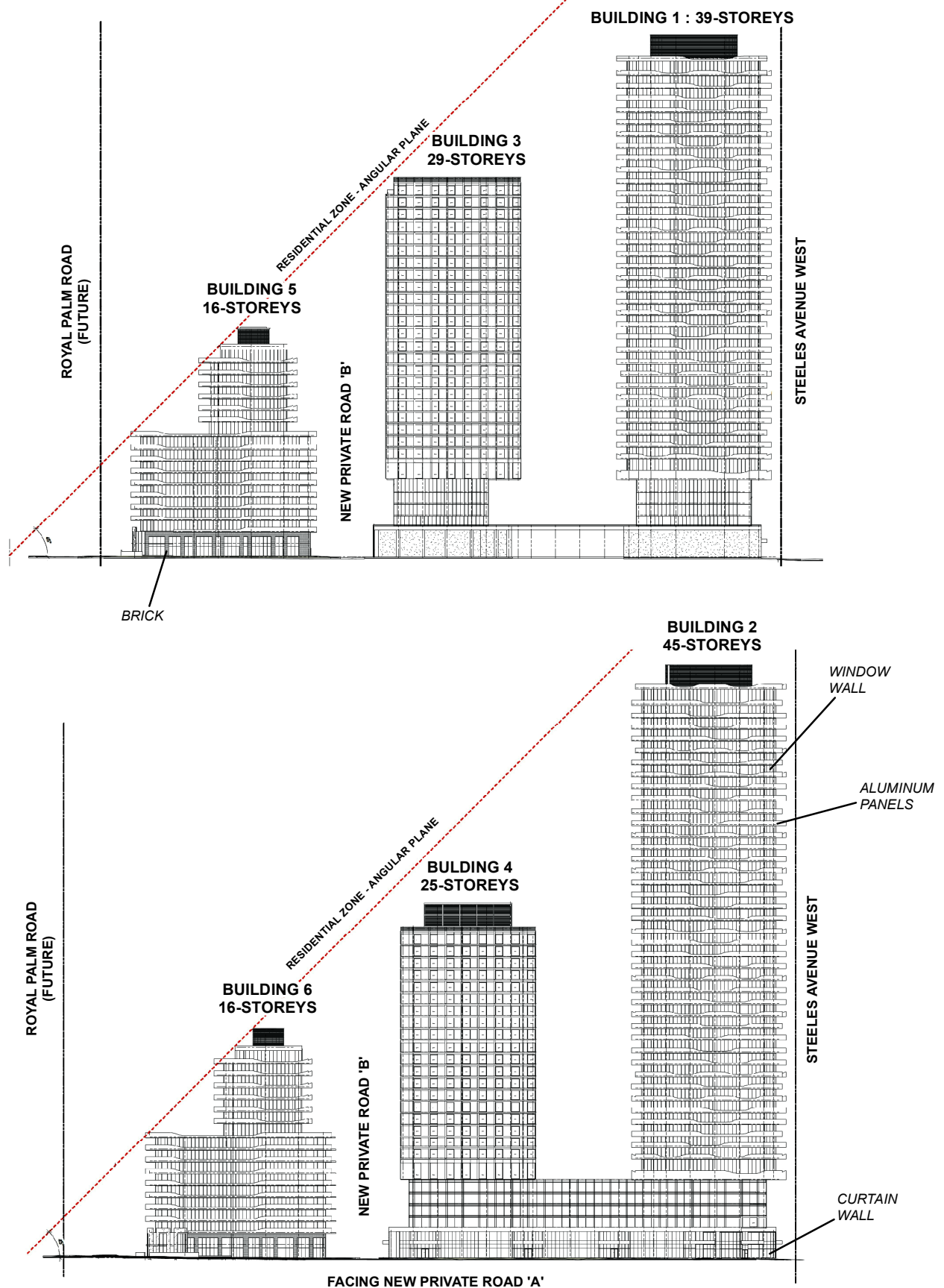
APPLICANT:
Mizrahi Constantine (180 SAW) Inc.



FILES: OP.20.002 and
Z.20.005

DATE:
July 13, 2020

5



West Elevations

LOCATION: Part of Lot 26, Concession 1
180 Steeles Avenue West

APPLICANT:
Mizrahi Constantine (180 SAW) Inc.



FILES: OP.20.002 and
Z.20.005

DATE:
July 13, 2020

6

BUILDING 2: 45-STOREYS

**BUILDING 1
39-STOREYS**

**BUILDING 3
29-STOREYS**

**BUILDING 4
25-STOREYS**

WINDOW
WALL

NEW PRIVATE ROAD 'A'

FACING NEW PRIVATE ROAD 'B'

CURTAIN
WALL

**BUILDING 6
16-STOREYS**

**BUILDING 5
16-STOREYS**

PROPERTY LINE

NEW PRIVATE ROAD 'A'

PROPERTY LINE

ALUMINUM
PANELS

FACING FUTURE ROYAL
PALM ROAD EXTENSION

North Elevations

LOCATION: Part of Lot 26, Concession 1
180 Steeles Avenue West

APPLICANT:
Mizrahi Constantine (180 SAW) Inc.



Attachment

FILES: OP.20.002 and
Z.20.005

DATE:
July 13, 2020

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