

**CITY OF VAUGHAN
COMMITTEE OF THE WHOLE (1)
AGENDA**

Tuesday, November 5, 2019

3:00 p.m.

Council Chamber

2nd Floor, Vaughan City Hall

2141 Major Mackenzie Drive

Vaughan, Ontario

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~~Ignite, Innovation and Great Leader Awards~~

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ALL APPENDICES ARE AVAILABLE FROM THE CITY CLERK'S OFFICE
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AND VIDEO BROADCAST

www.vaughan.ca (Agendas, Minutes and Live Council Broadcast)

Committee of the Whole (1) Report

DATE: Tuesday, November 05, 2019

WARDS: ALL

**TITLE: SHORT-TERM RENTAL ACCOMMODATIONS, AMENDMENTS
TO ZONING BY-LAW 1-88**

FROM:

Jason Schmidt-Shoukri, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To address the public input received at the Statutory Public Hearing regarding amendments to Zoning By-law 1-88 with respect to Short-Term Rentals.

Report Highlights

- Currently there are no laws in place to stop or control short-term rentals
- Public consultation indicates that 70 per cent of respondents want the City to introduce new rules to govern short-term rentals
- Staff have prepared this report in response to input received at the Public Hearing on September 17, 2019
- Staff recommend that the Implementing Zoning By-law proceed to the next Council meeting for action

Recommendation

1. THAT the Committee of the Whole report for a city-wide Zoning By-law amendment for Short-Term Rental accommodations BE RECEIVED; and, that the Implementing Zoning By-law proceed to the next Council meeting for action.

Background

A Statutory Public Hearing was held with respect to the subject Zoning By-law Amendment on September 17, 2019. Comments received from the public can generally be summarized as follows:

- Short-term rentals should only be permitted in owner occupied units
- Concerns for public safety/violence
- Matters related to property standards
- Short-term rentals being used as “Party Houses”
- Banning short-term rentals outright
- Prohibition of short-term rentals for under 30 days
- Distance separation from schools (eg. 1.5 kilometers)

Previous Reports/Authority

On May 6, 2019, Finance, Administration and Audit Committee considered a staff report and received public submissions on a proposed Short-Term Rental Licensing By-law and other regulatory changes to address short-term rental accommodations. On May 14, 2019, Vaughan City Council ratified the Committee’s recommendations. The staff report can be found at the following link:

<https://pub-vaughan.escrimemeetings.com/filestream.ashx?DocumentId=15844>

Contained in the staff report were a number of specific recommendations related to Zoning By-law 1-88. The first general recommendation included “That staff be authorized to undertake any other actions required to implement the recommendations of this report, including implementing the proposed new by-laws and making any consequential amendments to related by-laws, subject to the approval of City Legal Services.”

Specifically related to Zoning By-law 1-88, the following recommendations were adopted by Council:

To amend Zoning By-law 1-88, as amended, to:

- a. Define Short-Term Rentals as, “All or part of a dwelling unit used to provide sleeping accommodations for any rental period that is 29 consecutive nights or less in exchange for payment, but does not include Bed-and-Breakfasts, as defined in the Short-Term Rentals By-law or its successor by-law”;
- b. Amend the definition of “Bed and Breakfast Establishment” to mean “an establishment within part of a single family detached dwelling that provides sleeping accommodation for guests, and may include meals, services, facilities and amenities for the exclusive use of guests, but excludes a hotel, motel, or Short-Term Rental”;

- c. Allow Short-Term Rentals in areas where residential use is permitted;
- d. Limit the number of the Short-Term Rentals to one rental booking per dwelling unit at any given time; and
- e. Any other consequential requirements as prescribed by the amending by-law.

The Statutory Public Hearing for the proposed Zoning By-law Amendment was held on September 17, 2019. The staff report can be found at the following link:

<https://pub-vaughan.escribemeetings.com/Meeting.aspx?Id=8a43c990-0994-4128-adff-add69c035439&Agenda=Agenda&lang=English&Item=9>

In addition to the staff report, a short-term rental accommodations web section and Frequently Asked Questions web page were created, which can be accessed at the following link: www.vaughan.ca/shorttermrentals

Analysis and Options

Public consultation indicates that 70 per cent of respondents want the City to introduce new rules to govern short-term rentals.

The City of Vaughan has created a regulatory framework to govern short-term rentals based on ideas, insights and solutions from citizens and stakeholders. Their feedback was captured through a series of different opportunities, including surveys and public meetings, from November 2018 to April 2019. The results were clear, 70 per cent of respondents wanted the City to introduce new rules to govern short-term rentals. The City's regulatory framework helps ensure short-term rental businesses can operate responsibly while safeguarding the quality of life for residents.

Currently there are no laws in place to stop or control short-term rentals.

Before the City's regulatory framework can be introduced, short-term rentals need to be recognized in the City's Zoning By-law as a land use. The regulatory framework will assist in addressing the concerns expressed at the Public Hearing. For example, short-term rentals would only be permitted to operate in the principle residence of the owner. Furthermore, licensing short-term rentals would give the City enforcement powers and the ability to conduct criminal background checks. It would also provide the City with information about the owner which could be turned over to police.

Homeowners and brokers who do not obtain a license for their short-term rental or do not comply with all requirements will be subject to fines and other actions, including revoking or denying a license.

The proposed Zoning By-law Amendment was drafted based on research and best practices.

While most of the comments received will be dealt with through the City's regulations, there are some that could be regulated through zoning such as minimum distance separations from schools. Council has the option of directing staff to amend the provisions of the proposed Zoning By-law or to include additional provisions. It is important to note that once the Zoning By-law is enacted, it can be revised and amended if it is determined that there is a need to do so.

Financial Impact

There are no anticipated financial implications directly associated with the proposed City-wide zoning amendment to Zoning By-law 1-88 to regulate short-term rental accommodations. Enforcement of the City's new Zoning By-law regulations will be coordinated with administration and enforcement of the related Short-Term Rental Licensing By-law using existing staff resources, pending preparation of the 2020 Budget where an additional full-time enforcement officer position is being sought as identified within the May 6, 2019 staff report. Additionally, in 2018, Economic and Cultural Development commissioned a study, *Market Assessment of Municipal Accommodation Tax*, conducted by CBRE Limited Valuation and Advisory Services, their findings suggested that the short-term rental market will continue to grow, and that a 4% Municipal Accommodation Tax would likely generate at least \$120,000 in tax revenue.

Broader Regional Impacts/Considerations

Short-term rental accommodations would provide alternative tourist accommodations that could support local and regional businesses and institutions while allowing Vaughan residents to derive revenues from their housing units. As required, 50% of the expected Municipal Accommodation Tax revenues would also be used to promote Vaughan's tourist industry and business community; allowing for the additional 50% to be considered in off-setting expenses arising from short-term rentals.

Conclusion

Council directed staff to amend the Zoning By-law to define and regulate short-term rentals on May 14, 2019. A Statutory Public Hearing was held on September 17, 2019 and the input received was considered and addressed in this report. It is therefore

recommended that the Implementing Zoning By-law proceed to the next Council meeting for action.

For more information, please contact: Fausto Filipetto, Manager of Long-Range Planning at, Ext. 8699.

Attachments

None.

Prepared by:

Fausto Filipetto, Manager of Long-Range Planning, Ext. 8699

Tony Iacobelli, Manager of Environmental Sustainability/Acting Director of Policy Planning and Environmental Sustainability, Ext. 8630

Gus Michaels, Director & Chief Licensing Officer, By-law & Compliance, Licensing & Permit Services, Ext. 8735

Committee of the Whole (1) Report

DATE: Tuesday, November 05, 2019

WARD: 1

**TITLE: LAURIER HARBOUR (KEELE) INC.
OFFICIAL PLAN AMENDMENT FILE OP.15.020
ZONING BY-LAW AMENDMENT FILE Z.15.019
DRAFT PLAN OF SUBDIVISION FILE 19T-15V007
SITE DEVELOPMENT FILE DA.17.068
VICINITY OF KEELE STREET AND BARRHILL ROAD**

FROM:

Jason Schmidt-Shoukri, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To seek endorsement from the Committee of the Whole for Official Plan Amendment, Zoning By-law Amendment and Draft Plan of Subdivision Files OP.15.020, Z.15.019 and 19T-15V007, which have been appealed to the Local Planning Appeal Tribunal, to: amend the compatibility criteria in Vaughan Official Plan 2010; rezone the subject lands shown on Attachment 2 from “R1 Residential Zone” and “R2 Residential Zone” to “RT1(H) Residential Townhouse Zone” with the Holding Symbol “(H)”, as shown on Attachment 3; to create a block on a registered plan of subdivision; and to seek approval from the Committee of the Whole for Site Development File DA.17.068 to permit the development of 8 semi-detached dwellings and 8 townhouse dwellings accessed by a private condominium road, as shown on Attachments 3 to 9.

Report Highlights

- The Owner proposes to amend Vaughan Official Plan 2010 and Zoning By-law 1-88 to permit a residential development consisting of eight (8) semi-detached dwelling units and eight (8) townhouse dwelling units accessed by a private common element condominium road.
- Draft Plan of Subdivision and Site Development Applications are required to implement the proposed development.
- The Official Plan Amendment, Zoning By-law Amendment and Draft Plan of Subdivision Applications have been appealed to the Local Planning Appeal Tribunal.
- The Development Planning Department supports the approval of the Official Plan and Zoning By-law Amendment, Draft Plan of Subdivision and Site Development Applications, as they are consistent with the Provincial Policy Statement 2014, conforms to A Place to Grow: the Growth Plan for the Greater Golden Horseshoe 2019, the York Region Official Plan 2010, and the “Community Area” policies of the Vaughan Official Plan 2010.

Recommendations

That the Local Planning Appeal Tribunal be advised that City of Vaughan Council ENDORSES the following recommendations to permit the development of eight (8) semi-detached dwelling units and eight (8) townhouse dwelling units accessed by a private condominium road, as shown on Attachments 3 to 9:

1. THAT Official Plan Amendment File OP.15.020 (Laurier Harbour (Keele) Inc.) BE APPROVED, to amend Vaughan Official Plan 2010, Volume 1, for the Subject Lands shown on Attachment 2, specifically Section 9.1.2.3 respecting new development within an established “Community Area”.
2. THAT Zoning By-law Amendment File Z.15.019 (Laurier Harbour (Keele) Inc.) BE APPROVED, to amend Zoning By-law 1-88, specifically to rezone the Subject Lands from “R1 Residential Zone” and “R2 Residential Zone” to “RT1(H) Residential Townhouse Zone” with the Holding Symbol “(H)” in the manner shown on Attachment 3, together with the site-specific zoning exceptions identified in Table 1 of this report.
3. THAT the Holding Symbol “(H)” shall not be removed from the Subject Lands until the following matters have been addressed to the satisfaction of the City:
 - a) The design of the proposed shared access from Keele Street for the Subject Lands and 9773 Keele Street shall be approved by York Region;

- b) Shared water, sanitary, and stormwater servicing connections for the Subject Lands and the lands to the south municipally known as 9773 Keele Street shall be approved by the City and York Region;
 - c) Registered reciprocal access and servicing easements between the owners of the Subject Lands and 9773 Keele Street for shared road access and services shall be obtained from the Vaughan Committee of Adjustment. The Committee of Adjustment's decision shall be final and binding and any conditions of approval imposed by the Committee shall be satisfied; and
 - d) The Owner of the lands municipally known as 9773 Keele Street shall successfully obtain approval from Vaughan Council of the Official Plan and Zoning By-law Amendment, Draft Plan of Subdivision and Site Development applications for 9773 Keele Street.
4. THAT Draft Plan of Subdivision File 19T-15V007 (Laurier Harbour (Keele) Inc.) BE APPROVED to create one residential development Block ("Block 1") and one block to be conveyed to York Region for road widening purposes ("Block 2"), as shown on Attachment 3, subject to the Conditions of Draft Plan of Subdivision Approval in Attachment 1.
 5. THAT should the Local Planning Appeal Tribunal approve Official Plan and Zoning By-law Amendment Files OP.15.020 and Z.15.019 (Laurier Harbour (Keele) Inc.), either in whole or in part, that the Local Planning Appeal Tribunal withhold its final Order until such time that the implementing Official Plan and Zoning By-law Amendments are prepared to the satisfaction of the City.
 6. THAT should the Local Planning Appeal Tribunal approve Zoning By-law Amendment File Z.15.019, the Owner be permitted to apply for a Minor Variance application to permit minor adjustments to the in-effect Zoning By-law to the Vaughan Committee of Adjustment, if required, before the second anniversary of the day on which the implementing Zoning By-law for the Subject Lands comes into full force and effect.
 7. THAT City of Vaughan staff be directed to attend the Local Planning Appeal Tribunal Hearing in support of the Recommendations contained in this report.

That the City of Vaughan Council APPROVE the following recommendations:

1. THAT should the Local Planning Appeal Tribunal approve Official Plan Amendment File OP.15.020, Zoning By-law Amendment File Z.15.019 and Draft Plan of Subdivision File 19T-15V007, that Site Development File DA.17.068 (Laurier Harbour (Keele) Inc.) BE DRAFT APPROVED AND SUBJECT TO THE

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FOLLOWING CONDITIONS to the satisfaction of the Development Planning Department, to permit the development of eight (8) semi-detached dwelling units and eight (8) townhouse dwelling units accessed by a private condominium road, as shown on Attachments 4 to 9:

- a) That prior to the execution of the Site Plan Agreement:
 - i) the Development Planning Department shall approve the final site plan, landscape plan, landscape cost estimate, and building elevations;
 - ii) the final landscape plan shall be designed in accordance with the Maple Streetscape and Urban Design Guidelines;
 - iii) the Development Engineering Department shall approve the final grading, erosion and sediment control, site servicing plans, functional servicing and stormwater management report, and construction management plan;
 - iv) the final implementing Zoning By-law for Zoning By-law Amendment File Z.15.019 shall be approved by the Local Planning Appeal Tribunal;
 - v) the final Draft Plan of Subdivision (File 19T-15V007) shall be registered;
 - vi) the Owner shall enter into a Tree Protection Agreement with the City in accordance with the Council adopted Tree By-law 052-2018;
 - vii) the Owner shall satisfy all requirements of the Environmental Services Department, Solid Waste Management Division; and
 - viii) the Owner shall satisfy all requirements of York Region;
 - b) That the Site Plan Agreement shall include the conditions and warning clauses identified in this report, to the satisfaction of the City.
2. THAT Site Plan Development File DA.17.068 be allocated servicing capacity from the York Sewage Servicing / Water Supply System for a total of 16 residential units (52 persons equivalent). The allocation of said capacity may be revoked by Council resolution and/or in accordance with the City's current Servicing Capacity Distribution Protocol in the event that (at the discretion of the City) the development does not proceed with a building construction program within a reasonable timeframe.

Background

The 0.33 ha subject lands (the 'Subject Lands') shown on Attachment 2 are located on the east side of Keele Street, south of Barrhill Road, and are municipally known as 9785 and 9797 Keele Street, and Block 176 on Registered Plan 65M-2407. Two (2) single detached dwellings occupy the Subject Lands and are proposed to be demolished to facilitate the proposed development.

The Subject Lands are intended to be developed with the adjacent lands to the south, known municipally as 9773 Keele Street, as shown on Attachment 9. Official Plan Amendment, Zoning By-law Amendment, Draft Plan of Subdivision and Site Development Applications (9773 Keele Development Inc.- Files OP.17.001, Z.17.002, 19T-17V001 and DA.18.073) have been submitted for 9773 Keele Street to permit 11 three-storey townhouse dwellings and to restore and relocate the existing heritage dwelling (George Keffer House) located on the lands.

A single access from Keele Street and municipal servicing for the proposed development on the Subject Lands is intended to be shared with 9773 Keele Street. A technical report will be brought forward to a future Committee of the Whole Meeting for the development applications located at 9773 Keele Street.

Public Notice was provided in accordance with the Planning Act and Council's Notification Protocol

On November 6, 2015, the City circulated a Notice of Public Hearing (the 'Notice') to all property owners within 150 m of the Subject Lands. A copy of the Notice was also posted on the City's website at www.vaughan.ca and a notice sign was installed on the Subject Lands in accordance with the City's Notice Signs Procedures and Protocols.

Vaughan Council on December 15, 2015, ratified the recommendation of the Committee of the Whole to receive the Public Hearing report of December 1, 2015, and to forward a comprehensive technical report to a future Committee of the Whole meeting. A recommendation to hold a Community Meeting with the local councillor, City staff, and residents in the area vicinity was also ratified by Council. The Community Meeting was held on March 24, 2016, at Vaughan City Hall.

The following deputations and written submissions were received by the Development Planning Department, and at the Public Hearing and Community Meeting:

Deputations

- Ms. Jana Manolakos, Keele Street, Maple

- Mr. Bill Manolakos, Keele Street, Maple
- Ms. Pat Canizares, Keele Street, Maple
- Mr. Udo Schonberg, Naylor Street, Maple
- Ms. Rina Conforti, Keele Street, Maple
- Mr. Richard Lorello, Treelawn Boulevard, Kleinburg
- Reverend Robert Royal, St. Andrew's Presbyterian Church, Keele Street, Maple

Written Submissions

- B. and J. Manolakos, Keele Street, email correspondence dated October 7, 2015
- P. Canizares, Keele Street, written correspondence dated December 1, 2015

The following is a summary of, and response to, the comments provided in the deputations and written submissions submitted at the Public Hearing of December 1, 2015, and written submissions received by the Development Planning Department:

a) Compatibility of the proposed development to the surrounding area and non-conformity to Vaughan Official Plan 2010

The proposed development does not meet the compatibility criteria of Vaughan Official Plan 2010 ('VOP 2010'), specifically policies 2.2.3.2, 2.2.3.3, 9.1.2.1 and 9.1.2.2.

Response

VOP 2010 contains a number of policies that are applied and balanced prior to implementation. The Development Planning Department's review of VOP 2010 identifies Section 9.1.2.3, being the policies related to compatibility within established community areas, that require an Official Plan Amendment. Accordingly, the Owner's Official Plan Amendment application (File OP.15.020) seeks Council's approval to amend Section 9.1.2.3 to facilitate the proposed development.

The Owner, on September 9, 2019, submitted a revised development concept to the Development Planning Department to permit eight (8) semi-detached dwellings units fronting onto Keele Street and eight (8) townhouse dwelling units fronting onto a private road, accessed by a private condominium road via a shared driveway access from Keele Street with 9773 Keele Street, as shown on Attachments 4 to 9. The revised development concept, which replaced townhouse dwellings fronting onto Keele Street with semi-detached dwellings and relocated the proposed private amenity area and parking to the south of the

property, was submitted to address issues related to compatibility, massing and design and the concerns raised by residents at the Public Hearing on December 1, 2015.

The proposed development, as revised on September 9, 2019, maintains the goals, objectives and intent of the “Community Area” policies of VOP 2010, and provides an appropriate, but not identical, development to the surrounding residential community.

b) Non-conformity to the Maple Heritage Conservation District Plan with respect to scale, massing, and density

The Subject Lands are located within the “Residential Village Area” of the Maple Heritage Conservation District Plan (‘MHCDP’) and are designated under Part V of the *Ontario Heritage Act*. The Heritage Vaughan Committee on October 16, 2019, considered and approved recommendations to demolish the existing detached dwellings located on the Subject Lands and recommended the proposed development for approval. The recommendations identified in the October 16, 2019, Heritage Vaughan Report will be considered by Vaughan Council on November 19, 2019.

c) Traffic Impacts

The proposed development will increase traffic in the area.

Response

The Owner has submitted a Traffic Operation Assessment prepared by LEA Consulting and dated June 14, 2017. York Region has reviewed the proposed development and Traffic Operation Assessment and has no objections subject to the Owner satisfying draft plan of subdivision conditions. Further information regarding traffic and access can be found in the Regional Implications Section of this report.

d) Stormwater Management

How will stormwater be managed on the Subject Lands given the higher densities proposed?

Response

Stormwater runoff from the combined properties of 9773 Keele Street and the Subject Lands will drain through an internal network of manholes and catch basins and be conveyed into two proposed underground stormwater storage tanks. One underground stormwater storage tank will be located within the property boundaries of 9773 Keele street and the other located on the Subject Lands. The stormwater runoff will be controlled and released by gravity flow into the York Region storm sewer system on Keele Street. For larger storm events exceeding the storage capacity of the stormwater storage system, an overland flow route will convey the stormwater runoff along the internal access road, proposed on the Subject Lands and 9773 Keele Street, to Keele Street.

On October 29, 2019, a notice of this Committee of the Whole meeting was sent to all individuals who made a deputation before the Committee or submitted written correspondence to the City regarding the Applications.

Previous Reports/Authority

[Item 1, Report No. 45 of the Committee of the Whole \(Public Hearing\), December 1, 2015](#)

Analysis and Options

Official Plan Amendment, Zoning By-law Amendment, Daft Plan of Subdivision and Site Development Applications have been submitted to permit a residential development

The Owner has submitted the following applications (the 'Applications') to permit the development of eight (8) semi-detached dwellings units fronting onto Keele Street and eight (8) townhouse dwelling units fronting onto a private road, all accessed by a private condominium road via a shared driveway access from Keele Street with 9773 Keele Street (the 'Development'):

1. Official Plan Amendment File OP.15.020 to amend VOP 2010, Volume 1, for the Subject Lands shown on Attachment 2, specifically Section 9.1.2.3 respecting new development within an established "Community Area".
2. Zoning By-law Amendment File Z.15.019 to amend Zoning By-law 1-88, specifically to rezone the Subject Lands from "R1 Residential Zone" and "R2 Residential Zone" subject to site-specific zoning Exception 9(495) to "RT1

Residential Townhouse Zone”, together with the site-specific zoning exceptions identified in Table 1 of this report.

3. Draft Plan of Subdivision File 19T-15V007 to permit one residential development block (“Block 1”) in order to create individual lots tied to the common element condominium for future ownership (“Parcels of Tied Land”), and one block to be conveyed to York Region for road widening purposes (“Block 2”), as shown on Attachment 3.
4. Site Development File DA.17.068 to permit the Development shown on Attachments 4 to 8.

The Owner has appealed the Official Plan Amendment, Zoning By-law Amendment and Draft Plan of Subdivision Applications to the Local Planning Appeal Tribunal (‘LPAT’)

The Owner, on August 28, 2015, submitted Official Plan Amendment File OP.15.020, Zoning By-law Amendment File Z.15.019 and Draft Plan of Subdivision File 19T-15V007 to permit the development of 13 townhouse units over three blocks and two (2) semi-detached units accessed by a private condominium road, for a total of 15 residential units. On September 1, 2017, the Owner submitted Site Development File DA.17.068 in addition to the existing development applications to facilitate site plan approval of the Development. Site Development File DA.17.068 included a revised development proposal for 12 townhouse units over three (3) blocks and four (4) semi-detached units over two (2) blocks accessed by a private condominium road, for a total of 16 residential units.

The Owner, on April 24, 2018, appealed the Official Plan Amendment, Zoning By-law Amendment and Draft Plan of Subdivision applications (the ‘Appealed Applications’) to the Local Planning Appeal Tribunal (‘LPAT’) under Subsections 22(7), 34(11) and 51(34), respectively, of the *Planning Act*. The appeal was the result of the failure of the City to make a decision on the Appealed Applications within the timeframes of the *Planning Act*. The Owner has not appealed Site Development File DA.17.068 to the LPAT.

One-day LPAT pre-hearing conferences (Case No. PL170643) for the Appealed Applications were held on June 4, 2018 and November 13, 2018. The LPAT, in their decision dated December 27, 2018, scheduled a five-day hearing for the Appealed Applications commencing on January 27, 2020.

The Owner submitted a revised development concept on September 19, 2019

The Owner, on September 9, 2019, submitted a revised development concept to the Development Planning Department to permit eight (8) semi-detached dwellings units fronting onto Keele Street and eight (8) townhouse dwelling units fronting onto a private road, all accessed by a private condominium road via a shared driveway access from Keele Street with 9773 Keele Street (the 'Development'). The revised development concept was submitted to address comments related to compatibility, massing and design, and comments made at the Public Hearing on December 1, 2015.

The Development is consistent with the Provincial Policy Statement 2014

In accordance with Section 3 of the *Planning Act*, all land use decisions in Ontario "shall be consistent" with the Provincial Policy Statement 2014 ('PPS'). The PPS provides policy direction on matters of provincial interest related to land use planning and development. These policies support the goal of enhancing the quality of life for all Ontarians. Key policy objectives include: building strong, healthy communities; the wise use and management of resources; and protecting public health and safety. The PPS recognizes that local context and character is important. Policies are outcome oriented, and some policies provide flexibility in their implementation provided that Provincial interests are upheld.

The *Planning Act* requires that Vaughan Council's planning decisions be consistent with the PPS. The Development Planning Department is of the opinion that the Development is consistent with provincial policies, specifically:

- Section 1.1.3.2 - settlement areas shall be the focus of growth and development based on densities and land uses which efficiently use land, infrastructure
- Section 1.1.3.4 - Appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety
- Section 1.4.3 - planning authorities shall provide for an appropriate range and mix of housing types, directed to appropriate levels of infrastructure and public service facilities
- Section 1.6.6.2 - municipal sewage services and municipal water services are the preferred form of servicing for settlement areas. Intensification and redevelopment within settlement areas on existing municipal sewage services and municipal water services should be promoted, wherever feasible
- Section 1.7 d) - encouraging a sense of place, by promoting well-designed built form, cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes

The Subject Lands are located within a Settlement Area as defined by the PPS, and within the Urban Boundary on Schedule 1 “Urban Structure” of VOP 2010. The Development will contribute to providing growth within a defined Settlement Area (Section 1.1.3) with appropriate development standards that promote a compact building form (Section 1.1.3.4).

The Development will contribute to providing a range of housing types (semi-detached and townhouse dwellings) through a low-rise housing form within the area vicinity (Section 1.4.3) and will utilize existing municipal water and sanitary servicing connections located on Keele Street (Section 1.6.6.2). The Development was recommended for approval by the Heritage Vaughan Committee on October 16, 2019, and consists of a mix of Victorian and Georgian building styles in accordance with the MHCDP (Section 1.7). The Development is consistent with the PPS.

The Development conforms to A Place to Grow: Growth Plan for the Greater Golden Horseshoe 2019

The Provincial Growth Plan, A Place to Grow: Growth Plan for the Greater Golden Horseshoe Growth Plan 2019 (‘Growth Plan’) is intended to guide decisions on a wide range of issues, including economic development, land use planning, urban form, and housing. The Growth Plan provides a framework for managing growth in the Greater Golden Horseshoe including: directions for where and how to grow; the provision of infrastructure to support growth; and protecting natural systems and cultivating a culture of conservation. Council’s planning decisions are required by the *Planning Act* to conform, or not conflict with, the Growth Plan.

The Development is consistent with the policy framework of the Growth Plan as the built form would utilize the Subject Lands more efficiently, make more efficient use of existing infrastructure, and provide housing at a density that is supportive of the Growth Plan objectives, specifically:

- Section 2.2.1.2.a) - directing growth to settlement areas that have existing or planned municipal water and wastewater systems
- Section 2.2.1.4.c) - provide a diverse range and mix of housing options, including second units and affordable housing, to accommodate people at all stages of life, and to accommodate the needs of all household sizes and incomes
- Section 2.2.6.3 - that multi-unit residential developments incorporate a mix of unit sizes to accommodate a diverse range of household sizes and incomes
- Section 4.2.7 - implementing the goals and objectives of the municipal cultural heritage plan, and the conservation of cultural heritage resources

The Development is located within a Settlement Area, as defined by the Growth Plan, and will utilize existing municipal water and sanitary servicing connections located on Keele Street (Section 2.2.1.2). The Development provides for a mix of residential housing types (semi-detached and townhouse dwellings) that will assist in accommodating the needs of all household sizes (Section 2.2.1.4). The Development was recommended for approval by the Heritage Vaughan Committee on October 16, 2019, and consists of a mix of Victorian and Second Empire building styles in accordance with the MHCDP (Section 4.2.7). The Development conforms to the Growth Plan.

The Development conforms to the York Regional Official Plan 2010

The York Region Official Plan 2010 ('YROP') guides economic, environmental and community building decisions across York Region. The Subject Lands are designated "Urban Area" on Map 1, "Regional Structure" of the YROP. The "Urban Area" designation permits a range of residential, commercial, industrial and institutional uses, subject to additional policy criteria. Section 5.0 of the YROP states that "intensification within the Urban Area will accommodate a significant portion of the planned growth in the Region." Section 5.3.3 of the YROP identifies "local infill" as a municipal intensification strategy to meet York Regional intensification targets to 2031.

Keele Street is identified as a "Regional Transit Priority Network" on Map 11 "Transit Network" of the YROP. Section 7.2.24 of the YROP directs the potential for the construction of high occupancy vehicle lanes, dedicated transit lanes, with transit signal priority and other transit priority measures within a Regional Transit Priority Network. In addition, Section 7.2.53 of the YROP restricts vehicle access from developments adjacent to Regional roads (Keele Street) to maximize the efficiency of the Regional street system through techniques such as suitable local street access, shared driveways on Regional roads and interconnected properties.

The Development includes modest intensification in the form of eight (8) semi-detached dwellings and eight (8) townhouse dwellings that is considered to be "local infill" in accordance with Section 5 of the YROP. The Development is transit supportive given the proximity of existing YRT (Route 107) and GO Transit (Maple GO Station) services to the Subject Lands, and to Keele Street, a Regional Transit Priority Network identified in the YROP. The Development will be accessed by a shared driveway from 9773 Keele Street, as shown on Attachments 4 and 9, and will function as one interconnected development in accordance with Section 7.2.53 of the YROP. The Development conforms to the YROP.

York Region, on November 12, 2015, identified that Official Plan Amendment File OP.15.020 is a routine matter of local significance. In accordance with YROP policy 8.3.8, Official Plan Amendment File OP.15.020 does not adversely affect Regional planning policies or interests. York Region, on November 12, 2015, exempted Official Plan Amendment File OP.15.020 from approval by York Region Council. This allows the implementing Official Plan Amendment to come into effect following its adoption by the City of Vaughan and the expiration of the required appeal period, should the Applications be approved.

An Amendment to VOP 2010 is required to permit the Development

The Subject Lands are located within a “Community Area” and are located in proximity to a “Local Centre” on Schedule 1 “Urban Structure” of VOP 2010. Community Areas consist of predominantly low-rise housing forms with limited intensification. Keele Street is identified as a “Regional Transit Priority Network” on Schedule 10 “Major Transit Network” of VOP 2010.

Section 2.2.3 of VOP 2010 identifies the following policies (in part) for new development in “Community Areas”:

- That limited intensification may be permitted in Community Areas as per the land use designations on Schedule 13 and in accordance with the policies of Chapter 9 of VOP 2010. The proposed development must be sensitive to and compatible with the character, form and planned function of the surrounding context. (Section 2.2.3.3)
- Community Areas will provide most of the City’s low-rise housing stock and will function as complete communities (Section 2.2.3.1)
- New development in Community Areas that reinforces the existing scale, height, massing, lot pattern, building type character, form and planned function of the immediate local area is permitted (Section 2.2.3.2)

The Subject Lands are designated “Low-Rise Residential” on Schedule 13 “Land Use” of VOP 2010. Semi-detached and townhouse dwelling units up to three (3) storeys in height are permitted in the “Low-Rise Residential” designation, subject to the compatibility criteria identified in Section 9.1.2.3 of VOP 2010 and the development criteria identified in Sections 9.2.3.1 and 9.2.3.2 of VOP 2010.

Section 9.1.2.3 of VOP 2010 states (in part):

“Within the Community Areas there are a number of older, established residential neighbourhoods that are characterized by large lots and/or by

their historical, architectural or landscape value. They are also characterized by their substantial rear, front and side yards, and by lot coverages that contribute to expansive amenity areas, which provide opportunities for attractive landscape development and streetscapes. Often, these areas are at or near the core of the founding communities of Thornhill, Concord, Kleinburg, Maple and Woodbridge; and may also be part of the respective Heritage Conservation Districts.

In order to maintain the character of these areas the following policies shall apply to all developments within these areas:

- a. Lot frontage: In the case of lot creation, new lots should be equal to or exceed the frontages of the adjacent nearby and facing lots;
- b. Lot area: The area of new lots should be consistent with the size of adjacent and nearby lots;
- c. Lot configuration: New lots should respect the existing lotting fabric;
- d. Front yards and exterior side yards: Buildings should maintain the established pattern of setbacks for the neighbourhood to retain a consistent streetscape;
- e. Rear yards: Buildings should maintain the established pattern of setbacks for the neighbourhood to minimize visual intrusion on the adjacent residential lots;
- f. Building heights and massing: Should respect the scale of adjacent residential buildings and any city urban design guidelines prepared for these community areas;
- g. Lot coverage: In order to maintain the low density character of these areas and ensure opportunities for generous amenity and landscaping areas, lot coverage consistent with development in the area and as provided for in the zoning by-law is required to regulate the area of the building footprint within the building envelope, as defined by the minimum yard requirements of the zoning by-law."

The Owner has submitted Official Plan Amendment File OP.15.020 to amend the compatibility criteria in Section 9.1.2.3 of VOP 2010 to permit the Development. The Development Planning Department has reviewed the proposed amendments to VOP 2010 as follows:

Area Context and Previous Development Approvals

The Subject Lands are located in proximity to predominately low-rise residential and commercial land uses. The lands located approximately 175 m north of

Barrhill Road that front onto Keele Street are located within a “Local Centre”, as identified on Schedule 1 “Urban Structure” of VOP 2010, and consist of a variety of land uses including multi-unit commercial plazas and multi-unit residential dwellings, including low-rise buildings and fourplexes. The lands located south of the Subject Lands consist primarily of single detached dwellings that front onto Keele Street.

The area of the Maple Village within approximately 250 m of the Subject Lands has experienced infill residential developments consisting of semi-detached dwellings, townhouse dwellings and low-rise mixed-use buildings. This includes the following approved development applications:

- Four (4) semi-detached dwelling units with a maximum building height of 9.5 m at the southwest corner of Keele Street and Merino Road (Files Z.14.029 and DA.14.055 - Centreville Homes (Merino) Inc.)
- Four (4) semi-detached dwellings units with a maximum building height of 9.5. m at 9850 Keele Street (Files Z.13.006 and DA.13.038 – Nancy DiManno)
- Eleven (11) three-storey townhouse units, four (4) three-storey semi-detached units and to convert the existing heritage dwelling (William Bailey Residence) into a mixed-use building with commercial space on the ground floor and a residential dwelling unit on the second floor at 9869, 9881 and 9891 Keele Street (Files OP.15.009, Z.15.037, 19T-15V015, and DA.15.090 - Empire Pace (Maple) Ltd)

The Development is also for a built form that is similar to the modest intensification including semi-detached, townhouse and low-rise buildings that has occurred on Keele Street between Major Mackenzie Drive and Rutherford Road.

Lot Configuration and Building Height

The Development shown on Attachments 4 to 8 consists of eight (8) semi-detached units fronting onto Keele Street and eight (8) townhouse dwelling units within two (2) blocks fronting onto a private condominium road. Each semi-detached unit is designed to appear as a single detached dwelling consistent with the scale and massing of existing Victorian and Second Empire brick houses in the Maple Heritage Conservation District.

The proposed semi-detached dwelling units will front onto Keele Street and provide a building form that is compatible in scale, massing and height (three-

storeys and 9.5 m) to the existing detached dwellings located south of the Subject Lands. The Development is within a one-storey height difference from the neighbouring heritage structures on the same block, and complement the immediate context of the block, through the proposed architectural style and height of the buildings.

The lot frontage of the proposed semi-detached dwellings varies from 6.55 m to 9.39 m and is consistent with the proposed semi-detached dwellings located at 9580 Keele Street (6.7 m to 9 m) and the southwest corner of Keele Street and Merino Road (7.25 m).

Parking for the proposed semi-detached units is located at the rear of each unit and accessed via the proposed private driveway interconnected with 9773 Keele Street, thereby eliminating the impact of parking and driveways on the Keele Street streetscape.

The transition from semi-detached dwellings fronting on Keele Street to townhouse dwelling units fronting onto a private road provides an appropriate built form transition from Keele Street, and establishes an appropriate progression of density that maintains the built form streetscape of Keele Street. The proposed three-storey townhouse units will measure 9.5 m in height and will have minimal impact on the Keele Street streetscape.

Building Setbacks and Coverage

The proposed front yard building setback of approximately 3 m, when combined with the proposed 6 m wide road widening of Keele Street, will provide a compact built form while respecting existing street views along Keele Street. The proposed front yard setback is also consistent with the setback that is proposed for the heritage dwelling (the George Keffer House) intended to be relocated as part of the proposed development at 9773 Keele Street.

The distance separation of 2.45 m between the semi-detached units is consistent with the varied building separations of 1.75 m to 4.5 m between detached dwelling units along Keele Street. The Development will have minimal impact to the existing exterior side and rear yard condition that exists on the adjacent property to the north (5 Barrhill Road). The proposed lot coverage of 46.5% for the Development reflects a minor increase to the permitted lot coverage of 40% for the existing residential lots zoned "R3 Residential Zone" that are located south of the Subject Lands.

Summary of VOP 2010 Policies

The Development represents a limited form of intensification in accordance with Section 2.2.3.3 of VOP 2010 and is appropriate given the Subject Lands' proximity to a "Local Centre" and its area context with previous development approvals. The Development includes a compact built form that will maximize the usability of the lot and offer a variety in unit sizes while providing a consistent massing on Keele Street in the form of semi-detached dwellings. The Development provides an appropriate transition and progression of density to the proposed townhouse dwelling units located interior to the Subject Lands.

The Subject Lands are located along a "Regional Transit Priority Network", which envisions the potential for construction of high occupancy vehicle lanes, dedicated transit lanes, and other transit priority measures. The Development will utilize a shared access with 9773 Keele Street in accordance with the YROP. The Subject Lands are located within walking distance of the Maple Village Commercial Core and has direct access to existing transit stops at the Keele Street and Barrhill Road intersection.

The Development Planning Department is of the opinion that the Development meets the intent of the "Community Area" policies of VOP 2010, and is appropriate, but not identical to, the surrounding community. The Development Planning Department supports Official Plan Amendment File OP.15.020.

The Applications were submitted prior to the approval of the Community Area Policy Review for Low-rise Residential Designations and OPA 15

The Subject Lands are identified as an "Established Large-Lot Neighborhoods" in accordance with the "Community Area Policy Review for Low Rise Residential Designations" '(Official Plan Amendment 15 - 'OPA 15') of VOP 2010)' and Schedule 1B of VOP 2010. "Established Large-Lot Neighbourhoods" are characterized by large lots with minimum lot frontages of 21 m to 30 m.

Vaughan Council, on October 19, 2016, approved the Urban Design Guidelines for Infill Development in Established Low-Rise Residential Neighbourhoods (the 'Guidelines'), which clarifies VOP 2010 policy that apply to low-rise neighbourhoods. The Guidelines are typically applied to detached, semi-detached and townhouse units that are located in stable community areas, in accordance with Map 1 of the Guidelines.

Vaughan Council, on April 19, 2017, approved the Study recommendations and approved OPA 15 on September 27, 2018. York Region, on May 8, 2019, issued a Notice of Decision for OPA 15. On May 28, 2019, OPA 15 came into effect.

The Appealed Applications were deemed complete on September 24, 2015. Development applications are assessed and reviewed based on the existing policy framework at the time of a “complete” application. Site Development Application DA.17.068 was submitted on September 1, 2017, also pre-dating the approval of OPA 15. Therefore, the Applications are not subject to OPA 15 (Community Area Policy Review for Low Rise Residential Designations). However, the Development complies with the following sections of the Guidelines:

- Section 4.6 - the height of new dwellings should not exceed 9.5 m
- Sections 4.7 and 5.3 - front entrances should be prominent and well detailed and incorporate a porch or stoop
- Section 5.11 - each townhouse should have a private backyard fenced or screened with landscaping
- Section 5.12 - where common outdoor amenity is proposed in addition to private amenity space, the common space should be in a prominent location, visible and easily accessed from all units, and with plenty of exposure to sunlight
- Section 5.14 - the architecture and materials of new townhouses should respect and complement the character of the surrounding residential area
- Section 5.27 - visitor parking should be located close to the site entrances
- Section 5.34 - drainage should have no adverse impacts on the adjacent properties or public realm

The Development includes new dwellings with a maximum building height of 9.5 m and with front entrances that are prominent to Keele Street and incorporate a porch. Building materials for the Development include red brick for the main facades and beige brick accents with black or dark grey roof shingles, in accordance with the Heritage Vaughan recommendation that will be considered by Vaughan Council on November 19, 2019. Each townhouse dwelling includes a private backyard that is fenced and screened with landscape. A centralized amenity and visitor parking area is easily accessible for residents and is located on the south side of the Subject Lands for maximum sun exposure. Stormwater runoff from the Subject Lands and 9773 Keele Street will drain through an internal network of manholes and catch basins and be conveyed into two proposed underground stormwater storage systems. Stormwater runoff from the Subject Lands and 9773 Keele Street will drain through an internal network of manholes and catch basins and be conveyed into two proposed underground stormwater storage systems located under the proposed parkette and visitor parking area.

The Development was recommended for approval by the Heritage Vaughan Committee

The Subject Lands are located within the “Residential Village Area” of the MHCDP and are protected under Part V of the *Ontario Heritage Act*. The Heritage Vaughan Committee considered the Development and recommended it for approval on October 16, 2019. The Development Planning Department provided recommendations to approve the Development, subject to conditions. The recommendations of the Heritage Vaughan Committee identified in the October 16, 2019, Heritage Vaughan Report will be considered by Vaughan Council on November 19, 2019.

Amendments to Zoning By-law 1-88 are required to permit the Development

The Subject Lands are zoned “R1 Residential Zone” and “R2 Residential Zone” subject to site-specific zoning Exception 9(495) by Zoning By-law 1-88, as shown on Attachment 2, which permits single detached dwellings. The Owner is proposing to amend Zoning By-law 1-88 to rezone the Subject Lands to “RT1 Residential Townhouse Zone” together with the following site-specific zoning exceptions to the RT1 Zone standards:

Table 1

	Zoning By-law 1-88 Standard	RT1 Residential Townhouse Zone Requirement	Proposed Exceptions to the RT1 Residential Townhouse Zone Requirement
a.	Definition of “Lot”	Means a parcel of land fronting on a public street	Means a parcel of land fronting on a public street or private road
b.	Definition of “Street Townhouse”	Means a townhouse dwelling in which each dwelling unit is situated on its own lot, which abuts a public street	Means a townhouse dwelling in which each dwelling unit is situated on its own lot, which abuts a public or private street

	Zoning By-law 1-88 Standard	RT1 Residential Townhouse Zone Requirement	Proposed Exceptions to the RT1 Residential Townhouse Zone Requirement
c.	Definition of “Street Line”	Means the dividing line between a lot and a street or the dividing line between a lot and a reserve abutting a street	Means the dividing line between a lot and a street or a private road, or the dividing line between a lot and a reserve abutting a street or a private road
d.	Permitted Uses	Street Townhouse Dwelling	<ul style="list-style-type: none"> • Semi-detached Dwelling • Street Townhouse Dwelling
e.	Frontage on a Public Street	A lot must front onto a public street	Permit a lot to front onto a private road
f.	Minimum Lot Frontage	6 m / unit	5.6 m / unit (Blocks 5 and 6)
g.	Minimum Lot Area	180 m ²	115 m ² (Blocks 1 to 4) 101 m ² (Blocks 5 and 6)
h.	Minimum Lot Depth	30 m	16.5 m (Blocks 1 and 2) 17 m (Blocks 3 and 4) 18 m (Blocks 5 and 6)

	Zoning By-law 1-88 Standard	RT1 Residential Townhouse Zone Requirement	Proposed Exceptions to the RT1 Residential Townhouse Zone Requirement
i.	Minimum Front Yard Setback	4.5 m	Blocks 1 to 4 - 3 m (Keele Street) Blocks 5 and 6 - 3 m (Private Road)
j.	Minimum Rear Yard Setback	7.5 m	Blocks 1 to 4 - 3 m (Private Road) Blocks 5 and 6 - 4.6 m (East Property Line)
k.	Minimum Rear Yard Setback to a Covered and Unenclosed Porch	7.5 m	Blocks 1 to 4 - 1.8 m (Private Road)
l.	Minimum Interior Side Yard Setback	1.2 m	1 m (Block 5 and North Property Line) 0.75 (Block 5 and 6)
m.	Minimum Exterior Side Yard Setback	4.5 m	3.24 m (Block 4)
n.	Minimum Front Yard Soft Landscaping (Private Road)	60%	Blocks 1 to 4 - 49% (Keele Street) Blocks 5 and 6 - 21% (Private Road)
o.	No Encroachment Zone for Unenclosed Porches (Covered or Uncovered) Cold Cellars, Architectural Features and Balconies	1.5 m	1.2 m (Block 5)

	Zoning By-law 1-88 Standard	RT1 Residential Townhouse Zone Requirement	Proposed Exceptions to the RT1 Residential Townhouse Zone Requirement
p.	Encroachment of Steps into the Minimum Interior Garage Width	Not Permitted	Permit two (2) risers to encroach into the minimum garage width

The Development Planning Department supports the proposed site-specific zoning exceptions for the following reasons:

Definitions, Frontage on a Public Street and Permitted Uses

The proposed definitions are technical in nature, as the Development will contain freehold lots having access from a private common element condominium road. This will ensure zoning compliance for the future freehold lots. The proposed exceptions for frontage on a public street and the use of semi-detached dwellings will provide an appropriate built form transition and progression of density from semi-detached dwellings fronting onto Keele Street to townhouse dwellings fronting onto the proposed private common element condominium road.

Lot Areas, Frontage and Depth

The proposed lot frontage, lot area and lot depth requirements will facilitate an appropriate housing form while maintaining a suitable integration into the existing adjacent low-rise residential area, and are consistent with other similar infill developments along Keele Street between Rutherford Road and Major Mackenzie Drive.

Setbacks and Encroachments

The proposed setbacks and encroachments are appropriate as the Development represents a compact built form that will maximize the usability of the Subject Lands and offer a variety of unit sizes, while providing a consistent and attractive public realm on Keele Street.

Zoning By-law 1-88 permits a maximum building height of 11 m in an “RT1 Residential Townhouse Zone”; however, the implementing Zoning By-law will restrict the maximum building height to 9.5 m in accordance with the MHCDP, should the Applications be

approved. The proposed development standards will facilitate local infill that is consistent with other similar developments in the area.

A Holding Symbol “(H)” is recommended for the Subject Lands to ensure appropriate access and servicing through a comprehensive development with the Subject Lands and 9773 Keele Street

The Subject Lands are planned to be developed with 9773 Keele Street, the adjacent lands to the south, as shown on Attachment 2, 4 and 9. Official Plan Amendment, Zoning By-law Amendment, Draft Plan of Subdivision and Site Development Applications (9773 Keele Development Inc.- Files OP.17.001, Z.17.002, 19T-17V001 and DA.18.073) have been submitted for 9773 Keele Street to permit 11 three-storey townhouse dwellings and to restore and relocate the existing heritage dwelling (the George Keffer House) located on the lands.

The Development is proposed to share access from Keele Street, as shown on Attachment 4, and municipal servicing with 9773 Keele Street. In order to ensure that appropriate access and servicing is obtained for the Development and that the Subject Lands and 9773 Keele Street are developed comprehensively, the Development Planning Department recommends that the Subject Lands be zoned with the Holding Symbol “(H)”, should the LPAT approve the Appealed Applications.

The Holding Symbol “(H)” shall not be removed from the Subject Lands, or any portion thereof, until the following conditions are met to the satisfaction of the City of Vaughan or York Region:

- a) The design of the proposed shared access from Keele Street for the Subject Lands and 9773 Keele Street shall be approved by York Region;
- b) Shared water, sanitary, and stormwater servicing connections for the Subject Lands and the lands to the south municipally known as 9773 Keele Street shall be approved by the City and York Region;
- c) Registered reciprocal access and servicing easements between the landowners of the Subject Lands and 9773 Keele Street for shared road access and services shall be obtained from the Vaughan Committee of Adjustment. The Committee of Adjustment’s decision shall be final and binding and any conditions of approval imposed by the Committee pursuant to the *Planning Act* shall be satisfied; and
- d) The Owner of the lands municipally known as 9773 Keele Street shall successfully obtain approval from Vaughan Council of the Official Plan and

Zoning By-law Amendment, Draft Plan of Subdivision and Site Development applications for 9773 Keele Street.

A condition to this effect is included in the Recommendations of this report.

The Planning Act enables a municipality to pass a resolution to permit the Owner to apply for a future Minor Variance application(s), if required, within 2 years of a Zoning By-law coming into full force and effect

Section 45(1.3) of the *Planning Act* restricts an Owner from applying for a Minor Variance application(s) to the Vaughan Committee of Adjustment before the second anniversary of the day on which the implementing Zoning By-law for the Subject Lands came into effect. However, the *Planning Act* also enables Council to pass a resolution to allow an Owner to apply for a Minor Variance Application(s) to permit minor adjustments to the implementing Zoning By-law, prior to the two-year moratorium.

Should the LPAT approve Zoning By-law Amendment File Z.15.019, the Development Planning Department has included a Recommendation to permit the Owner to apply for a Minor Variance application(s) to address refinements to the Development that may arise through the final design and construction process. A condition to this effect is included in the Recommendations of this report.

The Development Planning Department supports the Development, subject to the Recommendations in this Report

Site Plan

The Development shown on Attachments 4 to 8 consists of eight (8) semi-detached units and eight (8) townhouse units accessed by a private common element condominium road, for a total of 16 residential units. Access from Keele Street is proposed to be shared with 9773 Keele Street. The semi-detached units front onto Keele Street while the townhouse units front onto the proposed private common element condominium road.

A private amenity area programmed as a passive parkette is proposed at the south end of the Subject Lands. A community mailbox is proposed on the north side of 9773 Keele Street to serve the Development and the proposed development at 9773 Keele Street. Snow storage is proposed on the north side of the Subject Lands where the private common element condominium road terminates. Air conditioning units are proposed to be located in the rear yard on second-floor balconies for the semi-detached dwelling units, and in the rear yards of the townhouse dwelling units and are not visible

from Keele Street or the private road. Direct pedestrian walkways are proposed from Keele Street to the proposed semi-detached units. The Development Planning Department encourages the Owner to provide additional pedestrian connections from the proposed townhouse dwelling units to Keele Street and provide a sidewalk on one side of the private street.

Two (2) visitor parking spaces are proposed, inclusive of one (1) barrier-free space. Zoning By-law 1-88 requires 0.25 visitor parking spaces for each street townhouse dwelling unit. Semi-detached dwelling units do not require visitor parking spaces. The proposed two (2) visitor parking spaces (0.25 spaces / street townhouse dwelling unit x 8 street townhouse dwelling units = 2 spaces) complies with the visitor parking requirements of Zoning By-law 1-88. Two (2) parking spaces are provided for each semi-detached and townhouse unit including one space in a garage and the other on the driveway, in accordance with Zoning By-law 1-88.

Landscape Plan

The landscape plan shown on Attachment 5 consists of a mix of deciduous and coniferous trees, shrubs and perennials. Concrete pavers are proposed for the pedestrian connections from Keele Street to the semi-detached dwellings. Six (6) deciduous trees are proposed along the frontage of Keele Street, and subject to approval by York Region. Ten (10) existing trees are located within the Keele Street right-of-way, and shall be retained, as further identified in the Regional Implications section of this report. A 1.8 m high wood fence together with deciduous trees is proposed along the east property line. The proposed passive parkette includes a mix of perennial shrubs and grasses and a deciduous tree.

The Subject Lands are located within the Maple Streetscape and Urban Design Guidelines ('MSUDG') Study Area. The Keele Street frontage of the Development shall be designed in accordance with the MSUDG including, but not limited to, a single row of red unit pavers on each side of the concrete sidewalk on Keele Street. The final site plan and landscape plan for the Development must be designed in accordance with the MSUDG and are subject to approval by York Region. Conditions to this effect are included in the Recommendations of this report.

The Site Plan Agreement will also include a clause requiring the Owner to provide a one-time payment of \$8,898.00 to the City of Vaughan for the maintenance of the enhanced landscape on the Keele Street right-of-way. The final maintenance fee amount will be determined through the approval of the landscape plan and landscape cost estimate to the satisfaction of the Development Planning Department. Accordingly,

the following clause will be included in the Site Plan Agreement in accordance with the Recommendations of this report:

“The Owner shall pay to the City of Vaughan a one-time payment of \$8,898.00 for the long term City maintenance of the enhanced landscape features within the Keele Street right-of-way to the satisfaction of the Development Planning Department.”

The Landscape Plan shown on Attachment 5 consists of a mix of deciduous and coniferous trees, shrubs and perennials. Three (3) Nine (9) existing trees are proposed to be retained within the Keele Street right-of-way, together with six (6) new additional deciduous. A double row of trees along the frontage of Keele Street. A 1.8 m high wood fence is proposed in accordance with the Maple Heritage Streetscape Plan. A total of 27, 1.5 m high cedar trees are proposed along the north property line to satisfy the condition imposed by the LPAT Decision to reduce overlook into the rear yard of 9580 Keele Street, the abutting property located north of the Subject Lands. A 1.8 m high concrete entry feature with perennial shrubs and grasses is proposed along the south portion of the driveway entrance adjacent to Block 5. Red unit pavers are proposed along the proposed sidewalk in accordance with the Maple Heritage Streetscape Plan.

Building Elevations

The building elevations shown on Attachments 6 to 8 consist of three-storey semi-detached and townhouse dwellings measuring 8.42 to 8.56 m in height from the mid-point of the roof. Building materials include red brick for the main facades and beige brick accents with black or dark grey CertainTeed roof shingles. The window and door materials for all units will be wood or vinyl.

The building elevations represent an architectural mix of individual Victorian Gothic and Ontario Second Empire examples in accordance with the MHCDP. The building elevations conform to the architectural styles in materials, proportions and colour palette, and respect the existing building design in the neighbourhood. Together, they are in keeping with the heritage building styles of the MHCDP and are sympathetic to the architectural style that would be prevalent to a main street residential setting on Keele Street.

The proposed building elevations shown on Attachments 5 to 7 consist of three-storey semi-detached and townhouse dwellings ranging in height from 8.88 m to 9.42 m. The proposed dwellings are inspired by the Victorian Vernacular style in accordance with Section 9.1 of the MHCDP. This style has been adapted to be simpler and more restrained to be distinguishable as a product of its own time.

The Development includes two separate material schemes between alternating blocks, as shown on Attachment 7. The first material scheme includes red brick for the main facades and beige brick accents with black CertainTeed roof shingles. The second material scheme includes beige brick for the main facades and red brick accents with dark grey CertainTeed roof shingles. The window and door materials for all units will be wood or vinyl. Frosted glass is proposed on the north elevation of Block 1, as shown on Attachment 6, to satisfy the condition imposed by the LPAT Decision to reduce overlook into the rear yard of 9580 Keele Street, the abutting property located north of the Subject Lands.

Prior to the execution of the Site Plan Agreement, the final site plan, building elevations, landscape plan and landscape cost estimate for the Development must be approved to the satisfaction of the Development Planning Department. A condition to this effect is included in the Recommendations of this report.

The Development Planning Department has no objection to the Draft Plan of Subdivision, subject to Conditions of Approval

The proposed Draft Plan of Subdivision ('Draft Plan') (File 19T-15V007) shown on Attachment 3 is for the purpose of creating one residential development block ("Block 1") to implement the Development, and one block to be conveyed to York Region for road widening purposes ("Block 2"). Prior to the execution of the Site Plan Agreement, the Owner is required to satisfy all conditions of Draft Plan of Subdivision Approval in Attachment 1 and the final Draft Plan shall be registered on title. A condition to this effect is included in the Recommendations of this report.

Draft Plan of Condominium and Part Lot Control Applications are required to implement the Development

Should the Applications be approved, a Draft Plan of Condominium application is required to establish the proposed condominium tenure and common elements of the Development, and to secure appropriate conditions of draft plan of condominium approval. A Part Lot Control Application will also be required to create individual lots tied to the common element condominium ("Parcels of Tied Land") for future ownership.

A Tree Protection Agreement is required

The Owner has submitted an Arborist Report and Tree Preservation Plan prepared by Baker Turner Inc. and dated August 2019. Based on the City's Replacement Tree Requirements under the City's Tree Protection Protocol, 69 replacement trees are required on the Subject Lands. Eighteen (18) large shade deciduous and three (3) ornamental Twenty-seven (27) trees (at one-half tree compensation = 1.5 trees) are

proposed, requiring a cash-in-lieu contribution of \$26,950 at \$550 per tree for the remaining 49 trees required (69 trees - 20 trees (rounded from 19.5 trees) = 49 trees x \$550). Standard conditions to this effect are included in the Site Plan Agreement.

The Owner shall enter into a Tree Protection Agreement with the City prior to finalizing the Site Plan Agreement in accordance with the City's Tree By-law 052-2018. Upon finalization of the landscape plan, the Owner shall quantify the value of tree replacements using the Urban Design Tree Replacement Valuation outlined in the City's Tree Protection Protocol. The Owner shall not remove trees without written approval by the City. A condition to this effect is included in the Recommendations of this report.

The Development Engineering Department has no objection to the Development, subject to conditions

The Development Engineering ('DE') Department has reviewed the Applications and provides the following comments:

a) Road Network

Access to the Subject Lands is proposed from Keele Street through a shared mutual access with 9773 Keele Street, aligned opposite Merino Road forming the fourth leg of the intersection. The Subject Lands are subject to the future Keele Street road widening and York Region approval.

b) Municipal Services

The Owner has submitted a Functional Servicing & Stormwater Management Report ('Servicing Report') prepared by C.F. Crozier and Associates Inc. dated August 2017, with revisions dated September 2019. The Servicing Report identifies the proposed servicing scheme for the Development and the proposed development located at 9773 Keele Street. Water, sanitary, and stormwater servicing for the Subject Lands is proposed via a shared services connection with 9773 Keele Street. The shared servicing between the two properties will ultimately connect to the existing municipal and Regional services on Keele Street.

i) Water Servicing

The Subject Lands are proposed to be serviced by an existing 300 mm watermain located on Keele Street. A 200 mm internal watermain is proposed to extend through a shared servicing easement area into the Subject Lands from 9773 Keele Street. The water service connection will

be equipped with a valve and chamber at the property line at 9773 Keele Street, and at the property line between 9773 Keele Street and the Subject Lands.

Based on the Development, and in conjunction with the development at 9773 Keele Street, an internal watermain service with a single service connection for multiple municipal addresses for the two independent developments is not permitted. The City will require each municipal address to have a single water connection for both domestic and fire lines.

ii) Sanitary Servicing

A 200 mm sanitary sewer service connection for the Subject Lands is proposed to connect to the existing manhole and 450 mm sanitary sewer on Keele Street. The proposed 200 mm service connection will also connect the existing manhole to a proposed control manhole at the west property line of 9773 Keele Street.

The Owner is required to provide approvals from the Ministry of the Environment, Conservation and Parks (MECP) for the private wastewater works, as the sanitary sewer will be servicing more than one property. Alternatively, the Owner shall provide confirmation from MECP that there is no need for such approvals. Conditions to this effect are included in Attachment 1.

In conjunction with the development at 9773 Keele Street, a single service connection for the internal sanitary sewer will require a registered easement and/or mutual servicing agreement between the individual landowners acknowledging the sewer works and future maintenance to the satisfaction of the City. Conditions to this effect are included in the Recommendations of this report as part of the removal of the Holding Symbol “(H)”.

The DE Department accepts the proposed sanitary service connection subject to a mutual connection with 9773 Keele Street and a servicing easement registered on title, to the satisfaction of the City.

iii) Stormwater Management

The Subject Lands are occupied by two detached dwellings with landscaped and impervious areas, including two asphalt driveways, walkways and patios. Current runoff for the Subject Lands generally flows

overland from east to west and discharges to the existing York Region storm sewer on Keele Street.

The adjacent property at 9773 Keele Street consists of one detached dwelling with landscaped and impervious areas, including an asphalt driveway. The runoff from 9773 Keele generally flows overland from north-east to south-west and discharges into the storm sewer on Keele Street.

Stormwater runoff from the combined properties of 9773 Keele Street and the Subject Lands will drain through an internal network of manholes and catch basins and be conveyed into two proposed underground stormwater storage tanks via a single service connection, located under the proposed parking area and parkette. One underground stormwater storage system will be located within the property boundaries of 9773 Keele Street and the other located on the Subject Lands. The stormwater runoff will be controlled and released by gravity flow into the York Region storm sewer system on Keele Street. For larger storm events exceeding the storage capacity of the stormwater storage system, an overland flow route will convey the stormwater runoff along the internal access road, proposed on the Subject Lands and 9773 Keele Street, to Keele Street.

The Owner is required to provide approvals from the MECP for the private stormwater works, as the stormwater system will be servicing more than one property. Alternatively, the Owner shall provide confirmation from MECP that there is no need for such approvals. Conditions to this effect are included in Attachment 1.

In conjunction with the development at 9773 Keele Street, a single service connection for the internal storm sewer network will require a registered easement and/or mutual servicing agreement between the individual landowners acknowledging the storm sewer works and future maintenance to the satisfaction of the City. Conditions to this effect are included in the Recommendations of this report as part of the removal of the Holding Symbol "(H)".

The DE Department accepts the proposed stormwater management scheme subject to a servicing easement registered on title to the satisfaction of the City.

c) Environmental Engineering

The Owner has submitted a Phase One Environmental Site Assessment ('ESA') prepared by Try Environmental Services Inc. and dated May 14, 2018. The DE Department has reviewed the Phase One ESA and advise that the findings identify areas of potential environmental concern ('APECs') associated with former heating oil storage tanks located in the basements of the residential houses on the Subject Lands. Prior to final approval of the Draft Plan, the City will require the Owner to undertake and provide a Phase Two ESA report to address these APECs.

d) Environmental Noise Assessment

The Owner has submitted an Environmental Noise Feasibility Study prepared by Valcoustics Canada and dated September 18, 2019 ('Noise Report'). The Noise Report identifies no major or significant noise sources influencing the Subject Lands and concludes that there are no sound barriers required for noise control purposes. The Noise Report also identifies the following noise warning clauses for inclusion in the Site Plan Agreement:

- i) "Purchasers/tenants are advised that despite the inclusion of noise control features in the development and within the building units, sound levels due to increasing road traffic may on occasions interfere with some activities of the dwelling occupants as the sound level exceed the Municipality's and the Ministry of the Environment, Conservation and Parks noise criteria."
- ii) "This unit has been supplied with an air conditioning system which will allow windows and exterior doors to remain closed, thereby reducing the indoor sound levels to within the City's and the Ministry of the Environment, Conservation and Parks noise criteria."
- iii) "This dwelling unit has been fitted with a forced air heating system and the ducting, etc. was sized to accommodate central air conditioning. Installation of central air conditioning will allow windows and exterior doors to remain closed, thereby ensuring that the indoor sound levels are within the Municipality's and the Ministry of the Environment, Conservation and Parks noise criteria. (Note: The location and installation of the outdoor air conditioning device should be done so as to minimize the noise impacts. Air conditioners of 38,900 BTU/hour or less should have a maximum sound power emission rating of 7.6 bels as per ARI Standard 270.)"

Conditions to include the noise warning clauses in the Site Plan Agreement are included in the Recommendations of this report.

The final site servicing and grading plan, erosion and sediment control plan, Noise Report and Servicing Report must be approved to the satisfaction of the DE Department. Conditions to this effect are included in the Recommendations of this report and Attachment 1.

Sewage and Water Allocation is available for the Development

On February 21, 2018, the City's latest annual servicing capacity allocation strategy report was endorsed by Vaughan Council. Further, York Region assigned short-term growth capacity (2019-2026) to Vaughan in September 2019. An allocation resolution is included in the Recommendations of this report.

The Development Planning Department has no archaeological concerns, subject to standard conditions

The following standard clauses shall be included in the Site Plan Agreement for the Subject Lands, as noted in the Recommendations of this report:

- i) Should archaeological resources be found on the property during construction activities, all work must cease, and both the Ontario Ministry of Tourism, Culture and Sport and the City of Vaughan's Development Planning Department shall be notified immediately.
- ii) In the event that human remains are encountered during construction activities, the Owner must immediately cease all construction activities. The Owner shall contact the York Regional Police Department, the Regional Coroner and the Registrar of the Cemeteries Regulation Unit of the Ministry of Consumer and Business Services.

The Toronto and Region Conservation Authority has no objection to the Application

The Subject Lands are located outside of the Toronto and Region Conservation Authority's ('TRCA') regulated area; however, the Subject Lands are located within a Source Water Protection Area ('WHPA-Q2') and requires water balance to meet pre-to-post infiltration rates. The TRCA is satisfied with the site Water Balance Assessment submitted as part of the Servicing Report prepared by C.F. Crozier and Associates Inc.

and dated August 2017, with revisions dated September 2019, and have no objections to the Applications.

Cash-in-Lieu of the dedication of parkland is required

The Owner is required to pay to the City by way of certified cheque, cash-in-lieu of the dedication of the parkland equivalent to 5% or 1 ha per 300 units of the value of the Subject Lands, prior to the issuance of a Building Permit, in accordance with the *Planning Act* and the City's cash-in-lieu Policy.

The Owner shall submit an appraisal of the Subject Lands, in accordance with Section 42 of the *Planning Act*, prepared by an accredited appraiser for approval by the Vaughan Real Estate Department, and the approved appraisal shall form the basis of the cash-in-lieu payment. Standard conditions to this effect are included in the Site Plan Agreement.

Development Charges are Applicable to the Development

The Owner shall pay to the City applicable Development Charges in accordance with the Development Charges By-laws of the City of Vaughan, Region of York, York Region District School Board and York Catholic District School Board. Standard conditions to this effect are included in the Site Plan Agreement.

The Environmental Services Department, Solid Waste Management Division has no objection to the Development, subject to conditions

The Owner is proposing private waste collection to service the Development. The Development is eligible for future curbside municipal waste collection subject to an onsite inspection by the Environmental Services Department, Solid Waste Management Division, and the execution of a servicing agreement with the City. The Owner is required to satisfy all requirements of the Environmental Services Department, Solid Waste Management Division. A condition to this effect is included in the Recommendations of this report.

Canada Post has no objection to the Development, subject to the Conditions of Approval

Canada Post Corporation has no objection to the Applications, subject to their conditions of approval included in Attachment 1.

The School Boards have no objection to the Development

The York Region District School Board and York District Catholic School Board have advised that they have no objection to or any conditions of approval for the Development. No comments were received from the Conseil Scolaire de District Catholique CentreSub.

The various utilities have no objection to the Development, subject to Conditions of Approval

Alectra Utilities Corporation and Enbridge Gas have no objection to the Development subject to the Draft Plan of Subdivision conditions identified in Attachment 1. Bell Canada and Rogers have no objections to the Applications.

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

The Subject Lands are located on Keele Street, a Regional right-of-way under the jurisdiction of York Region. York Region, on October 10, 2019, provided comments on the Applications.

Through Draft Plan of Subdivision File 19T-15V007, the Owner is required to convey land measured at 21.5 m from the centre line of Keele Street for road widening purposes, shown as “Block 2” on Attachment 3. The Owner is also required to dedicate a portion of land to facilitate a 5 m by 5 m sight triangle at the northeast corner of Keele Street and the proposed driveway access at 9773 Keele Street.

The Owner has submitted a Traffic Operation Assessment prepared by LEA Consulting and dated June 14, 2017. York Region has reviewed the Development and Traffic Operation Assessment and has no objections subject to the Owner satisfying Draft Plan conditions identified in Attachment 1.

Access for the Development is proposed via a full moves driveway from Keele Street to the Subject Lands via an access easement from 9773 Keele Street. The proposed access aligns with Merino Road, forming the fourth leg of the intersection at Keele Street and Merino Road. York Region has no objection to the proposed access to serve the Development and will not require the construction of exclusive left turn lanes. Improvements to Keele Street, including an exclusive left turn land, are not proposed in York Region’s 10-year capital plan. However, York Region has advised that it will conduct a more comprehensive review in the future for improvements on Keele Street

north of Barrhill Road and south of Merino Road, with appropriate mitigation measures implemented at that time.

Ten (10) trees are located within the Keele Street right-of-way. York Region has advised that the existing curb alignment on Keele Street will remain unchanged as part of the Development, and that the existing trees located within the Keele Street right-of-way shall be preserved.

Any direct connection to a York Region water system requires approval from York Region. The Owner is required to enter into an encroachment permit for the proposed landscape within York Region's right-of-way.

The Owner is required to satisfy all requirements of York Region prior to the execution of the Site Plan Agreement. A condition to this effect is included in the Recommendations of this report and in Attachment 1.

Conclusion

The Development Planning Department has reviewed the Applications in consideration of the PPS, Growth Plan, York Region and City Official Plan policies, the comments received from City Departments, external public agencies, the public, and the surrounding area context. The Development Planning Department is of the opinion that the Applications are consistent with the Provincial Policy Statement 2014, conforms to A Place to Grow: Growth Plan for the Greater Golden Horseshoe 2019, and conforms to the YROP. The Applications maintain the intent of the "Community Area" policies of VOP 2010 and provide a development that is appropriate, but not identical to, the surrounding residential community. The Development Planning Department recommends that the Applications be approved, subject to the Recommendations in this report and conditions of approval in Attachment 1.

For more information, please contact: Mark Antoine, Senior Planner, Development Planning Department, Extension 8212

Attachments

1. Conditions of Draft Plan of Subdivision Approval
2. Context and Location Map
3. Draft Plan of Subdivision File 19T-15V007 and Proposed Zoning
4. Site Plan
5. Landscape Plan
6. Building Elevations - Semi-Detached Units (Blocks 1 and 2)
7. Building Elevations - Townhouse Units (Block 5)

8. Keele Street Building Elevations
9. Context Plan (9773 Keele Street)

Prepared by

Mark Antoine, Senior Planner, ext. 8212

Nancy Tuckett, Senior Manager of Development Planning, ext. 8529

Mauro Peverini, Director of Development Planning, ext. 8407

CONDITIONS OF DRAFT PLAN OF SUBDIVISION APPROVAL

**DRAFT PLAN OF SUBDIVISION FILE 19T-15V007 (THE “PLAN”)
LAURIER HARBOUR (KEELE) INC.
PART OF LOT 19, CONCESSION 3
9785 AND 9797 KEELE STREET
AND BLOCK 176 ON PLAN 65M-2407
CITY OF VAUGHAN**

**THE CONDITIONS THAT SHALL BE SATISFIED PRIOR TO THE RELEASE FOR
REGISTRATION OF DRAFT PLAN OF SUBDIVISION FILE 19T-15V014 (THE
“PLAN”), ARE AS FOLLOWS:**

The Owner shall satisfy the following Conditions:

1. The conditions of Approval of the City of Vaughan as set out on Attachment No. 1a)
2. The Conditions of Approval of York Region as set out on Attachment No. 1b) and dated October 10, 2019.
3. The Conditions of Approval of Canada Post as set out on Attachment No. 1c) and dated September 25, 2019.
4. The Conditions of Approval of Alectra Utilities (Powerstream) as set out on Attachment No. 1d) and dated October 2, 2017.
5. The Conditions of Approval of Enbridge Gas as set out on Attachment No. 1e) and dated September 27, 2017.

Clearances

6. Final approval for registration of the Plan may be issued in phases to the satisfaction of the City, subject to all applicable fees provided that:
 - a) phasing is proposed in an orderly progression, in consideration of such matters as the timing of road improvements, infrastructure, schools and other essential services; and,
 - b) all commenting agencies agree to registration by phases and provide clearances, as required in Conditions in Attachments 1a), 1b), 1c), 1d) and 1e) for each phase proposed for registration; furthermore, the required clearances may relate to lands not located within the phase sought to be registered.
7. The City shall advise that the Conditions on Attachment No. 1a) have been

satisfied and the clearance letter shall include a brief statement detailing how each condition has been met.

8. York Region shall advise that the Conditions on Attachment No. 1b) have been satisfied and the clearance letter shall include a brief statement detailing how each condition has been met.
9. Canada Post shall advise that the Conditions on Attachment No. 1c) have been satisfied and the clearance letter shall include a brief statement detailing how each condition has been met.
10. Alectra Utilities (Powerstream) shall advise that the Conditions on Attachment No. 1d) have been satisfied and the clearance letter shall include a brief statement detailing how each condition has been met.
11. Enbridge Gas Distribution Inc. shall advise that the Conditions on Attachment No. 1e) have been satisfied and the clearance letter shall include a brief statement detailing how each condition has been met.

ATTACHMENT NO. 1a)

CITY OF VAUGHAN CONDITIONS

1. The Plan shall relate to Draft Plan of Subdivision (the 'Plan') prepared by Weston Consulting, Drawing "D1" dated April 6, 2015.
2. The lands within this Plan shall be appropriately zoned by a zoning by-law which has come into effect in accordance with the provisions of the *Planning Act*.
3. The Owner shall pay any and all outstanding application fees to the Development Planning Department and Development Engineering Department, in accordance with the in-effect Tariff of Fees By-law.
4. Prior to final approval, easements required for utility, drainage and construction purposes shall be created and granted to the appropriate authority(ies), free of all charge and encumbrances.
5. The Owner acknowledges that the final engineering design(s) may result in minor variations to the Plan (e.g. in the configuration of road allowances and lotting, number of lots etc.), which may be reflected in the final Plan to the satisfaction of the City.
6. The Owner shall enter into a subdivision agreement with the City of Vaughan to satisfy all conditions, financial or otherwise of the City, with regard to such matters as the City may consider necessary, including payments of development levies, the provisions of roads and municipal services, landscaping and fencing. The said agreement shall be registered against the lands to which it applies.
7. the Owner shall enter into a Development Agreement or make alternative arrangements for the construction of any external servicing, to the satisfaction of the Development Engineering Department.
8. The Owner shall agree to remove any driveways and buildings on site, which are not approved to be maintained as part of the Plan; any modification to off-site driveways required to accommodate this Plan shall be co-ordinated and completed at the cost of the Owner.
9. The Owner shall agree that all lots or blocks to be left vacant shall be graded, seeded, maintained and signed to prohibit dumping and trespassing.
10. The private road allowances included within the Plan shall be named to the satisfaction of the City and the Regional Planning Department.
11. Prior to final approval, the Owner shall not remove any vegetation or topsoil or start any grading of the lands, without a Fill Permit issued by the City.

12. The Owner shall agree to erect fencing in the locations and of the types as shown on the approved construction drawing and as required by the City.
13. The Owner shall agree that:
 - a) should any archaeological resources be found on the property during construction activities, all work must cease and both the Ontario Ministry of Tourism, Culture and Sport and the City of Vaughan's Planning Department shall be notified immediately.
 - b) in the event that human remains are encountered during construction activities, the Owner must immediately cease all construction activities. The Owner shall contact the York Regional Police Department, the Regional Coroner and the Registrar of the Cemeteries Regulation Unit of the Ministry of Consumer and Business Services.
14. The Owner shall include the following warning clauses to be included in a schedule to all Offers of Purchase and Sale, or Lease for all lots/blocks:
 - a) within the entire subdivision Plan:
 - "the Owner shall inform the public and all purchasers and tenants that this development will function as a common element condominium and all details and associated costs shall be presented in the sales office, and through marketing material etc."
 - "Purchasers and/or tenants are hereby put on notice that the Telecommunications Act and the CRTC authorize telephone and telecommunication facilities and services to be provided by telecommunication carriers other than traditional carriers for such services and that purchasers and tenants are advised to satisfy themselves that such carriers servicing the lands provide sufficient service and facilities to meet their needs."
 - "Purchasers and/or tenants are advised that mail delivery will be from a designated community mailbox as per requirements dictated by Canada Post. The location of the mailbox shall be shown on the community plan provided by the Owner in its Sales Office."
 - "Purchasers/tenants are advised that despite the inclusion of noise control features in the development and within the building units, sound levels due to increasing road traffic may on occasions interfere with some activities of the dwelling occupants as the sound level exceed the Municipality's and the Ministry of the Environment's noise criteria."

- “This unit has been supplied with an air conditioning system which will allow windows and exterior doors to remain closed, thereby reducing the indoor sound levels to within the City’s and the Ministry of the Environment, Conservation and Parks noise criteria.”
- “This dwelling unit has been fitted with a forced air heating system and the ducting, etc. was sized to accommodate central air conditioning. Installation of central air conditioning will allow windows and exterior doors to remain closed, thereby ensuring that the indoor sound levels are within the Municipality’s and the Ministry of the Environment, Conservation and Parks noise criteria. (Note: The location and installation of the outdoor air conditioning device should be done so as to minimize the noise impacts. Air conditioners of 38,900 BTU/hour or less should have a maximum sound power emission rating of 7.6 bels as per ARI Standard 270.)”
- “Purchasers and/or tenants are advised that fencing and/or noise attenuation features along the lot lines of lots and blocks abutting public lands, including public highway, laneway, walkway or other similar public space, is a requirement of this subdivision agreement and that all required fencing and barriers shall be constructed with all fencing materials, including foundations, completely on private lands and totally clear of any 0.3m reserve, as shown on the Construction Drawings.

The City has taken a Letter of Credit from the Owner (Subdivision Developer) for the security to ensure all fencing including, but not limited to privacy fencing, chain link fencing and acoustic fencing, are constructed to the satisfaction of the City. Direct cash deposit from the Purchasers to the City and/or Owner, for fencing, is NOT a requirement of this subdivision agreement.

The maintenance of the noise attenuation feature or fencing shall not be the responsibility of the City, or the Region of York and shall be maintained by the Owner until assumption of the services of the Plan. Thereafter the maintenance of the noise attenuation feature or fencing shall be the sole responsibility of the lot owner. Landscaping provided on Regional Road right-of-ways by the Owner or the City for aesthetic purposes shall be approved by the Region and maintained by the City with the exception of the usual grass maintenance.”

15. Where the Owner proposes to proceed with the construction of a model home(s) prior to registration of the Plan, the Owner shall enter into an Agreement with the City, setting out the conditions, and shall fulfill relevant conditions of that Agreement prior to issuance of a Building Permit.

16. Prior to the initiation of the grading or striping of top soil and final approval, the Owner shall submit a top soil storage Plan detailing the location, size, slopes stabilization methods and time period, for the review and approval by the City. Top soil storage shall be limited to the amount required for final grading, with the excess removed from the site, and shall not occur on the either park or school blocks.
17. The Owner shall permit any telephone or telecommunications service provider to locate its plant in a common trench within the Plan prior to release of the Plan for registration, provided such service provider has executed a Municipal Access Agreement with the City. The Owner shall ensure that any such service provider will be permitted to install its plant so as to permit connection to individual dwelling units within the Plan and when each dwelling unit is constructed.
18. The Owner shall pay to Vaughan by way of certified cheque, cash-in-lieu of the dedication of the parkland equivalent to 5% or 1 ha per 300 units of the value of the subject lands, prior to the issuance of a Building Permit, in accordance with the *Planning Act* and the City's cash-in-lieu Policy. The Owner shall submit an appraisal of the subject lands, in accordance with Sec.42 of the *Planning Act*, prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall for the basis of the cash-in-lieu payment.
19. Prior to final approval of the Plan, the Owner shall make the necessary arrangements at the expense of the Owner for the relocation of any utilities required by the development of the Plan to the satisfaction of the City.
20. The Owner shall agree in the Subdivision Agreement to convey any lands and/or easements, free of all costs and encumbrances, to the City that are necessary to construct the municipal services for the Plan, which may include any required easements and/or additional lands within and/or external to the Plan, to the satisfaction of the City.
21. The Owner shall agree in the Subdivision Agreement to provide information on sustainable transportation, via various media, to all purchasers and/or tenants within the Plan, including pedestrian, cycling facilities, transit routes, roundabouts, and carpooling and park-and-ride facilities (if applicable) to the satisfaction of the Development Engineering Department.
22. The Owner shall agree in the Subdivision Agreement to decommission any existing wells and driveways on the Plan in accordance with all applicable provincial legislation and guidelines and to the satisfaction the City.
23. The private road allowances included within the Plan shall be named to the satisfaction of the City and the Regional Planning Department.

24. The Owner shall agree in the Subdivision Agreement that construction access shall be provided only in a location approved by the City and the Region of York.
25. Prior to final approval, a soils report prepared at the Owner's expense shall be submitted to the City for review and approval. The Owner shall agree in the Subdivision Agreement to carry out, or cause to carry out, the recommendations including pavement design structure for ideal and non-ideal conditions to the satisfaction of the City.
26. Prior to the initiation of grading, and prior to the registration of the Plan or any phase thereof, the owner shall submit to the City for review and approval the following:

A detailed engineering report that describes the storm drainage system for the proposed development within the Plan, which report shall include:

- a) plans illustrating how this drainage system will tie into surrounding drainage systems, and indicating whether it is part of an overall drainage scheme, how external flows will be accommodated, and the design capacity of the receiving system;
- b) the location and description of all outlets and other facilities which may require permits under Ontario Regulation 166/06 and/or the Lakes and Rivers Improvement Act;
- c) stormwater management techniques which may be required to control minor or major flows;
- d) appropriate Stormwater Management Practices ('SWMPs') to be used to treat stormwater, to ensure no negative impact on the quality and quantity of ground and surface water resources at it relates to fish and their habitat;
- e) proposed methods of controlling or minimizing erosion and siltation onsite and in downstream areas during and after construction.
- f) retain an environmental monitor and report on the implementation and on-going maintenance of erosion and sediment controls; and
- g) overall grading plans for the Plan.

The Owner shall agree in the Subdivision Agreement to carry out, or cause to carry out, the recommendations set out in any and all of the aforementioned reports to the satisfaction of the City.

27. The Owner shall agree in the Site Plan Agreement to prepare a Construction Management Plan to the satisfaction of the Development Engineering Department.
28. Prior to final approval of the Plan, the Owner shall pay its proportionate share of the cost any external municipal services, temporary and/or permanent built or proposed, that have been designed and oversized by others to accommodate the development of the Plan.
29. Prior to final approval of Plan, the final site grading and servicing plan, Stormwater Management Report, Environmental Noise and Vibration Report, Functional Servicing Report and/or downstream sanitary sewer analysis shall be submitted for review and approval, to the satisfaction of the Development Engineering Department.
30. The Owner shall agree in the Subdivision Agreement to design, purchase material and install a streetlighting system in the Plan in accordance with City Standards and specifications. This Plan shall be provided with decorative streetlighting to the satisfaction of the City.
31. The Owner shall agree in the Subdivision Agreement to maintain adequate chlorine residuals in the watermain within the Plan after successful testing and connection to the potable municipal water system and continue until such time as determined by the City or until assumption of the Plan. In order to maintain adequate chlorine residuals, the Owner will be required to retain a licensed water operator to flush the water system and sample for chlorine residuals on a regular basis determined by the City. The Owner shall be responsible for the costs associated with these activities including the metered consumption of water used in the program.
32. Prior to final approval of the Plan and/or any initiation of grading or construction, the Owner shall implement the following to the satisfaction of the City:
 - a) Prior to final approval of Plan, the final site grading and servicing plan, Stormwater Management Report, Environmental Noise and Vibration Report, Functional Servicing Report and/or downstream sanitary sewer analysis shall be submitted for review and approval, to the satisfaction of the Development Engineering Department;
 - b) Submit a Phase One Environmental Site Assessment (ESA) and a Phase Two ESA report, and if required and as applicable, Remedial Action Plan (RAP), Risk Evaluation, Risk Assessment report(s) in accordance with Ontario Regulation (O. Reg.) 153/04 (as amended) or its intent, for the lands within the Plan. Reliance on the report(s) from the Owner's environmental consultant shall be provided to the City;

- c) Should there be a change to a more sensitive land use as defined under O. Reg. 153/04 (as amended) or remediation of any portions of lands within the Plan required to meet the applicable Standards set out in the Ministry of the Environment, Conservation, and Parks (MECP) document “Soil, Ground Water and Sediment Standards for Use under Part XV.1 of the Environmental Protection Act” (as amended), submit a complete copy of the Record(s) of Site Condition (RSCs) filed on the Environmental Site Registry including the acknowledgement letter from the MECP, covering all the lands within the Plan; and
 - d) Reimburse the City for the cost of the peer review of the ESA reports and associated documentation, as may be applicable.
- 33. Prior to final approval, an environmental noise impact study, prepared at the Owner’s expense, shall be submitted to the City for review and approval. The preparation of the noise report shall include the ultimate traffic volumes associated with the surrounding road network. The Owner shall agree in the Subdivision Agreement to carry out, or cause to carry out, the recommendations set out in the approved noise report to the satisfaction of the City.
- 34. The Owner shall not apply for Building Permit(s) and the City shall not issue building permits until the City is satisfied that adequate road access, potable municipal water supply, sanitary sewers and storm drainage facilities are available to service the Plan or that arrangements have been made for their completion to the satisfaction of the City.
- 35. The Owner shall be responsible to finance and implement or contribute to required sanitary system improvements in the Maple Heritage Conservation District area based on the conclusions and recommendations of the City’s Focus Area Core Servicing Strategy study to the satisfaction of the City of Vaughan.
- 36. Any additional warning clause as noted in the Subdivision Agreement shall be included in all Offers of Purchase and Sale or Lease for all Lots and/or Blocks within the Plan to the satisfaction of the City.



Corporate Services

October 10, 2019

Mr. Mauro Peverini
Director of Development Planning
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Attention: Mark Antoine, Senior Planner

**RE: Revised Conditions of Draft Approval for
Draft Plan of Subdivision 19T-15V07 (SUBP.15.V.0039)
Block 179, Plan 65M-2407
Part of Lot 19, Concession 3
9785 & 9797 Keele Street
(Centra (Keele) Inc.)
City of Vaughan**

Further to the Region's letter dated June 9, 2016, this application has been appealed to the LPAT and this letter provides revised conditions of draft approval for the plan of subdivision prepared by Weston Consulting, File No. 6728, dated April 6, 2015.

The proposed development is located at 9785 & 9797 Keele Street, on the east side of Keele Street and south of Major Mackenzie Drive, in the City of Vaughan. The proposed draft plan of subdivision will facilitate the creation of a future development block comprised of townhouse units, within a 0.279 ha site.

Transportation and Infrastructure Planning

Further to discussions between Regional Transportation and Infrastructure Planning staff and Lea Consulting Ltd., Regional staff have confirmed that the exclusive left turn lanes will not be required to be constructed as part of the proposed development. In addition, the applicant agrees to align their proposed access with Merino Road. Additional technical comments are attached.

Sanitary Sewage and Water Supply

Residential development in the City of Vaughan requires servicing capacity allocation prior to final approval. If the City of Vaughan does not grant this development allocation from the existing Regional capacity assignments to date, then the development may require additional regional infrastructure based on conditions of future capacity assignment.

Lapsing Provision

York Region requests that the City of Vaughan apply a lapsing provision to the draft plan, pursuant to Section 51(32) of the *Ontario Planning Act*, and that York Region be provided an opportunity to comment on any proposed extensions of the approval.

Summary

York Region has no objection to draft plan approval of the plan of subdivision subject to the attached Schedule of Clauses/Conditions. We request a copy of the notice of decision, draft approved plan, and the conditions of draft approval should the plan be approved.

Please contact Justin Wong, Planner, at 1-877-464-9675 ext. 71577 or by email at Justin.Wong@york.ca should you require further assistance.

Sincerely,



Duncan MacAskill, M.C.I.P., R.P.P
Manager, Development Planning

JW/

Attachment (1)

Technical Memorandum

YORK-#10191497-v1-19T-15V07_(SUBP_15_V_0039)_-_Revised_Schedule_of_Conditions

**Schedule of Clauses/Conditions
19T-15V07 (SUBP.15.V.0039)
Block 179, Plan 65M-2407
Part of Lot 19, Concession 3
9785 & 9797 Keele Street
(Centra (Keele) Inc.)
City of Vaughan**

Re: Weston Consulting Group Inc., Drawing No. D1, Last Revised April 8, 2015

Clauses/Conditions to be Included in the Subdivision Agreement

1. The Owner shall save harmless York Region from any claim or action as a result of water or sanitary sewer service not being available when anticipated.
2. The Owner shall agree that any direct connection to a York Region water or wastewater system requires Regional approval prior to construction. Engineering drawings showing details of the connection shall be submitted for approval.
3. The Owner shall agree to provide direct pedestrian and cycling connections to the boundary roadways and adjacent developments, as well as facilities on the site (e.g. convenient and secure bike racks near entrances) to promote the usage of non-auto travel modes. Provide drawings showing the pedestrian and cycling connections and facilities.

Conditions to be Satisfied Prior to Final Approval

4. The Owner shall provide to the Region the following documentation to confirm that water and wastewater services are available to the subject development and have been allocated by the City of Vaughan:
 - a) A copy of the Council resolution confirming that the City of Vaughan has allocated servicing capacity, specifying the specific source of the capacity, to the development proposed within this draft plan, or any phase thereof.
 - b) A copy of an email confirmation by City of Vaughan staff stating that the allocation to the subject development remains valid at the time of the request for Regional clearance of this condition.
5. The Owner shall provide an electronic set of the final engineering drawings showing the watermains and sewers for the proposed development to the Community Planning and Development Services division and the Infrastructure Asset Management Branch for record.

6. Upon registration, the Owner shall convey the following lands to York Region for public highway purposes, free of all costs and encumbrances, to the satisfaction of York Region Solicitor:
 - a) A widening across the full frontage of the site where it abuts Keele Street of sufficient width to provide a minimum of 21.5 metres from the centreline of construction of Keele Street, and
 - b) A 5 metre by 5 metre daylight triangles at northeast corner of the proposed access and the ultimate property line to facilitate the proposed access from Keele Street to the site.
7. The Owner shall provide a solicitor's certificate of title in a form satisfactory to York Region Solicitor, at no cost to York Region with respect to the conveyance of the above noted lands to York Region.
8. The Region requires the Owner submit a Phase One Environmental Site Assessment ("ESA") in general accordance with the requirements of the Environmental Protection Act and O. Reg. 153/04 Records of Site Condition, as amended ("O. Reg. 153/04"). The Phase One ESA must be for the Owner's property that is the subject of the application and include the lands to be conveyed to the Region (the "Conveyance Lands"). The Phase One ESA cannot be more than two (2) years old at: (a) the date of submission to the Region; and (b) the date title to the Conveyance Lands is transferred to the Region. If the originally submitted Phase One ESA is or would be more than two (2) years old at the actual date title of the Conveyance Lands is transferred to the Region, the Phase One ESA will need to be either updated or a new Phase One ESA submitted by the Owner. Any update or new Phase One ESA must be prepared to the satisfaction of the Region and in general accordance with the requirements of O. Reg. 153/04. The Region, at its discretion, may require further study, investigation, assessment, delineation and preparation of reports to determine whether any action is required regardless of the findings or conclusions of the submitted Phase One ESA. The further study, investigation, assessment, delineation and subsequent reports or documentation must be prepared to the satisfaction of the Region and in general accordance with the requirements of O. Reg. 153/04. Reliance on the Phase One ESA and any subsequent reports or documentation must be provided to the Region in the Region's standard format and/or contain terms and conditions satisfactory to the Region.

The Region requires a certified written statement from the Owner that, as of the date title to the Conveyance Lands is transferred to the Region: (i) there are no contaminants of concern, within the meaning of O. Reg. 153/04, which are present at, in, on, or under the property, or emanating or migrating from the property to the Conveyance Lands at levels that exceed the MOECC full depth site condition standards applicable to the property; (ii) no pollutant, waste of any nature, hazardous substance, toxic substance, dangerous goods, or other substance or material defined or regulated under applicable environmental laws is present at, in, on or under the Conveyance Lands; and (iii) there are no underground or

aboveground tanks, related piping, equipment and appurtenances located at, in, on or under the Conveyance Lands.

The Owner shall be responsible for all costs associated with the preparation and delivery of the Phase One ESA, any subsequent environmental work, reports or other documentation, reliance and the Owner's certified written statement.

9. The Owner shall provide a copy of the Subdivision Agreement to the Corporate Service Department, outlining all requirements of the Corporate Service Department.
10. The Owner shall enter into an agreement with York Region, agreeing to satisfy all conditions, financial and otherwise, of the Regional Corporation; Regional Development Charges are payable in accordance with Regional Development Charges By-law in effect at the time that Regional development charges, or any part thereof, are payable.
11. The Regional Corporate Services Department shall advise that Conditions 1 to 10 inclusive, have been satisfied.



MEMORANDUM- TECHNICAL COMMENTS

RE: 19T-15V07 (SUBP.15.V.0039)
Block 179, Plan 65M-2407
Part of Lot 19, Concession 3
9785 & 9797 Keele Street
(Centra (Keele) Inc.)
City of Vaughan

Regional Staff have reviewed the above noted draft plan of subdivision and supporting documents, and provide the following preliminary comments for subsequent development applications. These comments are not an approval, are subject to modification, and are intended to provide information to the applicant regarding the Regional requirements that have been identified to date. More detailed comments and conditions will be provided upon receipt of subsequent submissions.

Transportation Infrastructure Planning

Left Turn Warrant Analysis prepared by Lea Consulting Ltd.

After reviewing the information provided, the Region has determined that we will not require the exclusive left turn lanes to be constructed as part of the proposed development for the following reasons:

- 1) With the exception of Option 2 (widening on both sides of Keele Street), the Region does not accept other options provided as it may potentially create other safety issues for this section of Keele Street. Recognizing the impacts of Option 2 has on the existing utility poles, mature trees and other amenities, this option is not economically feasible at this time.
- 2) The Region has received requests from the City of Vaughan and Regional's Forestry to preserve the existing trees along the east side of Keele Street. As such, all of the design options provided will impact the existing mature trees.
- 3) The southbound exclusive left turn is not numerically warranted at this time, based on LEA Consulting analysis provided.
- 4) For the reasons noted above, the Region will conduct a more comprehensive review for the improvements of Keele Street from north of Barhill Road to south of Merino Road in the

future, as part of overall development in the corridor or a separate City/Regional project. Appropriate mitigation measures will be recommended and implemented at that time.

Moving forward with this application, the Region will require engineering design for the Keele Street/Proposed Site Access/Merino Road intersection as part of subsequent development application in accordance with the Region's design standards and requirements.

September 25, 2019

City of Vaughan – Planning Department

To: **Mark Antoine, Development Planning Department**

Reference: **File: OP.15.020, Z.15.019, 19T-15V007, DA.17.068
Part of Lot 19, Concession 3, Reg. Plan No. 65M-2407 and Part 1
No. 65R-34966/65R-35001 9797 & 9785 Keele St.
8 Semi-detached units and 8 Street Townhouses**

Canada Post Corporation appreciates the opportunity to comment on the above noted application and it is requested that the developer be notified of the following:

Canada Post has reviewed the proposal of the 8 semi-detached & 8 townhouses - 16 residential units for the above noted Development Application and has determined that the completed project will be serviced by centralized mail delivery provided through Canada Post Community Mail Boxes.

In order to provide mail service to this development, Canada Post requests that the owner/developer comply with the following conditions:

- ⇒ The Owner/Developer will consult with Canada Post to determine suitable permanent locations for the placement of Community Mailboxes and to indicate these locations on appropriate servicing plans;
- ⇒ The Builder/Owner/Developer will confirm to Canada Post that the final secured permanent locations for the Community Mailboxes will not be in conflict with any other utility; including hydro transformers, bell pedestals, cable pedestals, flush to grade communication vaults, landscaping enhancements (tree planting) and bus pads;
- ⇒ The Owner/Developer will install concrete pads at each of the Community Mailbox locations as well as any required walkways across the boulevard and any required curb depressions for wheelchair access as per Canada Post's concrete pad specification drawings;
- ⇒ The Owner/Developer will agree to prepare and maintain an area of compacted gravel to Canada Post's specifications to serve as a temporary Community Mailbox location. This location will be in a safe area away from construction activity in order that Community Mailboxes may be installed to service addresses that have occupied prior to the pouring of the permanent mailbox pads. This area will be required to be prepared a minimum of 30 days prior to the date of first occupancy;
- ⇒ **The Owner/Developer will communicate to Canada Post the excavation date for the first foundation (or first phase) as well as the expected date of first occupancy;**

Canada Post further requests the owner/developer be notified of the following:

1. The owner/developer of any condominiums will be required to provide signature for a License to Occupy Land agreement and provide winter snow clearance at the Community Mailbox location.
2. Enhanced Community Mailbox Sites with roof structures will require additional documentation as per Canada Post Policy.
3. There will be no more than one mail delivery point to each unique address assigned by the Municipality.
4. Any existing postal coding may not apply, the owner/developer should contact Canada Post to verify postal codes for the project.
5. The complete guide to Canada Post's Delivery Standards can be found at:
https://www.canadapost.ca/cpo/mc/assets/pdf/business/standardsmanual_en.pdf

As the project nears completion, it is requested that the Developer contact me directly during the design stage of the above project, to discuss a suitable mailbox location.

Should there be any concerns pertaining to our mail delivery policy requirements, please contact the undersigned.

Sincerely,

Lorraine Farquharson

Lorraine Farquharson

Delivery Services Officer | Delivery Planning - GTA

200 – 5210 Bradco Blvd

Mississauga, ON L6W 1G7

(416) 262-2394

lorraine.farquharson@canadapost.ca



Date: October 2nd , 2017

Attention: **Mark Antoine**

RE: Request for Comments

File No.: **DA.17.068 (2nd circulation)**

Applicant: Laurier Harbour (Keele) Inc.

Location 10671 Huntington Road



COMMENTS:

☐

We have reviewed the Proposal and have no comments or objections to its approval.

☒

We have reviewed the proposal and have no objections to its approval, subject to the following comments (attached below).

☐

We are unable to respond within the allotted time for the following reasons (attached) you can expect our comments by _____.

☐

We have reviewed the proposal and have the following concerns (attached below)

☐

We have reviewed the proposal and our previous comments to the Town/City, dated _____, are still valid.

Alectra Utilities (formerly PowerStream) has received and reviewed the submitted plan proposal. This review, however, does not imply any approval of the project or plan.

The owner, or his agent, for this plan is required to contact Alectra to discuss all aspects of the above project. Alectra will require site plan drawings, draft m-plans, legal plans, architectural design drawings, electrical consultant's drawings, number of units/lots in the subdivision/development and type of the subdivision/development (i.e., single family residential, town homes, condominium town homes, industrial etc.), square footage of the buildings, the required voltage, amperage and building loads, along with the completed and signed Subdivision Application Information Form (SAIF). Alectra will then use this information to determine the type of available service in the area to supply this project and determine the design fee for the subdivision or development.

Once Alectra has received the design fee and requested information, Alectra will prepare the hydro design, obtain the owner's /developer's approval of the design and obtain the required approvals from the local municipality and prepare the cost of the electrical distribution system (EDS) installation.

Alectra will provide the owner/developer with an "Offer to Connect" (OTC) agreement which will specify all the details and the responsibilities of each party.

The information on the SAIF must be as accurate as possible to reduce unnecessary customer costs, and to provide a realistic in-service date. The information from the SAIF is also used to allocate/order materials, to assign a technician to the project, and to place the project in the appropriate queue.

All proposed buildings, billboards, signs, and other structures associated with the development must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the Ontario Electrical Safety Code and the Occupational Health and Safety Act.

If there are any existing components of Alectra's electrical distribution system on the proposed project site, they will have to be relocated by Alectra at the Developer's cost. Any conflicts due to driveway locations or clearances to the existing overhead or underground distribution system will have to be relocated by Alectra at the Developer's cost.

We trust this information is adequate for your files.

Regards,

Mr. Tony D'Onofrio

Supervisor, Subdivisions & New Services

Phone: 1-877-963-6900 ext. 24419

Fax: 905-532-4401

E-mail: tony.donofrio@alectrautilities.com

Subdivision Application Information Form is available by calling 1-877-963-6900 ext. 31297



Enbridge Gas Distribution
500 Consumers Road
North York, Ontario M2J 1P8
Canada

September 27, 2017

Mark Antoine, M.Pl., MCIP, RPP
Senior Planner
City of Vaughan
Development Planning Division
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

Dear Mark Antoine,

Re: Site Plan Application – new, Draft Plan of Subdivision, Official Plan Amendment,
& Zoning By-law Amendment – Revised
Laurier Harbour (Keele) Inc.
9797 & 9785 Keele Street
City of Vaughan
File No.: DA-17-068
Related: 19T-15V007, OP-15-020 & Z-15-019

Enbridge Gas Distribution does not object to the proposed application(s).

This response does not constitute a pipe locate or clearance for construction.

The applicant shall contact Enbridge Gas Distribution's Customer Connections department by emailing SalesArea30@enbridge.com for service and meter installation details and to ensure all gas piping is installed prior to the commencement of site landscaping (including, but not limited to: tree planting, Silva cells, and/or soil trenches) and/or asphalt paving.

If the gas main needs to be relocated as a result of changes in the alignment or grade of the future road allowances or for temporary gas pipe installations pertaining to phase construction, all costs are the responsibility of the applicant.

Easement(s) are required to service this development and any future adjacent developments. The applicant will provide all easement(s) to Enbridge Gas Distribution at no cost.

In the event a pressure reducing regulator station is required, the applicant is to provide a 3 metre by 3 metre exclusive use location that cannot project into the municipal road allowance. The final size and location of the regulator station will be confirmed by Enbridge Gas Distribution's Customer Connections department. For more details contact SalesArea30@enbridge.com.

The applicant will grade all road allowances to as close to final elevation as possible, provide necessary field survey information and all approved municipal road cross sections, identifying all utility locations prior to the installation of the gas piping.

Enbridge Gas Distribution reserves the right to amend or remove development conditions.

Sincerely,

A handwritten signature in black ink that reads "Alice Coleman". The signature is written in a cursive, flowing style.

Alice Coleman

Municipal Planning Coordinator
Long Range Distribution Planning

ENBRIDGE GAS DISTRIBUTION

TEL: 416-495-5386

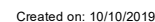
MunicipalPlanning@enbridge.com

500 Consumers Rd, North York, ON, M2J 1P8

enbridgegas.com

Integrity. Safety. Respect.

AC/jh



Landscape Plan

Location:
Part of Lot 19, Concession 3

Applicant:
Laurier Harbour (Keele) Inc.



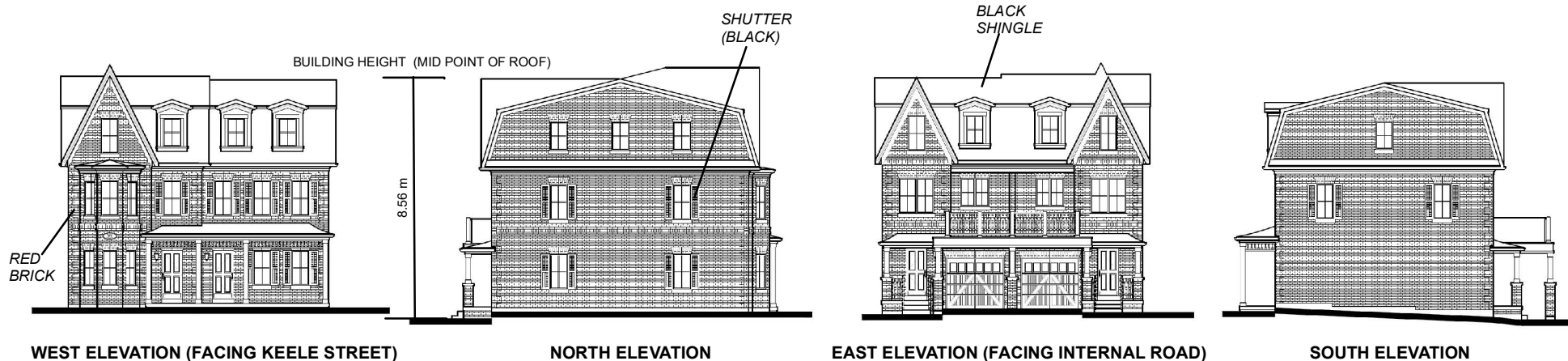
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Attachment

FILES:
OP.15.020, Z.15.019,
19T-15V007, DA.17.068

DATE: November 5, 2019

5



BLOCK 1



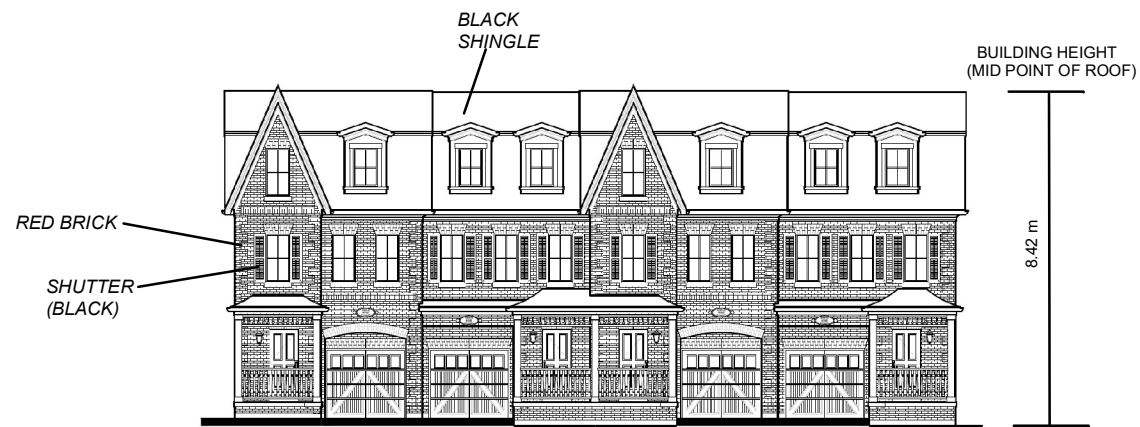
BLOCK 2

Building Elevations - Semi-Detached Units (Blocks 1 & 2)

LOCATION:
Part of Lot 19, Concession 3

APPLICANT:
Laurier Harbour (Keele) Inc.





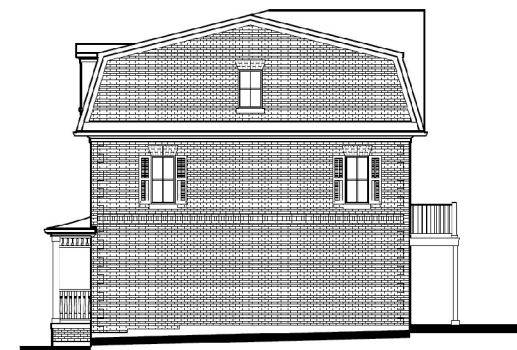
WEST ELEVATION (FACING INTERNAL ROAD)



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

Building Elevations - Townhouse Units (Block 5)

LOCATION:
Part of Lot 19, Concession 3

APPLICANT:
Laurier Harbour (Keele) Inc.

Document Path: N:\GIS_Archive\Attachments\OP\OP.15.020_Z.15.019etal\OP.15.020etal_Elev_5.mxd





KEELE STREET STREETScape

Keele Street Building Elevations

LOCATION:
Part of Lot 19, Concession 3

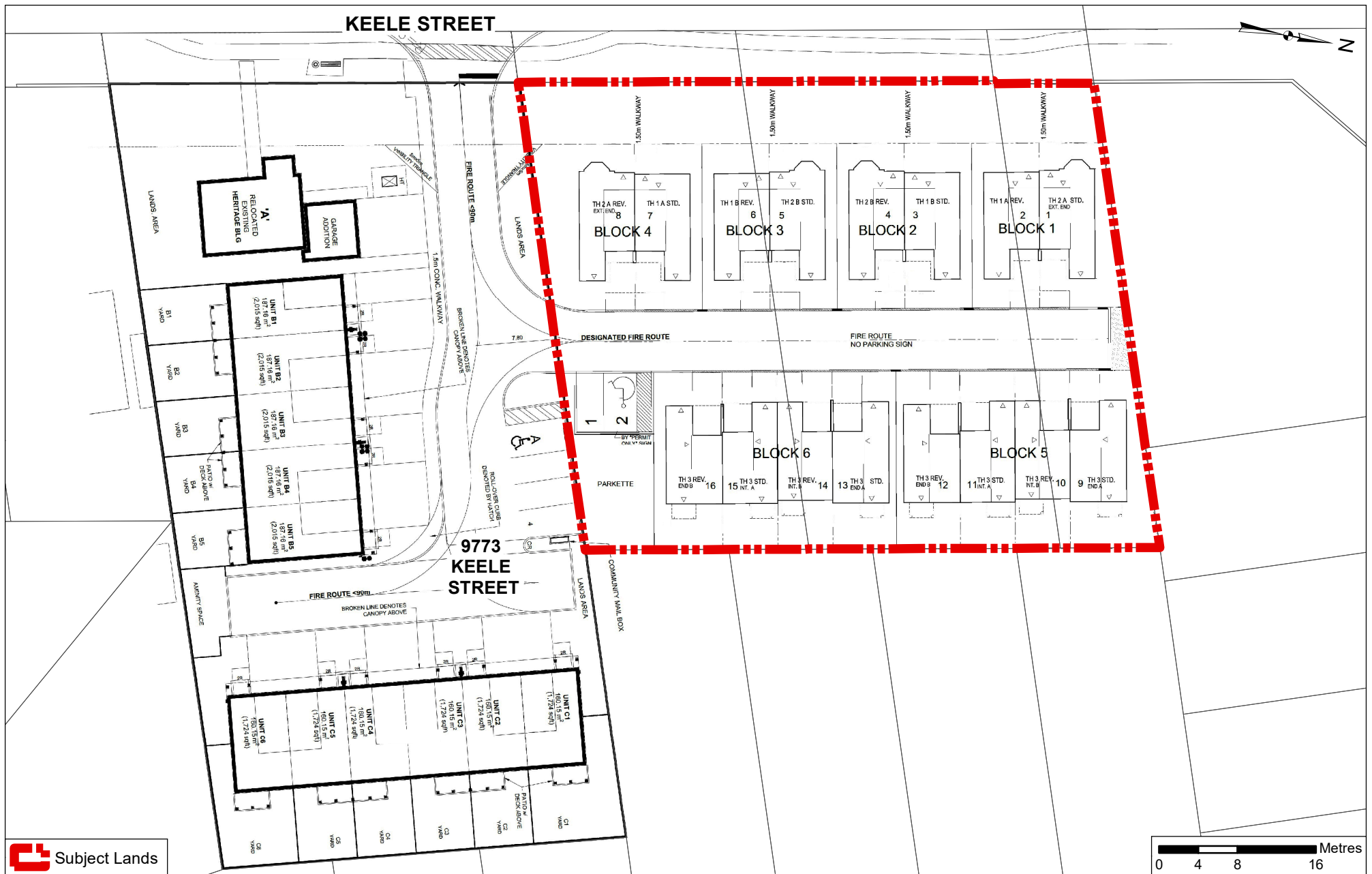
APPLICANT:
Laurier Harbour (Keele) Inc.



Attachment

FILES: OP.15.020, Z.15.019,
19T-15V007, DA.17.068

DATE:
November 5, 2019



Subject Lands

Context Plan (9773 Keele Street)

LOCATION:
Part of Lot 19, Concession 3

APPLICANT:
Laurier Harbour (Keele) Inc.



Attachment

FILES: OP.15.020, Z.15.019,
19T-15V007, DA.17.068

DATE:
November 5, 2019

9

Committee of the Whole (1) Report

DATE: Tuesday, November 05, 2019

WARD: 4

**TITLE: RUTHERFORD CONTWO INVESTMENTS LIMITED
ZONING BY-LAW AMENDMENT FILE Z.15.031
SITE DEVELOPMENT FILE DA.15.074
VICINITY OF DUFFERIN STREET AND RUTHERFORD ROAD**

FROM:

Jason Schmidt-Shoukri, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To seek approval from the Committee of the Whole for Zoning By-law Amendment File Z.15.031 and Site Development Application File DA.15.074 (Rutherford Contwo Investments Limited) for the subject lands shown on Attachment 3, to permit a residential development consisting of 219, 4-storey stacked townhouse dwelling units as shown on Attachments 4 to 8.

Report Highlights

- The Owner proposes a residential development consisting of 219 stacked townhouse dwelling units within nine (9), 4-storey buildings and an underground parking structure.
- An amendment to Zoning By-law 1-88 to rezone the subject lands to the “RM2 Multiple Residential Zone” and “OS5 Open Space Environmental Protection Zone” and Site Development approval are required to permit the development.
- The Development Planning Department supports the approval of the Zoning By-law Amendment and Site Development Applications as the proposed development is consistent with the *Provincial Policy Statement 2014*, conforms to the Growth Plan 2019, Oak Ridges Moraine Plan and York Region Official Plan and Vaughan Official Plan 2010 and is compatible with the existing and planned uses in the surrounding area.

Recommendations

1. THAT Zoning By-law Amendment File Z.15.031 (Rutherford Contwo Investments Limited) BE APPROVED to amend Zoning By-law 1-88, to rezone the subject lands from “A Agricultural Zone” and “OS5 Open Space Environmental Protection Zone” to “RM2 Multiple Residential Zone” and “OS5 Open Space Environmental Protection Zone” in the manner shown on Attachment 4, together with site-specific zoning exceptions identified in Table 1 of this report.
2. THAT the Owner be permitted to apply for a Zoning By-law Amendment and/or Minor Variance Application(s) from the Vaughan Committee of Adjustment, if required, to permit minor adjustments to the in-effect Zoning By-law before the second anniversary of the day on which the implementing Zoning By-law for the Subject Lands comes into full force and effect.
3. THAT Site Development File DA.15.074 (Rutherford Contwo Investments Limited) BE DRAFT APPROVED SUBJECT TO THE CONDITIONS and warning clauses included on Attachment 1, to the satisfaction of the Development Planning Department, to permit 219, 4-storey stacked townhouse dwelling units as shown on Attachment 4 to 8.
4. THAT Vaughan Council adopt the following resolution for the allocation of water and sewage capacity:

“THAT Site Development File DA.15.074 (Rutherford Contwo Investments Limited) be allocated servicing capacity from the York Sewage Servicing/Water Supply System for a total of 219 residential dwelling units (670 persons equivalent). The allocation of said capacity may be revoked by Council resolution and/or in accordance with the City’s current Servicing Capacity Distribution Protocol in the event that (at the discretion of the City) the development does not proceed with a building construction program within a reasonable timeframe.”

Background

The subject lands (the ‘Subject Lands’) are vacant and are located at the southeast corner of Dufferin Street and Rutherford Road, as shown on Attachments 3 and 4. The surrounding land uses are shown on Attachment 3.

Zoning By-law Amendment and Site Development Applications have been submitted to permit the Development

The Owner has submitted the following applications (the ‘Applications’) for the Subject Lands to permit 219 stacked townhouse dwelling units within nine (9) 4-storey buildings with a Floor Space Index (‘FSI’) of 1.52 times the area of the lot (the ‘Development’), as shown on Attachments 4 to 8:

1. Zoning By-law Amendment File Z.15.031 (Rutherford Contwo Investments Limited) to rezone the Subject Lands from “A Agriculture Zone” and “OS5 Open Space Environmental Protection Zone” to “RM2 Multiple Residential Zone” and “OS5 Open Space Environmental Protection Zone”, in the manner shown on Attachment 4, together with the site-specific zoning exceptions identified in Table 1 of this report.
2. Site Development File DA.15.074 (Rutherford Contwo Investments Limited) to permit the Development.

A Committee of the Whole (Public Hearing) for the Zoning Amendment Application was held on April 5, 2016

Notice of the original Public Hearing was circulated to all property owners within 150 m of the Subject Lands on March 11, 2016, in accordance with the City’s Notification Procedures and Protocols. The Public Hearing to consider Zoning By-law Amendment File Z.15.031 was held on April 5, 2016, to receive comments from the public and the Committee of the Whole. Vaughan Council on April 19, 2016, ratified the recommendations of the Committee of the Whole to receive the April 5, 2016, Public Hearing report and to forward a comprehensive report to a future Committee of the Whole meeting. Deputations from the individuals were received by the Committee of the Whole at the April 5, 2016 meeting:

- R. Virtanen, KLM Planning Partners Inc., Concord, representing the Owner
- R. Doubi, Ner Israel Drive, Thornhill, Preserve Thornhill Woods Association
- E. Suarez, Santa Amato Crescent, Vaughan
- C.M.V. Lee, Santa Amato Crescent, Vaughan
- A. Lee, Santa Amato Crescent, Vaughan
- K. Zhang, Santa Amato Crescent, Vaughan

The following comments were made at the 2016 Public Hearing and in written submissions on the Applications.

a) Traffic and congestion in the area

Residents commented that the traffic and congestion in the Dufferin Street and Rutherford Road intersection is increasing and will worsen as a result of this Development, which will encourage u-turns at the Dufferin Street and Rutherford Road intersection.

Staff Response

The approved Carrville Centre Secondary Plan ('CCSP') designates the Subject Lands for High-Rise Residential development with a maximum permitted building height of 22-storeys and FSI/density of between 3 and 3.5 times the area of the lot. The proposed FSI for the Development is 1.52 times the area of the lot which is less than permitted by the Secondary Plan resulting in fewer units and less traffic. York Region has planned improvements (ie. turning lanes, extended medians) to the Dufferin Street and Rutherford Road intersection to improve turning movements at the intersection and improve the functionality of the intersection. The right-in/right-out turns will be controlled by centre medians.

A Traffic Impact Study ('TIS') prepared in support of the Development was reviewed by the Development Engineering ('DE') Department and York Region and is discussed further in this report. York Region completed an Environmental Assessment ('EA') for Rutherford Road to identify solutions to address capacity along Rutherford Road. Both Dufferin Street and Rutherford Road are to be reconstructed in 2022. York Region is satisfied with the TIS.

b) Sustainability features and setback to the valleylands

Comments were made regarding the adequacy of the sustainability features within the Development and the 10 m setback to the valleylands.

Staff Response

The Subject Lands are adjacent to an area regulated by the Toronto and Region Conservation Authority ('TRCA'). The Subject Lands are located in the "Settlement Area" of the Oak Ridges Moraine Conservation Plan Area ('ORMCP') and are subject of the ORMCP policies and corresponding policies of the Vaughan Official Plan 2010 ('VOP 2010'). The TRCA staked the Subject Lands to determine the long-term stable top-of-bank and to delineate the extent of the natural heritage feature.

The Owner submitted an ORMCP Conformity Report to confirm the natural heritage feature. In consultation with the TRCA and the Ministry of Natural Resources and Forestry ('MNRF') a 10 m minimum vegetation protection zone

('VPZ') is provided from the stable top-of-bank and shown as "Limit of Development" on Attachment 4. The Owner will dedicate the lands to be zoned "OS5 Open Space Environmental Protection Zone" (including the 10 m VPZ) to the City/TRCA. This will ensure the protection of the natural heritage feature.

c) Adequacy of recreational and park facilities within the neighbourhood

A comment was made regarding the adequacy of the existing park facilities to accommodate the additional residents generated by this Department.

Staff Response

High-Rise Residential development was planned for the Subject Land in the CCSP and the overall parkland and community facilities within the neighbourhood accommodated for a greater number of residents for the Subject Lands than will be generated by this Development. The City's Active Together Master Plan Review and Update 2018 do not identify the need for additional community facilities due to the Applications.

d) Lack of medical facilities in the community's commercial areas

A comment was made that there is a lack of medical facilities within the immediate community.

Staff Response

The new Vaughan hospital is under construction at Major Mackenzie Drive and Highway 400 and this medical facility will serve Vaughan residents.

e) Adequacy of visitor parking

A comment was made that adequate visitor parking for the Development must be provided.

Staff Response

Zoning By-law 1-88 requires a minimum of 55 visitor parking spaces (219 units @ 0.25) be provided. The Development includes 55 visitor parking spaces.

Previous Reports/Authority

[April 19, 2016 Council Extract \(Committee of the Whole Public Hearing Item 4, Report 19 Recommendations 1 to 3\)](#)

[June 12, 2019 Council Extract \(Committee of the Whole Public Hearing Item 4, Report No. 22 Recommendation 1\)](#)

On October 25, 2019, a notice of the Committee of the Whole meeting was sent to all individuals on file with the Clerk's Office, who made a deputation at the 2016 public hearing, submitted correspondence to the Development Planning Department, or requested notification regarding the Applications.

Analysis and Options

The Applications are consistent with the Provincial Policy Statement 2014

Section 3 of the *Planning Act* requires that all land use decisions in Ontario “shall be consistent” with the Provincial Policy Statement 2014 (the ‘PPS’). The PPS provides policy direction on matters of provincial interest on land use planning and development.

The Development Planning Department has reviewed the Development in consideration of the policies of the PPS, specifically Section 1.1.3, 1.4.3, 1.1.3.4, and 1.6.7.4 regarding utilizing land and infrastructure efficiently, transit supportive density and encouraging a mix of uses.

The Development is for residential units within a settlement area which conforms to the PPS and the ORMCP. The Development is consistent with the Settlement Area, Housing, and Natural Heritage policies of the PPS and will implement growth within the Settlement Area, utilize land efficiently by minimizing land consumption and provide intensification in a Local Centre. The Development is proposed to be serviced by existing municipal water and sewer services.

The Development includes stacked townhouse units within an identified settlement area in the PPS and ORMCP. The Development will add to the range and mix of housing types within the community and is adjacent to existing public transit service and the Rutherford GO station is located west on Rutherford Road. Rutherford Road is identified in VOP (Schedule 10) as a “Regional Transit Priority Network”. The Development is located opposite existing residential townhouses and a commercial plaza containing a grocery store and other retail uses to reduce vehicular trips.

The implementing Zoning By-law will include the appropriate development standards and protect the adjacent valley feature. The Owner will be required to convey the valleylands, as shown on Attachment 4, into public ownership. The Development is consistent with the PPS.

The Development conforms to A Place to Grow: Growth Plan for the Greater Golden Horseshoe 2019

A Place to Grow: Growth Plan for the Greater Golden Horseshoe 2019 (the ‘Growth Plan’) guides decision making on the development of land by encouraging compact built-form, transit supportive communities, diverse land uses and a range and mix of housing types. The Growth Plan encourages the concentration of population and employment growth within settlement areas and promotes the development of complete communities that offer a mix of housing types, access to local amenities and connections to municipal water and waste water systems. Vaughan Council’s planning

decisions are required by the *Planning Act* to conform, or not conflict with, the Growth Plan.

The Development is located along a “Regional Transit Priority Network” and achieves the objectives of providing density to support public transit through a compact built form. The adjacent valleylands will be dedicated to the City or TRCA to ensure their long-term protection. The Development is within a built-up area in close proximity to existing and planned transit facilities and introduces a housing option (stacked townhouse) that adds to the mix of housing in the community.

The Development conforms to the York Region Official Plan 2010

The York Region Official Plan 2010 (the ‘YROP 2010’) guides economic, environmental and community building decisions across York Region. The Subject Lands are designated “Urban Area” in the YROP 2010, which permits the proposed residential use. The YROP 2010 encourages intensification within the Urban Area and encourages a mix and range of housing types, lot sizes, unit sizes, tenures and levels of affordability within each community.

Section 5.0, of YROP 2010, *Building Cities and Complete Communities* states that ‘intensification’ within the Urban Area will accommodate a significant portion of planned growth in the Region and Section 5.3 *Intensification* requires that intensification occur in strategic locations in built-up areas to maximize efficiencies in infrastructure delivery, human services provision and transit ridership in accordance with York Region’s intensification framework.

Map 11 Transit Network in the YROP 2010 identifies a portion of Dufferin Street as a “Special Study Area”, and Rutherford Road, as a “Regional Transit Priority Network”. The Applications conform to the YROP 2010 objectives, and specifically in reference to Sections 3.13, 3.5.4 and 5.2.3 regarding the building of complete communities.

The Development utilizes a compact built-form, supported by existing services and infrastructure and provides intensification on a vacant property and will introduce a form of housing within the community at a transit supportive density. Dufferin Street and Rutherford Road are served by existing public transit.

The Development includes 2-bedroom stacked townhouse dwellings, a compact urban housing form not currently available within the CCSP community. The Development is located opposite an existing commercial plaza which provides opportunities for pedestrian accessibility to services within the area. The Development conforms to the YROP 2010.

The Development conforms to the Vaughan Official Plan 2010

VOP 2010, Schedule 1 - Urban Structure, identifies the planned Urban Structure of the City of Vaughan and establishes a hierarchy of Intensification Areas, including Local Centres where intensification is planned. Intensification areas have been established to make efficient use of sites with high levels of existing and planned transit intended to be developed with a mix of uses and appropriate densities to support transit use and promote active transit. The Applications conform to the VOP 2010.

The Development conforms to the Carrville Centre Secondary Plan (the 'CCSP')

The Subject Lands are located within the Carrville Centre Secondary Plan ('CCSP') area which forms part of the Volume 2 (Area Specific Policy 11.2) of VOP 2010 and are designated "High-Rise Residential". The Carrville Centre is intended to be the centre of commercial and residential activities. The CCSP permits a minimum building height of 2-storeys and a maximum building height of 22-storeys; and a maximum density/FSI of between 3 and 3.5 times the area of the lot. The "High-Rise Residential" designation permits stacked townhouses.

The Development includes 219, 4-storey stacked townhouse dwelling units yielding a density/FSI of 1.52 times the area of the lot, which conforms with the CCSP. Resident and visitor parking for the Development is proposed in an underground structure, in accordance with the policies of the CCSP. The CCSP also limits surface parking to a maximum of 10% of the required parking. The proposed 16 surface parking spaces meets this policy.

Access to the proposed below grade parking is located central to the site near the east boundary of the Subject Lands shown on Attachments 4 and 5. Access to the Loading and garbage area is located between Buildings A and B and is also shown on Attachment 2, and is screened from Rutherford Road. The site design conforms to the design policies of the CCSP.

The development limits and appropriate buffers were staked and surveyed by the City and TRCA and includes the 10 m VPZ, encroachment and compensation areas along the east edge of the Subject Lands. The overall compensation areas are greater than the encroachments so there is no net loss in the total area of the "Natural Area" buffer. The Development conforms to the CCSP.

The Development Conforms to the Oak Ridges Moraine Conservation Plan 2017

The Subject Lands are located within the Oak Ridges Moraine Conservation Plan (the 'ORMCP') boundary, as identified on Schedule 4 of the VOP 2010, and within an area designated "Settlement Area". Urban uses and development as set out in municipal Official Plans are allowed.

An ORMCP Conformity Report and an update report were submitted in support of the Development and reviewed by the City and the TRCA. These reports address the requirements of a Natural Heritage Impact Study (the 'NHIS'). The site design includes a 10 m VPZ zone adjacent to the valleylands which will be zoned "OS5 Open Space Environmental Protection Zone" and conveyed to the City/TRCA, should the Applications be approved.

The Part III policies of the ORMCP respecting land within Settlement Area have been satisfactorily addressed. Prior to the execution of the Site Plan Agreement, the Species at Risk will be reviewed, as protected by the *Endangered Species Act, 2007* and *Migratory Bird Convention Act 1994*, as regulated by Environment and Climate Change Canada. The Owner will be required to respond to the requirements of the Acts should the Applications be approved.

Amendments to Zoning By-law 1-88 are required to permit the Development

The Subject Lands are proposed to be rezoned from "A Agricultural Zone" by Zoning By-law 1-88, as shown on Attachment 1 to "RM2 Multiple Residential Zone" and "OS5 Open Space Environmental Protection Zone" in the manner shown on Attachment 4, together with the following site-specific zoning exceptions:

Table 1

	Zoning By-law 1-88 Standards	RM2 Multiple Residential Zone Requirements	Proposed Exceptions to RM2 Multiple Residential Zone Requirements
a.	Min. Number of Parking Spaces (Residential)	<p>219 units @ 1.5 parking spaces/unit = 329 spaces</p> <p>219 units @ 0.25 visitor parking spaces/unit = 55 spaces</p> <p>Total Parking Required = 384 spaces</p>	<p>219 units @ 1.05 parking spaces/unit = 230 spaces</p> <p>219 units @ 0.25 visitor parking spaces/unit = 55 spaces</p> <p>Total Parking Proposed = 285 spaces</p>
b.	Max. Encroachment for Covered Porch and Stairs	Encroachments not permitted	3.3 m for stairs, porches, balconies abutting Dufferin Street

	Zoning By-law 1-88 Standards	RM2 Multiple Residential Zone Requirements	Proposed Exceptions to RM2 Multiple Residential Zone Requirements
c.	Rooms Below Grade	No dwelling unit is permitted below grade, except a secondary suite	Permit dwelling units to be located partially below grade
d.	Min. Screening and Landscape Strip Around Outdoor Parking Areas	3 m landscape strip with 1.2 m high screening from street	1.4 m landscaped strip and no requirement for a parking area to be screened
e.	Min. Amenity Area	219 two-bedroom units @ 55 m ² /unit = 12,045m ²	219 two-bedroom units @ 45 m ² /unit = 9855 m ²
f.	Min. Landscaped Strip Width	6 m	1.1 m to Dufferin Street and Rutherford Road
g.	Min. Exterior Side Yard Setback	4.5 m	3.5 m (Buildings C and D on Dufferin Street)
h.	Min. Building Setback to Sight-Triangle	4.5 m	1.4 m (Building B)
i.	Min. Lot Area	219 units @ 230 m ² /unit = 50,370 m ²	14,000 m ² regardless of the number of units
j.	Max. Building Height	11 m	14.1 m (All Buildings)

The Development Planning Department can support the site-specific zoning exceptions in Table 1 to permit a contemporary urban built-form consistent with the permitted uses and the density identified in the CCSP. The proposed built-form is compatible with, but not identical to the existing and planned built forms in the surrounding area. No units will have direct access to the underground garage. Contemporary townhouse developments with similar development standards have been recently been approved within the community.

A Parking Appraisal Report prepared by GHD dated June 21, 2016, in support of the Development has been reviewed to the satisfaction of the DE Department is discussed later in this report.

The Planning Act permits Vaughan Council to pass a resolution to permit the Owner to apply for a Minor Variance application, if required, within 2 years of a Zoning By-law coming into full force and effect

Section 45 (1.3) of the *Planning Act* restricts a landowner from applying for a Minor Variance Application to the Committee of Adjustment within two years of the day on which a Zoning By-law was amended. The *Planning Act* also permits Council to pass a resolution to allow an Owner to apply for a Minor Variance application(s) within 2 years of the passing of the zoning by-law amendment.

Should Council approve Zoning By-law Amendment File Z.15.031 the Development Planning Department has included a Recommendation to permit the Owner to apply for a Minor Variance application(s) if required, in advance of the two-year moratorium in order to address minor zoning deficiencies that may arise through the finalization and construction of the Development. A condition to this effect is included in the Recommendations of this report.

The Development Planning Department supports the Development, subject to the Recommendations of this report

Site Plan

The Development includes 219 stacked townhouse dwelling units within nine (9) 4-storey buildings, as shown on Attachment 4. One level of underground parking with 269 parking spaces for residents and visitors and including 220 bicycle parking stalls is proposed as shown on Attachment 8. An additional 16 vehicular parking spaces and 22 short term bicycle parking spaces are provided at-grade. Access to the underground is located in Building K and the loading area and garbage storage area is located between Buildings A and B and is screened from view along Rutherford Road. The common amenity areas are located central to the site. Air conditioning units for the Development shall not be visible from Dufferin Street or Rutherford Road. The final site plan shall be to the satisfaction of the Development Planning Department.

Building Elevations

The proposed typical building elevations are shown on Attachments 6 and 7. The stacked townhouse dwellings are finished in two colours of brick to define and articulate the entrances. Exterior Finish Insulation System panels are used on the rooftop terrace units of each building. Upgraded elevations are required for all visible end units, to the satisfaction of the Development Planning Department.

Landscape Plan

The typical landscape plan shown on Attachment 5 illustrates multiple landscape feature areas and the amenity areas, comprised of hard and soft landscaping. Street trees will be planted along Dufferin Street and Rutherford Road as part of the York Region improvements in the right-of-way. Street facing units will have decorative metal fences separating the private landscaped areas from the public right-of-way.

The Owner will work with the City and the TRCA to finalize all restoration plantings along the valleylands. The TRCA recommends the inclusion of a fence to protect the naturalized area and edge feature. The Development Planning must approve the final site plan and landscape plans, including the edge management restoration and planting plans.

The Subject Lands are clear of any concern for archaeological resources

The Subject Lands were part of the adjacent subdivision to the east (File 19T-05V06) and are considered cleared of archaeological resources. The appropriate warning clauses regarding archaeological resources will be included in the Site Plan Agreement.

The Development Engineering ('DE') Department supports the Development, subject to the comments and Recommendations of this report

Municipal Servicing

The Owner has submitted a revised Functional Servicing Report prepared by Schaeffers Consulting Engineers, dated March 2019, in support of the Applications. The DE Department has no objections to the proposed services, subject to the Owner satisfying the comments and conditions of the DE Department.

Road Network/Access

The Owner has submitted a Transportation Impact Study ('TIS') and the updated TIS Memorandum in support of the Applications. The proposed driveways for the Development provide right-in/right-out access via Rutherford Road and Dufferin Street and the sight distance analysis for the driveways meet/exceed the sightline criteria identified in City's Design Criteria/Transportation Association of Canada Manual.

The TIS concludes that traffic volumes generated by the Development represent a small component of total traffic passing through the intersection during the peak hours and that the proposed driveways are expected to operate with an excellent level of service safely and efficiently for motorists, pedestrians and bicycle connectivity. The DE Department concurs with the conclusions of the TIS and updates.

The Parking Appraisal Report submitted in support of the Applications concludes that 285 parking spaces is sufficient for the Development based on the IBI Group parking review. The DE Department concurs with the findings of the Parking Appraisal Report.

Rutherford Road/Carrville Road Environmental Assessments

York Region has initiated the Rutherford Road/Carville Road Environmental Assessments ('EAs') to identify the alternative solutions to address traffic capacity including the widening of Rutherford Road to introduce High Occupancy Vehicle Transit ('HOV/Transit') lanes and widening of Dufferin Street. Once implemented, the HOV/Transit lanes will help improve modal splits and ultimately reduce single occupancy passenger trips. The Subject Lands are in close proximity to a GO Station.

Lot Grading

The DE Department has no objections to the proposed grading plan, subject to the Owner addressing all DE Department comments as set out in the City's Site Plan Criteria Guide.

Water Supply

The Subject Lands are within Pressure District 6 of the York Water System. The Development is proposed to be serviced via an existing connection to the municipal watermain along Rutherford Road to the satisfaction of the City.

Sanitary Servicing

The existing sanitary sewer system in Block 10 along Apple Blossom Drive does not have sufficient capacity to accommodate the Development. A new sanitary sewer is proposed to convey the flow from the Subject Lands to the existing sanitary sewer on Dufferin Hill Drive to the Maple/Langstaff Trunk sewer in Block 17, without having a negative impact on the existing downstream sanitary sewers. The sanitary sewer through Ruland Properties Inc. (Registered Plan 65M-3398) was oversized to accommodate an external area from Block 10 and the Development is within the external benefitting area.

The Owner shall pay the proportional oversizing cost required by Section 21.1.4 of the Ruland Properties Inc. Subdivision Agreement (File 19T-98V01). The Owner shall pay a total of \$4,026.96 (which is \$2,506.20 per hectare (oversizing rate) times 1.56 ha (development area) plus 3% administrative cost) plus applicable taxes. The City shall deduct the 3% administrative cost and forward the balance to Ruland Properties Inc. A condition to this effect is included in the Recommendations of this report.

Water and Sewer Allocation

Vaughan Council on February 21, 2018, endorsed the City's latest annual servicing capacity allocation strategy. The Recommendations section of this report includes a resolution regarding allocation for the Development.

Stormwater Management

The runoff generated from the Development will be conveyed to the existing Rutherford Contwo Pond. On-site storage is provided to control the maximum allowable release rate as permitted by the existing downstream storm sewer capacity. Post to pre-water balance is achieved using an infiltration gallery. Due to the grading constraints, overland flow routes are not feasible to be provided for the backyards of the townhouse buildings. Extra on-site storage is provided, which includes an emergency overland flow outlet to divert the flow to the creek in the adjacent OS5 Zone during emergency conditions.

Environmental Site Assessment

The Owner provided Phase One and Phase Two Environmental Site Assessment ('ESA') reports. The findings of the ESA reports indicated that soil and ground water meet applicable Ministry of the Environment, Conservation, and Parks ('MECP') standards. In addition, the Subject Lands was subject to filing of a MECP Record of Site Condition ('RSC') in April 2009 which confirmed that the Subject Lands are suitable for an intended residential property use. The Development Engineering Department is satisfied with the submitted ESA documents.

Noise Attenuation

The Owner provided a Noise Feasibility Study, dated November 5, 2015, and an addendum Environmental Noise Analysis, (the 'Noise Reports') dated September 12, 2019, both prepared by Valcoustics Canada Ltd. The Noise Reports recommend central air conditioning for the Development and noise warning clauses to be included in all Offers of Purchase and Sale or Lease and registered on title to make future occupants aware of the potential noise. The Noise Reports concluded that with the incorporation of the recommendations, the applicable noise guideline limits will be met at all receptors. The Noise Reports contain recommended conditions and warning clauses to be included in the Site Plan Agreement.

The Owner shall enter into a Development Agreement with the City

The DE Department requires the Owner to enter into a Development Agreement with the City for the proposed construction of the external sanitary sewer and to satisfy all conditions, financial or otherwise, of the City with regard to such matters that the municipality may consider necessary including the payment of the development levies, the provision of roads and municipal services, including the construction of the sanitary sewer from Apple Blossom Drive to the existing sanitary sewer on Dufferin Hill Drive,

installation of new services landscaping and fencing. The said agreement shall be registered against the Subject Lands to the satisfaction of the City and the construction drawings shall be approved.

The Owner shall enter into a Developer's Group Agreement to the satisfaction of the City

The Owner shall enter into the Block 10 Developer's Group Agreement with other participating landowners within Block 10 to the satisfaction of the City. The Agreement shall be regarding but not be limited to, all cost sharing for the Development, for the provision of parks, cash-in-lieu of parkland, roads and municipal services.

The Owner shall submit a letter from the Block 10 Developers' Group (Block 10 Properties Inc. – Trustee) indicating that the Owner has fulfilled all cost sharing and other obligations of the Block 10 Developers' Group Cost Sharing Agreement, to the satisfaction of the DE Department. A condition requiring the Owner to enter into a Developers' Group Cost Sharing Agreement is included in the Recommendations of this report.

Private Easement External to the Development

The proposed servicing requires private sanitary and storm sewers within an easement to be located on lands external to and south of the Subject Lands (shown on Attachment 3 as other lands owned by the Applicant). A condition and a warning clause are included in this report to advised future Purchasers/Tenants of the responsibility for the operation and maintenance of this private easement.

The Parks Development Department has no objection to the Development, subject to the conditions

The Parks Development has no objection to the Development subject to conditions in this report. The Parks Development Department is in receipt of a letter from the Block 10 Thornhill Woods Developers Group Inc. dated April 25, 2019, confirming that the Owner of the Development is in good standing and the Development is accounted for in the overall parkland dedication calculations based on the proposed planned land use and density.

The CCSP Section 11.2.11.11 requires the “creation of continuous, interconnected trail system with the Natural Areas, ‘Stormwater Management Area’ and ‘Parks’ designation”. The policy indicates that a trail be located in the OS5 zoned lands subject to meeting conditions set by the TRCA and the MNRF and the findings of the geotechnical studies. The CCSP planned for a north-south, multi-use trail connecting Rutherford Road to Dufferin Street along the 10 m VPZ adjacent to the valleylands, with

connections to the east to provide continuous access to the stormwater management pond walkways and a future park.

Due to the physical constraints of the valleylands adjacent to the Subject Lands, the MNRF provided a letter restricting development beyond the top-of-bank of the Subject Lands, noting Redside Dace contributing habitat along this edge. Accordingly, the City and the TRCA no longer request the multi-use trail identified in the CCSP for this Development. Should trails be required in the future, the City will contact the TRCA to request an easement over the valleylands.

The Owner shall provide a 1.5 m high vinyl chain link fence along the rear yard of all lots abutting the “OS5 Open Space Environmental Protection Zone” at the east property line and provide a warning clause for each unit advising Purchasers/tenants that the OS5 zoned land will be left in natural state and not maintained.

Alectra Corporation, Enbridge Distribution Inc. and Bell Canada have no objection to the Development

The above noted utilities have no objection to the Development, subject to the Owner coordinating servicing connections, easements and locates with the above noted utilities prior to commencement of any site works.

The School Boards have no objection to the Development

The York Region District School Board and York Catholic District School Board advised that they have no objection to the Development.

Canada Post has no objection to the Development, subject to conditions

Canada Post has no objection to the Development, subject to the Owner satisfying their requirements for the provision of mailbox facilities for the Development.

Cash-in-lieu of the dedication of Parkland for the Development has been satisfied

The Real Estate Department has no objection to the approval of the Development and has advised that the Owner has satisfied the City’s requirements for cash-in-lieu of the dedication of parkland for the Development.

The Transportation Services, Parks and Forestry Operations has no objection to the approval of the Applications, subject to their comments and conditions

The Transportation Services, Parks and Forestry Operations have no objection to the Applications and requires that the Owner comply with the City of Vaughan By-law 052-2018 when removing any trees and that the appropriate permits for tree protection and removal shall be obtained in accordance with By-law 052-2018. A condition to this effect is included in the Recommendations of this report

Development Charges apply to the Development

The Owner will be required to pay Development Charges in accordance with the Development Charges By-laws of the City of Vaughan, York Region, the York Region District School Board and the York Catholic District School Board. A standard clause will be included in the Site Plan Agreement.

A woodlot fee change applies to the Development

The Financial Planning and Development Finance Department requires the Owner to pay to the City a woodlot charge at a rate of \$1000.00 per residential dwelling unit, in accordance with the City's Woodlot Acquisition Front-End Agreement. A condition to this effect is included in the Recommendations of this report.

The Toronto and Region Conservation Authority have no objection to the Development, subject to Conditions

The Owner has worked with the TRCA to delineate the development limits for the Subject Lands. Site Plan Agreement conditions are required to protect the valleylands and to require a VPZ adjacent to the Development, which will be zoned "OS5 Open Space Environmental Protection Zone" and shall be dedicated by the Owner free and clear of encumbrances to the City or the TRCA.

The Owner shall satisfy all requirements of the TRCA, including the recommendations of the storm water management and water mitigation strategy reports, as described in the Functional Servicing Report ('FSR') and Storm Water Management Report ('SWM') reports. The Owner shall obtain all necessary TRCA permits pursuant to the Development Interference with Wetlands and Alterations to Shorelines Watercourses Regulation (Ontario Regulation 166/06). Site Plan Agreement conditions to address the TRCA's requirements are included in this report.

Financial Impact

Not Applicable

Broader Regional Impacts/Considerations

York Region has no objection to the Development, subject to conditions of approval.

York Region has identified the detailed-design comments which must be reviewed and approved to the satisfaction of York Region prior to the execution of the Regional Site Plan Agreement. In addition, York Region requires that the Regional Site Plan Approval be issued prior to any works being undertaken within or encroached onto the Regional right-of-way. Conditions of Approval have been included in Attachment 2.

Conclusion

The Development Planning Department has reviewed Zoning By-law Amendment File Z.15.031 and Site Development File DA.15.074 in consideration of the Provincial Policies, Regional and City Official Plan policies, the requirements of Zoning By-law 1-88, the comments received from the City Departments and external public agencies, and the surrounding existing and planned area context.

The Development Planning Department is satisfied that the Applications to permit a stacked townhouse development on the Subject Lands are consistent with the PPS, conforms to the Growth Plan, the York Region Official Plan 2010, and VOP 2010. The Development utilizes a compact built form, is located within a built-up area, and is located close to existing and planned transit facilities. The Development also introduces a housing form that contributes to achieving a complete community. On this basis, the Development Planning Department can support the approval of the Applications, subject to the Recommendations of this report.

For more information, please contact: Laura Janotta, Planner, Development Planning Department, extension 8634.

Attachments

1. Conditions of Site Plan Approval
2. York Region Conditions of Site Plan Approval
3. Location Map
4. Site Plan and Proposed Zoning
5. Typical Landscape Plan
6. Typical Elevations - Buildings C1, C2, D1 & D2 (Dufferin Street)
7. Typical Elevations - Buildings A & B (Rutherford Road)
8. Underground Parking Plan

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/LG

Attachment 1 – Conditions of Site Plan Approval (City of Vaughan)

Site Development File DA.15.047 (Rutherford Contwo Investments Limited)

Conditions of Approval:

- 1) THAT prior to the execution of the Site Plan Agreement:
 - a) The Development Planning Department shall approve the final site plan, landscape plan and cost estimate, Arborist Report, tree inventory and removal plan, building elevations, signage details and photometric plan;
 - b) The Owner shall dedicate all lands zoned “OS5 Open Space Environmental Protection Zone” free and clear of all charges and encumbrances to the satisfaction of the appropriate public authority;
 - c) The Development Engineering Department shall approve the final grading and servicing plan, erosion and sedimentation control plan, noise report, functional servicing and stormwater management report, hydrogeological assessment, environmental site assessment report, traffic impact study, transportation demand management plans and construction management plans. The Owner shall pay the Engineering Site Plan fees pursuant to the in-effect fees and charges By-law.
 - d) The Owner shall enter into a Development Agreement with the City, to satisfy all conditions, financial or otherwise regarding matters including payment of the development levies, the provision of roads and municipal services, landscaping and fencing. The Development Agreement shall be registered against the lands and the construction drawings approved to the satisfaction of the City;
 - e) The Owner shall enter into an Encroachment Agreement with the York Region to allow a portion of the private concrete walkways to be constructed within the Dufferin Street Region right-of-way and the Owner shall be responsible to maintain and /or remove the walkways when York Region constructs the planned intersection improvements;
 - f) The Owner shall enter into a Developers’ Group Agreement with the other participating landowners within Block 10 to the satisfaction of the City;
 - g) The Owner shall provide the City with a letter from the Block 10 Developers’ Group Trustee indicating that the Owner has fulfilled all cost sharing and other obligations of the Block 10 Developers’ Group Sharing Agreement, to the satisfaction of the City;

- h) The Owner shall pay the proportional servicing oversizing cost (\$4,026.96) in accordance with the Ruland Properties Inc. Subdivision Agreement (File 19T-98V01), plus applicable taxes, to the satisfaction of the City;
 - i) The Owner shall enter into a Tree Protection Agreement, which includes securities for trees to be preserved and protected in accordance with the approved Arborist Report;
 - j) The Owner shall pay to the City a woodlot development charge at the rate of \$1,000.00 per residential dwelling unit in accordance with the Special Area Woodlot Development Charge By-law and the City's Woodlot Acquisition Front-End Agreement;
 - k) The Owner shall satisfy all requirements of the Parks Planning Department;
 - l) The Owner shall satisfy all requirements of the Toronto and Region Conservation Authority;
 - m) The Owner shall satisfy all requirements of York Region as set out in Attachment 2;
 - n) The Owner shall satisfy all requirements from Alectra Utilities Corporation, Enbridge Distribution Inc., Bell Canada and Canada Post; and
 - o) The Owner shall satisfy all requirements of the Environmental Services Department, Waste Management Division.
- 2) THAT the Site Plan Agreement shall include the following provisions and warning clauses, to the satisfaction of the City:

Conditions

- a) "The Owner shall submit a final detailed final Noise Report for the Development on the Subject Lands in accordance with Ministry of the Environment Conservation and Parks noise assessment as defined in Publication NPC-300, "Environmental Noise Guideline-Stationary and Transportation Noise Sources", and the Owner shall implement the recommendations of the final Noise Report in the design and construction of the buildings and include all necessary warning statements in all agreements of Offer of Purchase and Sale Lease/Rental agreements and Condominium agreement(s) of individual units, to the satisfaction of the City."

- b) "A noise consultant shall certify that the building plans are in accordance with the noise control features recommended by the final Noise Report and be submitted to the satisfaction of the City's Chief Building Official and the Director of Development Engineering."
- c) "The Owner shall register appropriate restrictions on title with the future condominium corporation to provide the necessary noise mitigation measures as required in the final Noise Report, to the satisfaction of the City."
- d) "The Owner shall agree and submit satisfactory evidence that the appropriate warning clauses have been included in agreements of Offer of Purchase and Sale, Lease/Rental agreements and Condominium agreements(s) and Declarations including but not limited to the following:
 - "Purchasers and/or tenants for all dwelling units in Buildings A, B, C1, C2, D1, D2 and E on the site plan are advised that, despite the inclusion of noise control features in this development area and within the dwelling unit, the noise levels from increasing traffic may continue to be of concern, occasionally interfering with some activities of the occupants. This dwelling has, therefore, been equipped with forced air heating and ducting etc., or central air conditioning, which will allow windows to be kept closed, thereby achieving indoor sound levels within the limits recommended by the Ministry of the Environment, Conservation and Parks and in compliance with the City's noise requirements. The location of the air conditioning units shall be in compliance with the provisions of City of Vaughan Zoning By-law 1-88, as may be amended."
 - "Purchasers and/or tenants for the dwelling units in Buildings F, G, H, K1 and K2 on the site plan are advised that, despite the inclusion of noise control features within the development area, road noise will continue to increase occasionally interfering with some activities of the dwelling occupants. This dwelling has, therefore, been equipped with forced air heating and ducting, etc. sized to accommodate the future installation of air conditioning by the purchaser and/or tenant. The location of the air conditioning units shall be in compliance with the provisions of City of Vaughan Zoning By-law 1-88."
- e) "The Owner shall carry out to the satisfaction of the Toronto and Region Conservation Authority, the recommendations of the reports/strategies and details of the plans referenced in the Toronto and Region Conservation Authority's conditions of site plan approval."
- f) "The Owner shall provide fencing (1.5 m high vinyl chain link fence and all fence details) along the rear yard of the lots abutting the "OS5 Open Space

Environmental Protection Zone” along the east property line of the Subject Lands and the Owner shall include a warning clause in all Offers of Purchase and Sale, or Lease for all lots/buildings within the Subject Lands advising Purchasers/Tenants that the OS5 zoned lands within this Open Space Environmental Protection Zone will be left in a natural state and will not be maintained.”

- g) “The Owner shall submit a complete copy of the Record(s) of Site Condition (RSCs) filed on the Environmental Site Registry including the acknowledgement letter from the Ministry of the Environment, Conservation, and Parks (MECP) should remediation of any portions of the Subject Lands be required to meet the applicable Standards set out in the MECP document “Soil, Ground Water and Sediment Standards for Use under Part XV.1 of the Environmental Protection Act” (as amended). All environmental site assessment reports prepared in support of the RSC shall be submitted to the City along with reliance from the Owner’s environmental consultant.”
- h) “The Owner shall submit a sworn statutory declaration by the Owner confirming the environmental condition prior to any lands being conveyed to the City.”
- i) “The Owner shall submit a limited Phase Two Environmental Site Assessment (ESA) report in accordance or generally meeting the intent of the Ontario Regulation (O. Reg.) 153/04 (as amended) for all open spaces and landscape buffer blocks that are being conveyed to the City. The sampling analysis plan prepared as part of the limited Phase Two ESA should address the fill for applicable contaminants of concern and be developed in consultation with the City. The implementation of the sampling and analysis plan shall be completed to the satisfaction of the City and shall only be undertaken following certification of rough grading but prior to placement of topsoil. Reliance on the ESA report(s) from the Owner’s environmental consultant shall be provided to the City”.
- j) “The Owner shall work with the City and York Region to design and construct a sidewalk link including grading and street lighting along the Dufferin Street frontage in its ultimate location and shall construct a temporary interim sidewalk until the permanent sidewalk is constructed as part of the York Region improvements for the Dufferin Street and Rutherford Road intersection”.
- k) “The Owner has entered into a Tree Protection Agreement, which includes the security for trees to be preserved and protected in accordance with the approved Arborist Report, to the satisfaction of the City”.

- l) "The Owner shall agree in the Site Plan Agreement to include a condition in a future Condominium Agreement to address future operation and maintenance of the private easement located external to the land.
- m) "The Owner shall include warning clauses in the future Condominium Agreement and Declaration to address the operation and maintenance of sewers within the private easement located external to the Subject Lands."
- n) "The Owner shall agree in the Site Plan Agreement to obtain all necessary permits from the TRCA pursuant to the Development, Interference and Wetlands and Alterations to Shorelines and Water Interference with Wetlands and Alterations to Shorelines and Watercourses Regulation (Ontario Regulation 166/06), as may be amended, to the satisfaction of the Toronto and Region Conservation Authority."
- o) "That the Owner/future Condominium Corporation shall agree in the Site Plan Agreement that it will provide a three-stream waste collection system and be responsible for waste collection. The Owner shall also agree to include a clause in a future Condominium Agreement/Declaration to address future responsibility for waste collection.

Warning Clauses

- "Should archaeological resources be found on the Subject Lands during construction activities, the Owner must immediately cease all construction activities and immediately notify the Ontario Ministry of Tourism, Culture and Sport and the Development Planning Department, Urban Design and Cultural Heritage Division."
- "In the event that human remains are encountered during construction activities, the Owner must immediately cease all construction activities. The Owner shall contact the York Regional Police Department, the Regional Coroner, the Registrar of the Cemeteries and Crematoriums Regulation Unit of the Ministry of Government and Consumer Services, and the City of Vaughan Development Planning Department, Urban Design and Cultural Heritage Division."
- "Purchasers and/or tenants for all dwelling units on the site plan are advised that the lot abuts an open space area that will be left in a natural state and that any encroachments and/or dumping into park, are prohibited."
- "Purchasers and /or tenants for all dwelling units on the site plans are advised that the sanitary and storm sewers within the private easement external to the Subject Lands shall be maintained by the Condominium Corporation."

- “It will be the responsibility of the future Condominium Corporation to file an application for municipal waste collection. Upon successfully completing an application, a site inspection and the execution and registration of an Agreement with the Vaughan Environmental Services Department, Solid Waste Management Division, as determined by the City, the future Condominium Corporation may be eligible for municipal waste collection services. Should the Condominium Corporation be deemed ineligible by the City or choose not to enter into an agreement with the City for municipal waste collection services, all waste collection services shall be privately administered and shall be the responsibility of the condominium Corporation.”

Attachment 2 – Conditions of Site Plan Approval - York Region
York Region Conditions for Approval for Site Development File: DA.15.047
(Rutherford Contwo Investments Limited)

1) That prior to the execution of the Regional Site Plan Agreement:

a) Traffic

York Region has planned for traffic improvements for the Dufferin Street and Rutherford Road intersection for 2022 across the frontage of the Subject Lands.

- i) Prior to final approval, the Owner shall agree that the proposed access onto Rutherford Road will be restricted to right-in/right-out operation and enforced by a centre concrete median on Rutherford Road. The proposed right-in/right-out access shall be constructed to the Regional standards and requirements, and consistent with the approved EA design for Rutherford Road, to the satisfaction of the Region.
- ii) Prior to final approval, the Owner shall agree that the proposed access onto Dufferin Street will be restricted to a right-in/right-out and left-in operation and enforced by a half pork-chop design at the proposed access and a narrower opening in the centre concrete median on Dufferin Street. The proposed right-in/right-out and left-in access shall be constructed to the Regional standards and requirements, and consistent with the approved EA design for Dufferin Street, to the satisfaction of the Region.
- iii) Prior to final approval, the Owner shall agree that the completion of the proposed development occurs at the same time or after the completion timing of the improvements on Dufferin Street and Rutherford Road. If the proposed development proceeds ahead of the Dufferin Street and Rutherford Road improvements, all interim improvement costs to enforce the access restrictions, including centre concrete medians and pork-chop island, will be borne by the Owner.
- iv) The Owner is required to convey sufficient land for a York Region 22.5 m right-of-way width from the centerline of Dufferin Street and a 21.5 m right-of-way width for Rutherford Road.

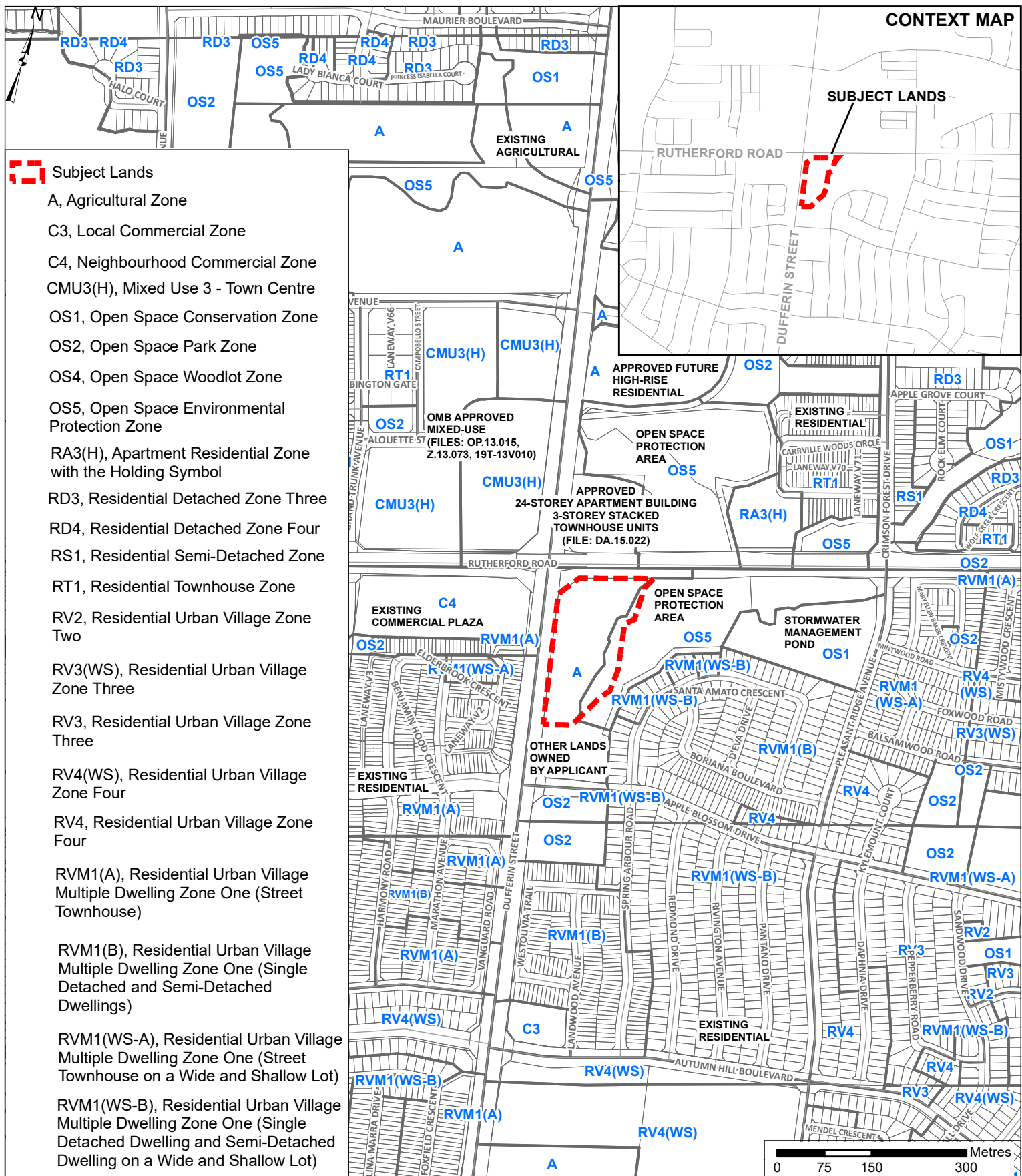
- v) The Owner shall implement Transportation Demand Measures recommended for the Subject Lands in the supporting TIS to the satisfaction of the Region.
- vi) York Region approval for Traffic Management and Construction Management Plans for any works undertaken on the regional roads is required, prior to the execution of the Regional Site Plan Agreement.

b) Grading and Servicing

The Region of York shall approve, detailed report/plans including all legal surveys, reference plans, civil drawings, landscape drawings, stormwater management plans, hydrogeological investigation plans, shoring, hording, Phase 1 and 2 Environmental Site Assessments (the 'ESA') and Reliance Letters, and dewatering plans prior to the execution of the Regional and City Site Plan Agreements to the satisfaction of York Region.

c) Landscaping and Streetscaping

The Owner will be required to document all existing trees within the Regional right-of-way. Trees marked for removal require compensation and/or replacement plantings. Existing trees within the Regional right-of-way shall be protected by tree protection hording. All municipal sidewalks shall be free and clear of any encumbrances, and all above-ground utilities such as street lights shall be properly designed.

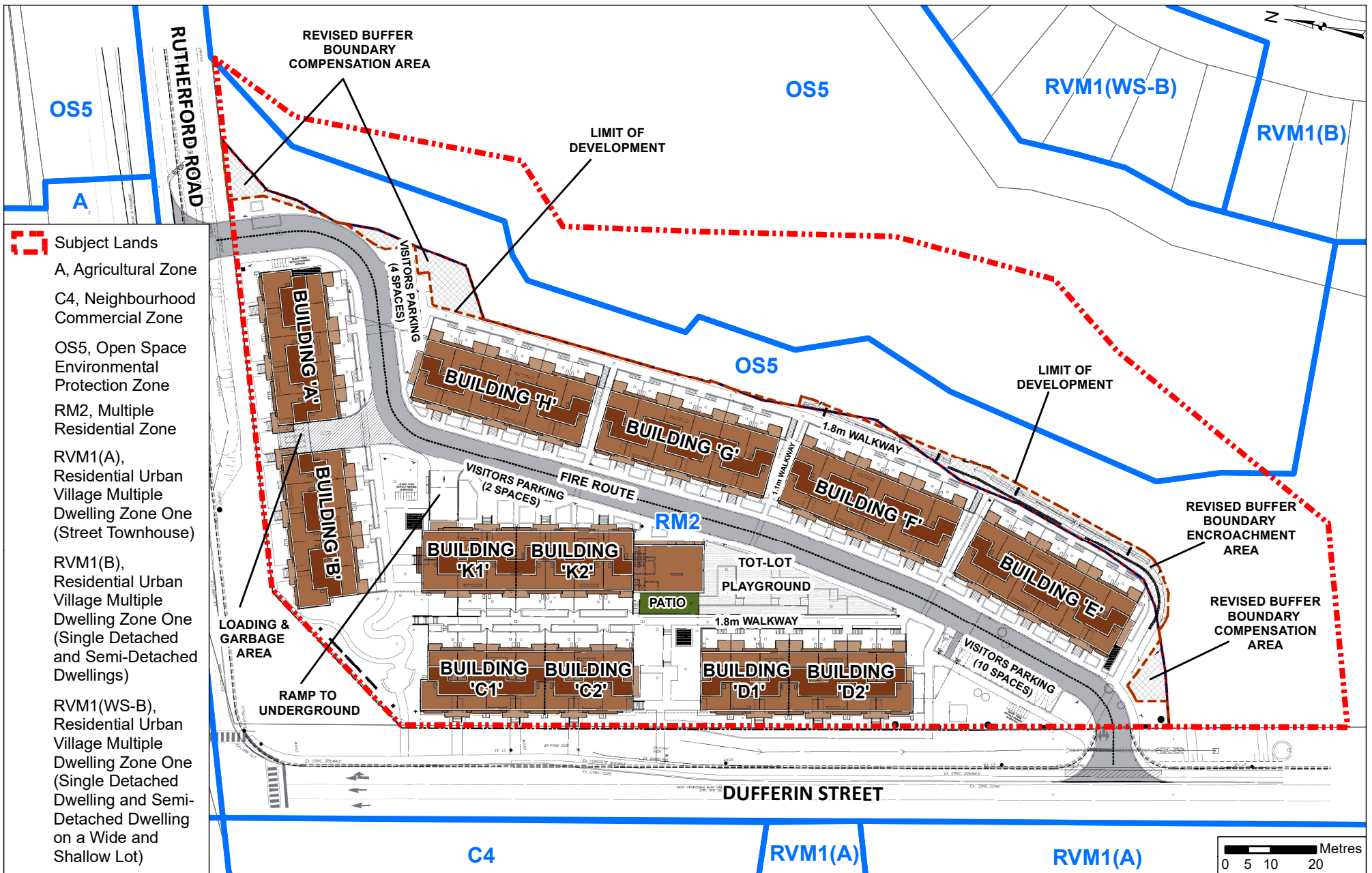


Location Map

LOCATION:
Part of Lot 15, Concession 2

APPLICANT:
Rutherford Contwo Investments Limited





Site Plan and Proposed Zoning

LOCATION:
Part of Lot 15, Concession 2

APPLICANT:
Rutherford Contwo Investments Limited



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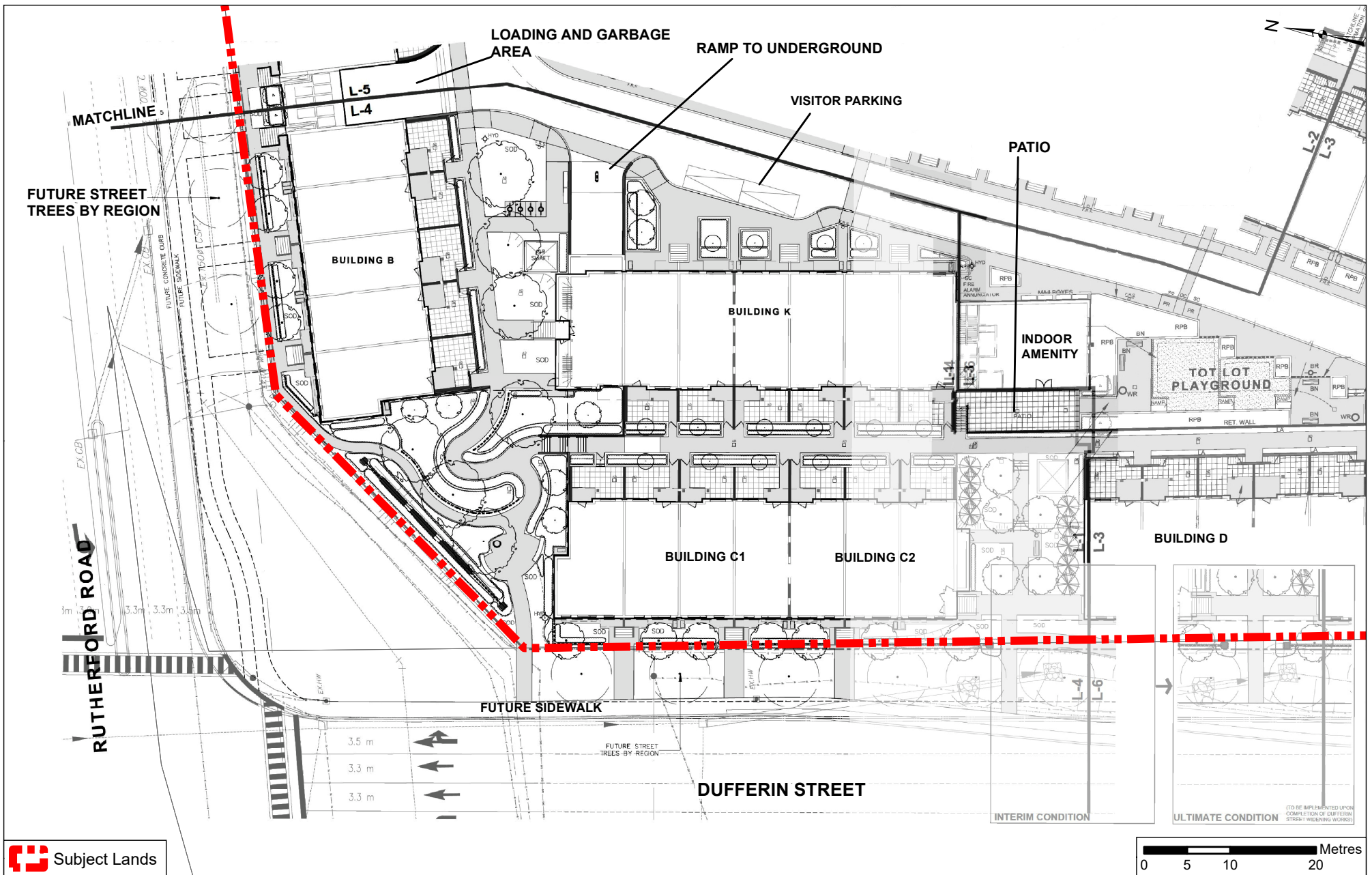
Development Planning

Attachment

FILES:
Z.15.031 & DA.15.074

DATE:
November 5, 2019

4



Typical Landscape Plan

LOCATION:
Part of Lot 15, Concession 2

APPLICANT:
Rutherford Contwo Investments Limited



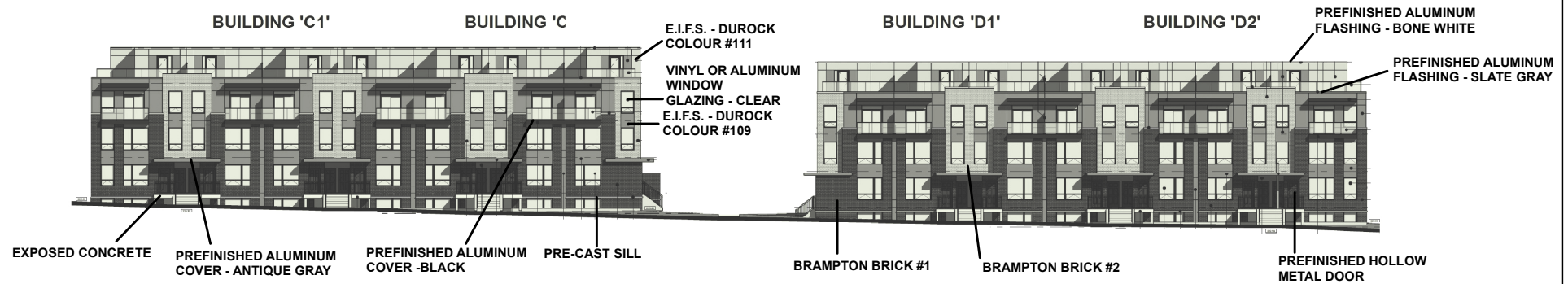
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Attachment

FILES:
Z.15.031 & DA.15.074

DATE:
November 5, 2019

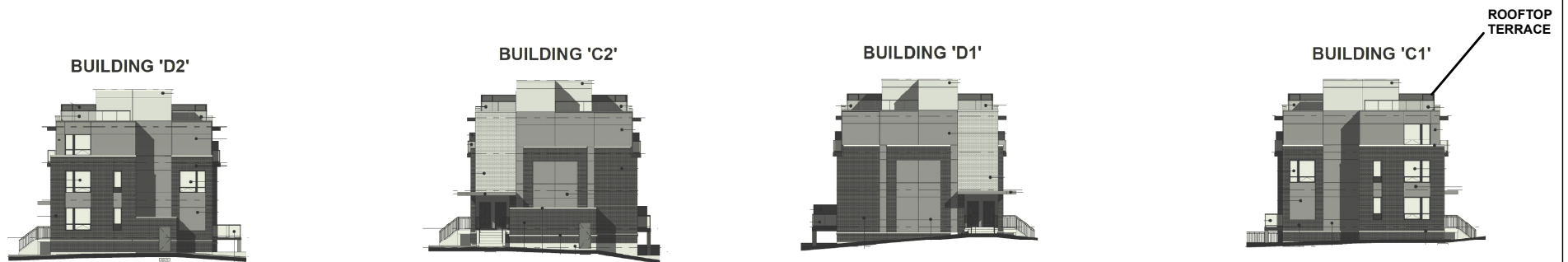
5



WEST ELEVATION (FACING DUFFERIN STREET)



EAST ELEVATION



SOUTH ELEVATION

NORTH ELEVATION

Not to Scale

Typical Elevations - Buildings C1, C2, D1 & D2 (Dufferin Street)

LOCATION:
Part of Lot 15, Concession 2

APPLICANT:
Rutherford Contwo Investments Limited

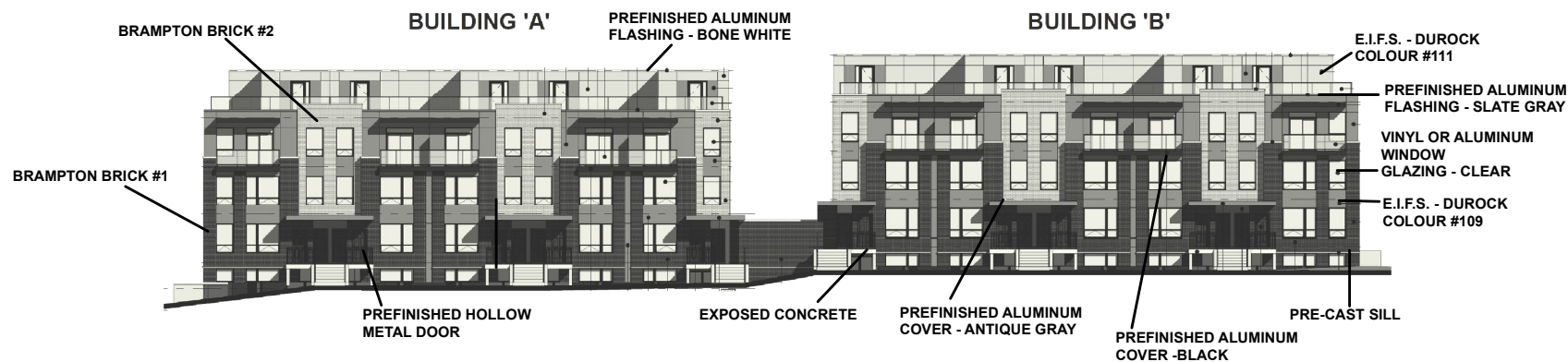


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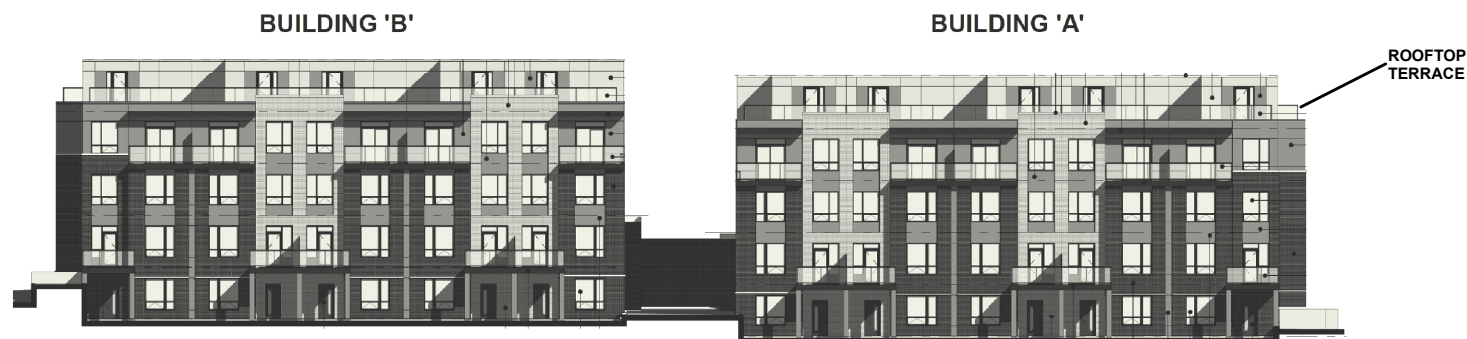
FILES:
Z.15.031 & DA.15.074

DATE:
November 5, 2019

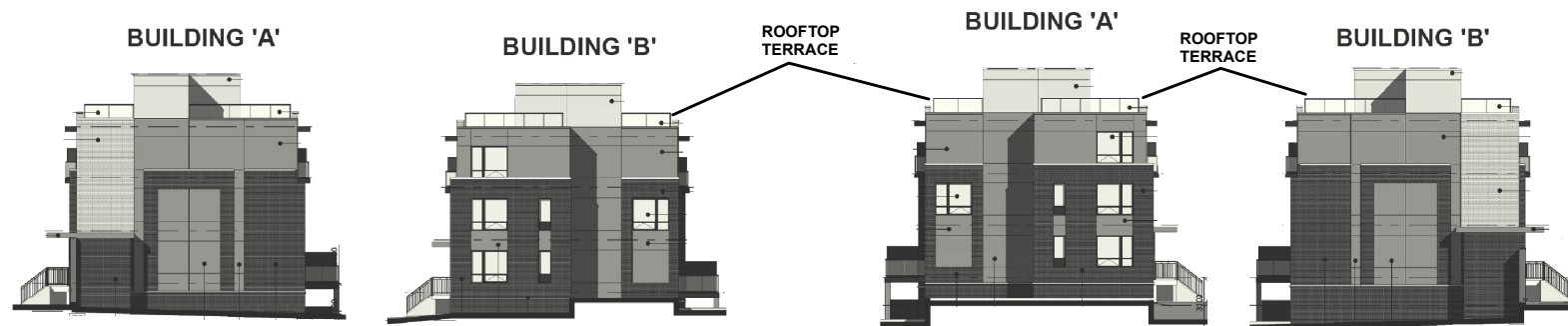
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NORTH ELEVATION (FACING RUTHERFORD ROAD)



SOUTH ELEVATION



WEST ELEVATION

EAST ELEVATION

Not to Scale

Typical Elevations - Buildings A & B (Rutherford Road)

LOCATION:
Part of Lot 15, Concession 2

APPLICANT:
Rutherford Contwo Investments Limited



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FILES:
Z.15.031 & DA.15.074

DATE:
November 5, 2019

7



Underground Parking Plan

LOCATION:
Part of Lot 15, Concession 2

APPLICANT:
Rutherford Contwo Investments Limited



Attachment

FILES:
Z.15.031 & DA.15.074

DATE:
November 5, 2019

Committee of the Whole (1) Report

DATE: Tuesday, November 05, 2019

WARD: 1

**TITLE: PACE DEVELOPMENTS MAPLE INC.
DRAFT PLAN OF CONDOMINIUM FILE 19CDM-19V005
VICINITY OF KEELE STREET AND BARRHILL ROAD**

FROM:

Jason Schmidt-Shoukri, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To seek approval from the Committee of the Whole to create the condominium tenure for the common elements (Attachment 4) of an approved semi-detached and townhouse development shown on Attachment 3.

Report Highlights

- The Owner has submitted a Draft Plan of Condominium (Common Elements) to establish the condominium tenure of privately owned and maintained (through a future Condominium Corporation) common elements for an approved semi-detached and townhouse development and the conversion of the existing heritage dwelling (William Bailey Residence) into a mixed-use building on the Subject Lands shown on Attachment 2.
- The Development Planning Department supports the approval of the Application as it conforms to the Official Plan, complies with Zoning By-law 1-88, as amended, and is consistent with the Council approved site plan.

Recommendations

1. THAT Draft Plan of Condominium (Common Elements) File 19CDM-19V005 (Pace Developments Maple Inc.) BE APPROVED, as shown on Attachment 4, subject to the Conditions of Draft Approval in Attachment 1.

Background

The subject lands (the ‘Subject Lands’) shown on Attachment 2 are located on the east side of Keele Street, south of Major Mackenzie Drive and are municipally known as 9869, 9873, 9877, 9881, 9885, 9887, 9889 and 9891 Keele Street and 1, 5, 9, 15, 19, 23, 27 and 31 Saint Julien Court. The surrounding land uses are shown on Attachment 2.

Previous Reports/Authority

[Official Plan and Zoning By-law Amendment, Draft Plan of Subdivision and Site Development Applications Council Extracts](#)

Analysis and Options

The Owner has submitted Draft Plan of Condominium (Common Element) File 19CDM-19V005 (the ‘Application’) shown on Attachment 4, to create the condominium tenure for the privately owned and maintained (through a future Condominium Corporation) common elements, that consist of the following:

- Private access roads
- Sidewalks, walkways, community mailbox(es) and amenity area
- 10 visitor/commercial parking spaces
- Privacy fencing/retaining wall

These common elements will service eleven 3-storey townhouse units, four 3-storey semi-detached units and the reuse of the existing heritage dwelling (William Bailey Residence) with a ground floor commercial use and a second storey residential unit on the Subject Lands, as shown on Attachment 3.

The Application conforms to Vaughan Official Plan 2010 (‘VOP 2010’) and complies with Zoning By-law 1-88

The Subject Lands are designated “Low-Rise Mixed-Use” and “Low-Rise Residential” by VOP 2010, subject to the Site-Specific Policies of Section 13.40, Volume 2, which permits the semi-detached and townhouse development. The Draft Plan of Condominium shown on Attachment 4 conforms to VOP 2010.

The Subject Lands are zoned “RT1 Residential Townhouse Zone” by Zoning By-law 1-88, subject to site-specific Exception 9(1194), which permits the development shown on Attachment 3.

The proposed Draft Plan of Condominium (Common Elements), as shown on Attachment 4, would establish a condominium tenure for a development that complies with Zoning By-law 1-88, as amended. As a condition of draft approval, the Owner must submit an “as-built” survey to the satisfaction of the Building Standards Department, prior to the registration of the final condominium plan.

The Draft Plan of Condominium is consistent with the approved Official Plan Amendment, Zoning By-law Amendment, Draft Plan of Subdivision and Site Development Applications

Vaughan Council on December 11, 2017, approved Official Plan Amendment File OP.15.009, Zoning By-law Amendment File Z.15.037, Draft Plan of Subdivision File 19T-15V015 and Site Development File DA.15.090 (Empire Pace (Maple) Ltd.) to permit a development which consists of one block for residential uses that includes eleven 3-storey townhouse units, four 3-storey semi-detached units and the conversion of the existing heritage dwelling (William Bailey Residence) into a mixed-use building with commercial space on the ground floor and a residential dwelling unit on the second floor, as shown on Attachment 3.

The Draft Plan of Condominium (Common Elements) as shown on Attachment 4 is required to create the common element tenure for the following elements:

- Private access roads
- Sidewalks, walkways, community mailbox(es) and amenity area
- 10 visitor/commercial parking spaces
- Privacy fencing/retaining wall

Access to the Subject Lands is provided from Keele Street, which connects to the condominium private access road. The proposed Draft Plan of Condominium (Common Elements) is consistent with the approved site plan shown on Attachment 3. The Owner will be required to submit a Part Lot Control application to lift the part lot control provisions of the *Planning Act, R.S.O. 1990, c. P.13* from the Subject Lands, in order to create conveyable freehold lots for the 11 townhouse units and 4 semi-detached units.

Snow Removal, Garbage and Recycling Collection will be privately administered

Snow removal and garbage and recycling collection will be privately administered and the responsibility of the condominium corporation. The Owner is required to prepare a waste collection plan for the development to the satisfaction of the Environmental Services Department. A condition to this effect is included as a condition in Attachment 1.

All utility providers and Canada Post have no objection to the Application

Bell Canada, Rogers Communications, Alectra Utilities, Enbridge Gas and Canada Post have no objection to the Application. The Owner is required to confirm that all required easements and rights-of-way for each utility have been granted to the appropriate authority. A condition to this effect is included in Attachment 1.

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

The York Region Community Planning and Development Services Department has no objection to the Draft Plan of Condominium (Common Elements) Application, subject to their condition of approval included in Attachment 1.

Conclusion

The Draft Plan of Condominium (Common Elements) File 19CDM-19V005 conforms to the Official Plan, complies with Zoning By-law 1-88, as amended, and is consistent with the Council approved Site Development File DA.15.090. Accordingly, the Development Planning Department can support the approval of the Draft Plan of Condominium (Common Elements) Application, subject to the conditions set out in Attachment 1.

For more information, please contact: Margaret Holyday, Senior Planner, at extension 8216.

Attachments

1. Conditions of Draft Approval
2. Location Map
3. Site Development File DA.15.090 Approved by Vaughan Council on December 11, 2017
4. Draft Plan of Condominium (Common Elements)

Prepared by

Margaret Holyday, Senior Planner, extension 8216

Nancy Tuckett, Senior Manager, extension 8529

Mauro Peverini, Director of Development Planning, extension 8407

/LG

ATTACHMENT NO. 1

CONDITIONS OF DRAFT APPROVAL

**DRAFT PLAN OF CONDOMINIUM (COMMON ELEMENTS)
FILE 19CDM-19V005 ('PLAN')
PACE DEVELOPMENTS MAPLE INC. ('OWNER')
BLOCK 1 ON 65M-4623, CITY OF VAUGHAN**

THE CONDITIONS OF THE COUNCIL OF THE CITY OF VAUGHAN THAT SHALL BE SATISFIED PRIOR TO THE RELEASE FOR REGISTRATION OF PLAN OF CONDOMINIUM (COMMON ELEMENTS) FILE 19CDM-19V005, ARE AS FOLLOWS:

City of Vaughan

1. The Plan shall relate to a Draft Plan of Condominium, prepared by R. Avis Surveying Inc., drawing File No. 2757-7DP1, dated May 1, 2019.
2. Prior to the execution of the Condominium Agreement, the Owner shall submit a preregistered Plan of Condominium to the Development Planning Department.
3. The Owner shall enter into a Condominium Agreement with the City of Vaughan and shall agree to satisfy any conditions that the City of Vaughan may consider necessary.
4. The following provisions shall be included in the Condominium Agreement:
 - a) The Owner and/or Condominium Corporation shall be responsible to regularly clean and maintain all driveway and rear-lot catch basins;
 - b) The Owner and/or Condominium Corporation shall be responsible for private garbage and recycling collection, snow removal and clearing;
 - c) The Owner and/or Condominium Corporation shall include the following clauses in the Condominium Declaration:
 - i) A clause, to the satisfaction of the Development Engineering Department, advising purchasers/tenants/lessees that the Servicing Plan includes foundation drainage for each townhouse unit to be

discharged via a sump pump installed in a sump pit below the basement level;

- ii) A clause advising purchasers/tenants/lessees that sound levels due to increasing road traffic may occasionally interfere with some activities of the dwelling unit occupants as the sound levels may exceed the Ministry of the Environment, Conservation and Parks ('MECP') noise criteria levels.
 - iii) The Owner shall identify the required Parts 13, 15 and 16 for servicing infrastructure considered to be common elements and/or for the exclusive use of the Condominium Corporation on the related Draft Plan of Condominium prior to the execution of the Condominium Agreement, and within the Condominium Declaration prior to the registration of the final Plan of Condominium, to the satisfaction of the City.
 - iv) A clause advising Purchasers/Tenants/Lessees for Parts 13, 15 and 16 on the Draft Plan of Condominium advising that subsurface infrastructure will be constructed on the (future) Parcels of Tied Land ("POTLs") pursuant to the Site Plan Agreement (File DA.15.090) and schedules thereto registered as instrument YR2910825 on December 17, 2018. The Condominium Declaration shall require the Condominium Corporation to maintain and manage the subsurface infrastructure and reserve a right of entry for the Condominium Corporation onto those POTLs to carry out such obligations.
- d) The Owner and/or Condominium Corporation shall supply, install and maintain mail equipment to the satisfaction of Canada Post.
- 5. The Condominium Agreement shall be registered on title against the lands to which it applies, at the cost of the Owner.
 - 6. Prior to final approval, the Owner shall submit an "as-built" survey to the satisfaction of the Building Standards Department.
 - 7. Prior to final approval, the Owner and their Solicitor and Land Surveyor shall confirm that all required easements and rights-of-way for utilities, drainage and construction purposes have been granted to the appropriate authorities.

8. Prior to final approval, the Owner shall confirm to the Development Planning Department that they have paid all outstanding taxes, development charges and levies, as may be required by the Financial Planning and Development Finance Department.

Canada Post

9. Prior to final approval, the Owner shall satisfy the following conditions of Canada Post:
 - a) The Owner will consult with Canada Post to determine suitable permanent locations for the placement of Community Mailboxes and to indicate these locations on appropriate servicing plans;
 - b) The Owner will confirm to Canada Post that the final secured permanent locations for the Community Mailboxes will not be in conflict with any other utility; including hydro transformers, bell pedestals, cable pedestals, flush to grade communication vaults, landscaping enhancements (tree planting) and bus pads;
 - c) The Owner will install concrete pads at each of the Community Mailbox locations and any required walkways across the boulevard and any required curb depressions for wheelchair access as required by Canada Post's concrete pad specification drawings;
 - d) The Owner will agree to prepare and maintain an area of compacted gravel to Canada Post's specifications to serve as a temporary Community Mailbox location. This location will be in a safe area away from construction activity in order that Community Mailboxes may be installed to service addresses that have occupied prior to the pouring of the permanent mailbox pads. This area will be required to be prepared a minimum of 30 days prior to the date of first occupancy;
 - e) The Owner will communicate to Canada Post the excavation date for the first foundation (or first phase) as well as the expected date of first occupancy; and
 - f) The Owner of any condominiums will be required to provide signature for a License to Occupy Land agreement and provide winter snow clearance

at the Community Mailbox locations.

Bell Canada

10. The Owner shall indicate in the Condominium Agreement, in words satisfactory to Bell Canada, that it will grant to Bell Canada any easements that may be required, which may include a blanket easement, for communication/telecommunication infrastructure. In the event of any conflict with existing Bell Canada facilities or easements, the Owner shall be responsible for the relocation of such facilities or easements.

York Region

York Region has no objection to draft plan approval of the Plan of Condominium subject to the following conditions:

11. Prior to final approval, the Owner shall provide confirmation that all of the conditions of the Site Plan Approval issued for the Subject lands on July 27, 2018, under Regional File No. SP.16.V.0229, have been satisfied.
12. Prior to final approval, the Owner shall execute all Regional Agreements and obtain all of the necessary permits required as part of the Site Plan Approval for the Subject Lands issued on July 27, 2018, under Regional File No. SP.16.V.0229.
13. Prior to final approval, the Owner shall confirm that all of the works within the Regional right-of-way have been completed to the satisfaction of York Region or that York Region holds sufficient securities to cover the cost of any outstanding works. Should there be insufficient security to cover the cost of the remaining works, the Owner shall arrange for the deposit of additional securities in the amount sufficient to cover the cost of all outstanding works.
14. Prior to final approval, the Owner shall provide confirmation that all Transfers of Obligations have been completed where Regional Agreements require responsibility to change from the Owner to the Condominium Corporation.

Clearances

15. The City of Vaughan Development Planning Department shall advise that Conditions 1 to 8 have been satisfied.

16. Canada Post shall advise the Development Planning Department in writing that Condition 9 has been satisfied.
17. Bell Canada shall advise the Development Planning Department in writing that Condition 10 has been satisfied.
18. York Region shall advise the Development Planning Department in writing that Conditions 11 to 14 have been satisfied.





Draft Plan of Condominium (Common Elements)

LOCATION:
Part of Lot 19 & 20, Concession 3

APPLICANT:
Pace Developments Maple Inc.



Attachment

FILE:
19CDM-19V005
RELATED FILE:
DA.15.090
DATE:
November 5, 2019

4

Committee of the Whole (1) Report

DATE: Tuesday, November 05, 2019

WARD: 2

**TITLE: SQUIRE DOWN INVESTMENTS LTD.
SITE DEVELOPMENT FILE DA.18.093
VICINITY OF LANGSTAFF ROAD AND HUNTINGTON ROAD**

FROM:

Jason Schmidt-Shoukri, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To seek approval from the Committee of the Whole for Site Development File DA.18.093 for the Subject Lands shown on Attachment 1, to permit the development of a one-storey employment building (warehouse) with accessory office uses having a total gross floor area of 9,780.42 m² as shown on Attachments 2 to 4.

Report Highlights

- The Owner seeks approval for a one-storey employment building (warehouse) with accessory office on the ground floor and mezzanine.
- The Development Planning Department supports the approval of the development, subject to the Recommendations of this report, as it conforms to the Vaughan Official Plan 2010, is a permitted use by Zoning By-law 1-88, and is compatible with the existing and planned uses in the surrounding area.

Recommendations

1. THAT Site Development File DA.18.093 (Squire Down Investments Ltd.) BE DRAFT APPROVED SUBJECT TO THE FOLLOWING CONDITIONS, to the satisfaction of the Development Planning Department, to permit the development of an employment building (warehouse) with accessory office uses, having a total Gross Floor Area of 9,780.42 m², as shown on the Attachments 2 to 4:

- a) That prior to the execution of the Letter of Undertaking:
- i) the Development Planning Department shall approve the final site plan, landscape plan, landscape cost estimate, building elevations, signage details and lighting plan;
 - ii) the Development Engineering Department shall approve the final grading, erosion and sediment control and site servicing plans, the functional servicing and stormwater management report and traffic impact brief;
 - iii) the Owner shall satisfy all requirements of the Environmental Services Department, Waste Management Division;
 - iv) the Owner fulfill all the conditions imposed by the Committee of Adjustment for approved Minor Variance File A098/18;
 - v) the Owner shall satisfy all requirements of the Toronto and Region Conservation Authority; and
 - vi) the Owner shall satisfy all requirements of the Ministry of Transportation.

Background

The 1.85 ha subject lands (the 'Subject Lands') are located on the south side of Keyes Court, east of Huntington Road, municipally known as 51 Keyes Court, as shown on Attachment 1.

Vaughan Council on June 12, 2019, approved the adjacent employment buildings as part of the same Site Development File DA.18.093 for the lands municipally known as 21, 31 and 41 Keyes Court as shown on Attachment 1.

A Site Development application has been submitted to permit the Development

The Owner has submitted Site Development File DA.18.093 (the 'Application') to permit an employment building (warehouse) with accessory office uses having a total Gross Floor Area ('GFA') of 9,780.42 m² (the 'Development') , as shown on Attachments 2 to 4.

Previous Reports/Authority

[Site Development Council Extracts for 21, 31 & 41 Keyes Court](#)

Analysis and Options

The Development is consistent with the Provincial Policy Statement, 2014

In accordance with Section 3 of the *Planning Act*, all land use decisions in Ontario shall be consistent with the *Provincial Policy Statement, 2014* (the 'PPS'). The PPS provides policy direction on matters of provincial interest related to land use planning and development. The PPS is applied province-wide and provides for appropriate development while ensuring public health and safety, and the quality of the natural and built environment are protected.

Section 1.3.1 - Employment of PPS encourages planning authorities to promote economic development and competitiveness by:

- “a. providing for an appropriate mix and range of employment and institutional uses to meet long-term needs;
- b. providing opportunities for a diversified economic base, including maintaining a range and choice of suitable sites for employment uses which support a wide range of economic activities and ancillary uses, and take into account the needs of existing and future businesses;
- d. ensuring the necessary infrastructure is provided to support current and projected needs.”

The Development utilizes a vacant lot for an employment use within an existing business park. The Development complements and is compatible with the existing and planned uses within the business park and provides flexibility and diversified employment opportunities to help meet the City's long-term employment needs. Additionally, the Subject Lands are located in an area where servicing and infrastructure are available to serve the Development. In consideration of the above, the Development is consistent with the PPS.

The Development conforms to A Place to Grow: Growth Plan for the Greater Golden Horseshoe 2019

A Place to Grow: Growth Plan for the Greater Golden Horseshoe 2019 (the 'Growth Plan') is intended to guide decision making on the development of land by encouraging compact built form, transit supportive communities, diverse land uses, a range and mix

of housing types. The Growth Plan encourages population and employment growth within settlement areas and promotes making more efficient use of existing employment area and vacant and underutilized employment lands and increasing employment densities while ensuring that there are connections to municipal water and waste water systems.

The Subject Lands are located within a Settlement Area identified as a built-up area that contributes to providing employment lands. Specifically, the Subject Lands are vacant and located within an employment area (the Huntington Business Park) located near Huntington Road and Langstaff Road. The Development is for an employment use within a Settlement Area where municipal water and wastewater services are available and add to the completion of the surrounding business park. Therefore, the Development conforms to the Growth Plan.

The Development conforms to the York Region Official Plan 2010

The York Region Official Plan 2010 ('YROP 2010') guides economic, environmental and community building decisions across York Region and encourages compact built form, transit supportive communities, diverse land uses, and a range and mix of housing types.

The Subject Lands are designated "Urban Area" on Map 1 - "Regional Structure" of YROP 2010. The "Urban Area" designation permits a range of residential, industrial, commercial and institutional uses. YROP 2010 encourages maintaining the economic viability of employment lands, which are contingent upon its long-term protection, effective planning and design, and a shift toward increasingly sustainable and innovative industrial processes.

The Subject Lands are located within an employment area and will efficiently utilize existing vacant lands and maintain the planned employment use for the property. The Application conforms to the policies of the YROP.

The Development conforms to Vaughan Official Plan 2010

The Subject Lands are designated "General Employment" and "Infrastructure and Utilities" by the Vaughan Official Plan 2010 ('VOP 2010'), Volume 2, Section 12.12 Huntington Business Park, and are located within the "Employment Areas" designation shown on Schedule 1 - Urban Structure of VOP 2010.

The "General Employment" designation permits a full range of employment uses including the proposed warehouse building with the additional permission of outdoor storage in accordance with the provisions of Zoning By-law 1-88. Office and retail uses

accessory to and directly associated with the warehouse use is permitted on the Subject Lands.

Schedule 13 and Map 12.12.A of VOP 2010 identifies a portion of the Subject Lands as also being designated “Infrastructure and Utilities” however, Vaughan Council on June 25, 2013, approved the Huntington Business Park Block Plan which identifies the Subject Lands as “Employment Area General”. In addition, Section 10.2.1.6 of VOP 2010 Volume 1 states that “it is intended that the extent of the various land use designations be established through the Block Plan process. The detailed boundaries would be reflected in the approved subdivision plans and zoning by-law.” The approved block plan and Draft Plan of Subdivision and Zoning By-law 1-88 reflect the “General Employment” designation and “EM2 General Employment” Zone.

The Development respects the design criteria in accordance with Section 9.1.2.8 a) through h) of VOP 2010, which states (in part) that:

New development shall be designed to:

- limit surface parking between the front face of a building and the public street and parking areas to main building entrances
- buffer and screen any surface parking areas from all property lines through the use of setbacks and landscaping
- buffer and screen any outdoor storage areas, where permitted, through the use of setbacks, landscaping and fencing

The surface parking area is distributed surrounding the building as shown on Attachment 2. Parking in the front of the building is limited and is located west of the main entrance closest to the office abutting Keyes Court.

The proposed Development conforms to the policies of VOP 2010.

The Development complies with Zoning By-law 1-88

The Subject Lands are zoned “EM2 General Employment” by Zoning By-law 1-88, as shown on Attachment 2, and are subject to site-specific Exception 9(1294) and an approved Committee of Adjustment Minor Variance Application (File A098/18), which permits the proposed employment and accessory office uses.

The Committee of Adjustment approval Minor Variance Application A098/18 for relief from Zoning By-law 1-88 to reduce the 7.5 m landscape strip abutting an OS1 Open Space Conservation Zone at the rear of the Subject Lands to 5m. Approval was granted subject to the Owner successfully obtaining a permit from the Toronto Region Conservation Authority ('TRCA') pursuant to Ontario Regulation 166/06. A condition to this effect is included in the Recommendations of this report.

The Development Planning Department supports the Development, subject to the Recommendations in this Report

Site Plan

The Development is for an employment building (warehouse) as shown on Attachments 2 to 4, which contains accessory office uses with the following GFA:

Warehouse Ground Floor	8,588.3 m ²
Office Ground Floor	96.06 m ² +
<u>Mezzanine (6.7% of Ground Floor)</u>	<u>596.06 m²</u>
Total	9,780.42m ²

The Subject Lands have frontage onto Keyes Court, with the building entrances and office area situated across this frontage. Loading and dock facilities are located at the east side of the building and screened from view by the building.

Landscape Plan

The landscape plan is shown on Attachment 3 includes 3 m and 5 m wide landscape strips abutting Keyes Court and the OS1 Open Space Conservation Zone lands respectively, that contain a variety of deciduous, coniferous trees and shrubs.

Building Elevations

The building elevations are shown on Attachment 4 and incorporate glazing, spandrel glazing and architectural precast panels with ribbed and smooth accent band design.

The final site plan, building elevations, landscape plan and cost estimate and lighting plan must be approved to the satisfaction of the City prior to the execution of each Letter of Undertaking. A condition to this effect is included in the Recommendations of this report.

The Subject Lands have been cleared of archaeological concerns

The Subject Lands are not designated under the *Ontario Heritage Act*, are not included in the Register of Property of Cultural Heritage Value and are not noted as property of

interest to Cultural Heritage Division, in the City of Vaughan's Heritage Inventory. Therefore, there are no cultural heritage concerns regarding the Subject Lands.

The Subject Lands are however located in an area identified as a being of high archaeological potential in the City's database of archaeological resources. The Subject Lands have been previously cleared of archaeological concern. The Owner is advised that the following clauses will be included in the Letter of Undertaking:

- i) "Should archaeological resources be found on the property during construction activities, all work must cease and both the Ontario Ministry of Tourism, Culture and Sport, the City of Vaughan's Policy Planning and Urban Design and Recreation and Culture Departments shall be notified immediately."
- ii) "In the event that human remains are encountered during construction activities, the Owner must immediately cease all construction activities and shall contact the York Regional Police Department, the Regional Coroner and the Registrar of Cemeteries at the Ministry of Consumer Services."

The Parks Planning Department has no objection to the Development

The Parks Planning Department has reviewed the Application and has no comments.

Cash-in-Lieu of the dedication of parkland is not required

The Real Estate Department and the Parks Planning Department have confirmed that cash-in-lieu of the dedication of parkland is not required as this requirement was previously satisfied through Registered Plan 65M-4578 (Draft Plan of Subdivision File 19T-06V01).

The Environmental Services Department, Solid Waste Management Division has no objection to the Development, subject to conditions

The Environmental Services Department, Solid Waste Management Division has no objection the Development. Prior to final approval, the Owner must provide the location and dimensions for the waste storage room, show staging of bins in the waste storage room, show roll up door, man door and provide a concrete loading pad to the satisfaction of the Environmental Services Department, Solid Waste Division. A condition to this effect is included in the Recommendations of this report.

The Development Engineering Department has no objection to the Development, subject to conditions

The Development Engineering ('DE') Department has no objection to the Development subject to the conditions in the Recommendations of this report.

The DE Department advises that the Owner is required to contact the Environmental Services Department to purchase the required water meter(s). The meter shall be installed with sufficient read-out equipment, to the satisfaction of the City.

The Forestry Operations Division has no objection to the Development

The Forestry Operations Division of the Transportation Services, Parks and Forestry Operations Department has indicated that they have no concerns with the Development as there is no significant vegetation that would warrant the need for arborist works and tree removals or protection pursuant to the City's Tree Protection By-law.

Development Charges are applicable to the Development

The Financial Planning and Development Finance Department requires that the Owner pay all applicable development charges, in accordance with the Development Charges By-laws of the City of Vaughan, York Region, York District School Board and York Catholic District School Board.

The Toronto and Region Conservation Authority has no objection to the Development, subject to the conditions in this report

The Subject Lands are partially located within TRCA's Regulated Area of the Humber River Watershed. A Permit pursuant to Ontario Regulation 166/06 (Application for Development, Interference with Wetlands and Alterations to Shorelines and Watercourses) is required to facilitate the Development, related to work within TRCA's Regulated Area. A condition to this effect is included in the Recommendations of this report.

Ministry of Transportation Ontario ('MTO') permit are required

The Subject Lands are located in a proposed Highway 427 expansion corridor and must receive approval from MTO before commencing development on this area of Keyes Court. The Owner is required to obtain an MTO Sign Permit and an MTO Building and Land Use Permit prior to the commencement of any on-site works. A condition to address MTO's requirements is included in the Recommendations of this report.

The various utilities have no objection to the Development

Hydro One, Enbridge Gas, Alectra Utilities Corporation, Bell Canada and Rogers Communications Inc. have no objection to the Development, subject to the Owner

coordinating servicing, connections, easements and locates with the above noted utilities prior to the commencement of any site works.

Financial Impact

Not applicable.

Broader Regional Impacts/Considerations

York Region advises they have no objection to the Development.

Conclusion

The Development Planning Department has reviewed Site Development File DA.18.093 in consideration of the applicable provincial policies, the policies of the YROP 2010, VOP 2010, the requirements of Zoning By-law 1-88, comments from City Departments, external public agencies and the surrounding area context. The Development shown on Attachments 2 to 4 is consistent with the Provincial Policy, conforms to the YROP 2010 and VOP 2010, complies with the “EM2 General Employment Zone” of Zoning By-law 1-88 and is appropriate for the Subject Lands. Should Council approve Site Development File DA.18.093, conditions of approval are included in the Recommendations of this report.

For more information, please contact: Margaret Holyday, Senior Planner, Development Planning Department, Extension 8216.

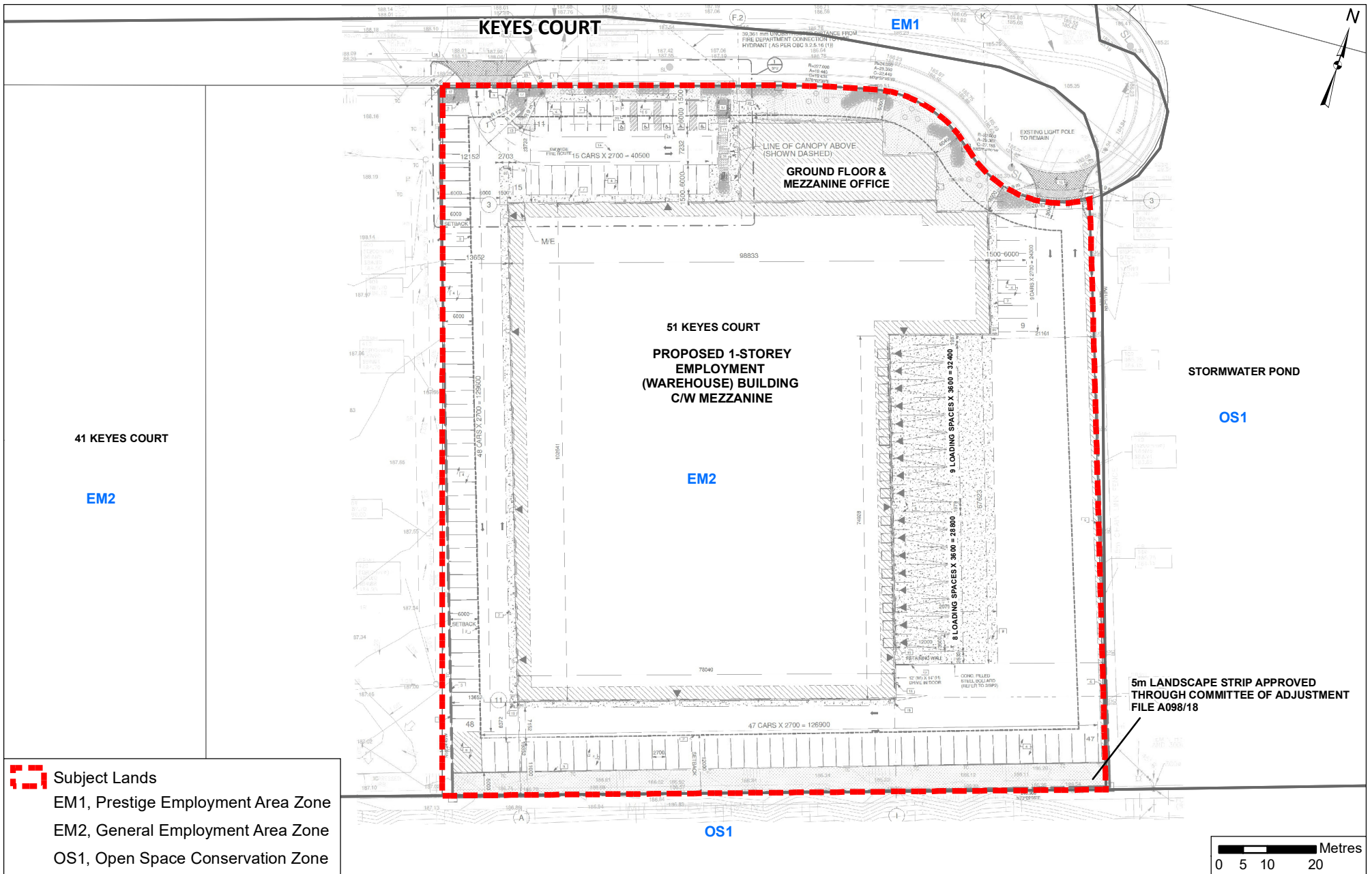
Attachments

1. Location Map
2. Site Plan and Zoning - 51 Keyes Court
3. Landscape Plan - 51 Keyes Court
4. Building Elevations - 51 Keyes Court

Prepared by

Margaret Holyday, Senior Planner, ext. 8216
Carmela Marrelli, Senior Manager of Development Planning, ext. 8791
Mauro Peverini, Director of Development Planning, ext. 8407

/LG



Site Plan and Zoning - 51 Keyes Court

LOCATION:
Part of Lot 10, Concession 9

APPLICANT:
Squire Down Investments Ltd.

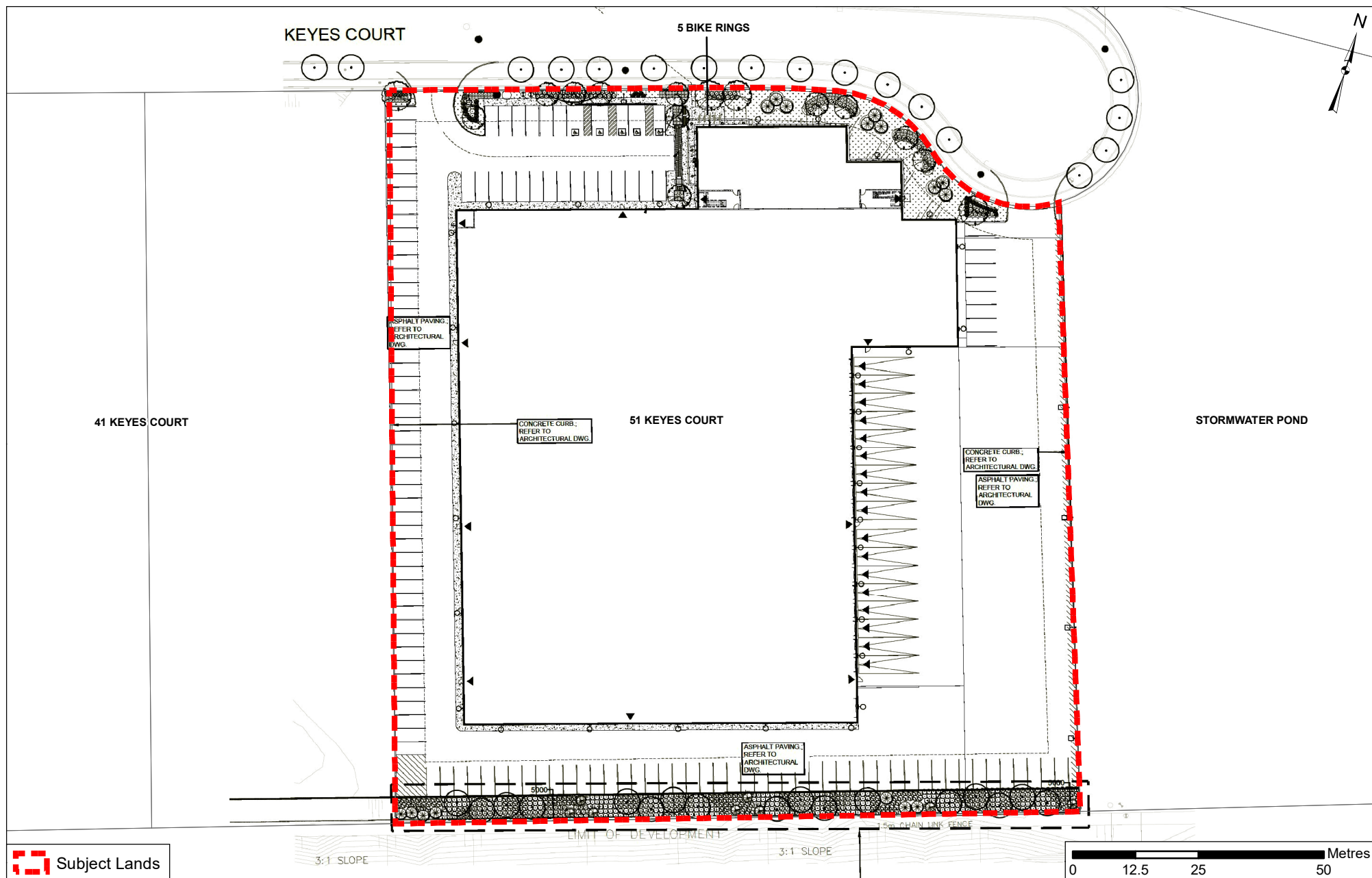


151

Attachment

FILE: DA.18.093
RELATED FILES:
 Z.13.029 & 19T-06V01
DATE:
 November 5, 2019

2



Landscape Plan - 51 Keyes Court

LOCATION:
Part of Lot 10, Concession 9

APPLICANT:
Squire Down Investments Ltd.



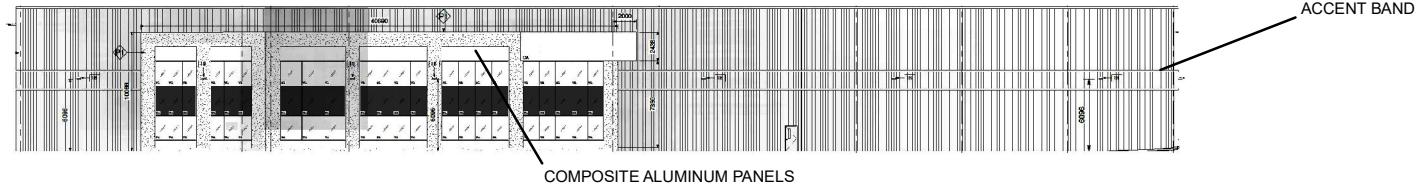
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Attachment

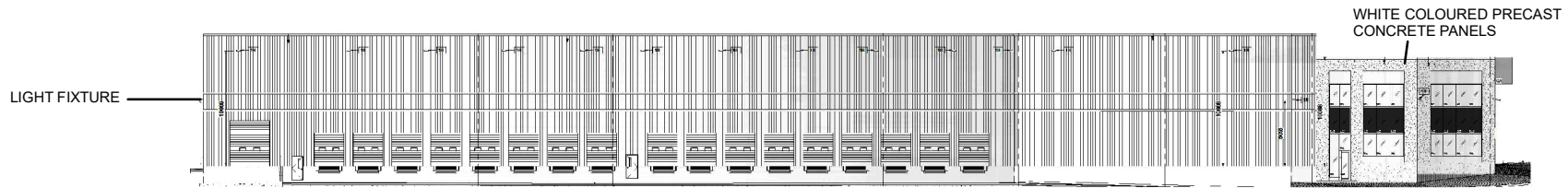
FILE: DA.18.093
RELATED FILES:
Z.13.029 & 19T-06V01

DATE:
November 5, 2019

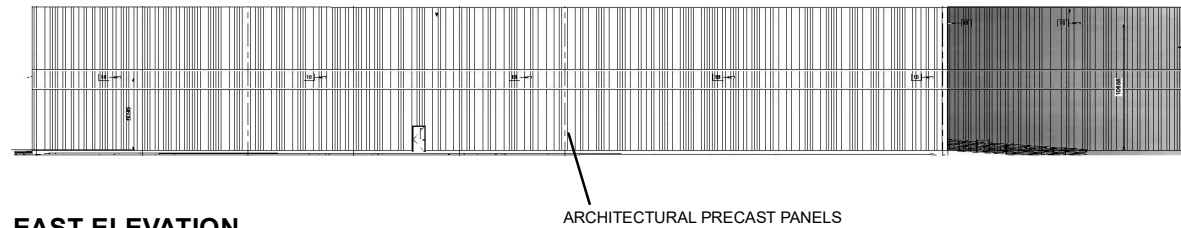
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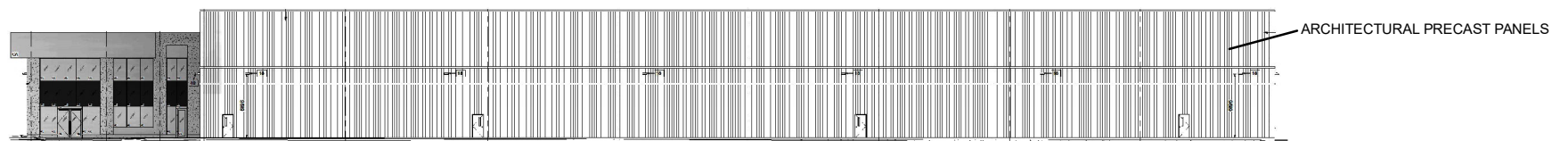
NORTH ELEVATION (FACING KEYES COURT)



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

Not to Scale

Building Elevations - 51 Keyes Court

LOCATION:
Part of Lot 10, Concession 9

APPLICANT:
Squire Down Investments Ltd.



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Development Planning

FILE: DA.18.093
RELATED FILES:
Z.13.029 & 19T-06V01
DATE:
November 5, 2019

4

Committee of the Whole (1) Report

DATE: Tuesday, November 05, 2019

WARD(S): 4

**TITLE: EXTENSION OF BASS PRO MILLS DRIVE FROM ROMINA
DRIVE TO JANE STREET**

FROM:

Nick Spensieri, Deputy City Manager, Infrastructure Development

ACTION: DECISION

Purpose

To seek Council approval to enact the necessary by-laws to dedicate the required lands for the Bass Pro Mills Drive extension from Romina Drive to Jane Street as a public highway and to provide an update on the status of the project.

Report Highlights

- To expedite the construction of the Bass Pro Mills Drive from Romina Drive to Jane Street, the lands required to construct the extension were acquired by the City in February 2019.
- Construction of the road extension commenced in early August 2019 and the road is scheduled to be open to traffic by the end of November 2019.
- The extension of Bass Pro Mills Drive from Romina Drive to Jane Street aligns with the Term of Council Strategic Priority: Transportation and Mobility, by improving the local road network.
- Necessary By-laws need to be enacted to dedicate Bass Pro Mills Drive from Romina Drive to Jane Street as a public highway.

Recommendations

1. That a By-law be enacted to dedicate the required lands for Bass Pro Mills Drive extension from Romina Drive to Jane Street as public highway.

2. That a By-law be enacted to amend By-law 284-94, the Consolidated Traffic By-law to designate Bass Pro Mills Drive from Edgeley Boulevard to Jane Street as a through street.
3. That a By-law be enacted to amend By-law 064-2019, the Consolidated Parking By-law to prohibit stopping on both sides of Bass Pro Mills Drive from Romina Drive to Jane Street.

Background

The extension of Bass Pro Mills Drive is a key initiative which aligns with the Service Excellence Strategic Plan to expand and extend the existing transportation network to improve mobility and support growth and development.

The lands required to construct the extension were remediated and Records of Site Condition was filed with the MOECC to the satisfaction of the City. Subsequently these lands were acquired by the City on February 13, 2019 allowing the City to move forward with the implementation of the extension.

The City issued the tender for the construction of the road extension on May 18, 2019 and the tender closed on June 24, 2019. The Contract was awarded to the lowest compliant bidder, Dom-Meridian Construction on July 19, 2019. Construction of the road extension commenced in early August and the road is scheduled to be opened to traffic by the end of November 2019.

Previous Reports/Authority

N/A

Analysis and Options

The Road extension is consistent with the recommendations of the Vaughan Official Plan 2010 and the Vaughan Mills Centre Secondary Plan.

The extension of Bass Pro Mills Drive from Romina Drive to connect with Jane Street is an important road network improvement that is identified in the Vaughan Official Plan. According to the Plan, the extension needs to be implemented within the 2021 plan horizon to support future growth and development in the area.

The extension of this Major Collector Road will provide direct access from Jane Street to the partial interchange at Bass Pro Mills Drive with northbound off and southbound on ramps to Highway 400. This connection will further expand and improve the municipal road network.

This is an important first step towards the ultimate extension of Bass Pro Mills Drive to connect with Weston Road to the west in accordance with recommendations in the Vaughan Official Plan and will provide an important east-west connection from Weston Road to Jane Street. The Municipal Class EA study for the future extension of Bass Pro Mills Drive to Weston Road is being initiated in 2020.

A By-law needs to be enacted to dedicate the lands for the Bass Pro Mills Drive extension from Romina Drive to Jane Street as a public highway

To allow the new road extension to be opened to the public, by-law needs to be enacted to dedicate Parts 2, 5,7, 12, 13, 25, 26, 27, 33, 46 & 47 on Plan 65R-37617 as a public highway under the Municipal Act. (Attachment No. 1)

A By-law needs to be enacted to amend By-law 284-94, the Consolidated Traffic By-law to designate Bass Pro Mills Drive from Edgeley Boulevard to Jane Street as a through street.

This by-law amendment will facilitate the installation of stop controls at the intersection of Romina Drive and Bass Pro Mills Drive, which currently is not stop controlled. (Attachment No. 2)

A By-law needs to be enacted to amend By-law 064-2019, the Consolidated Parking by-law to prohibit stopping on both sides of Bass Pro Mills Drive from Romina Drive to Jane Street.

Transportation and Fleet Management Services were consulted to review a no stopping prohibition on the Bass Pro Mills Drive extension. Based on their review, a no stopping prohibition is recommended on both side of the road for the proposed road extension between Romina Drive and Jane Street intersection (Attachment #3)

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

The Bass Pro Mills Drive and Jane Street intersection falls under the jurisdiction of the Regional Municipality of York. As such, the Region was consulted and provided approvals for the intersection improvement work.

Conclusion

The extension of the Bass Pro Mills Drive from Romina Drive to Jane Street aligns with the Term of Council Strategic Priority: Transportation and Mobility, by improving the local road network. In order for the Bass Pro Mills Drive extension to be opened to the public, the necessary by-laws need to be enacted.

For more information, please contact: Jack Graziosi, Director of Infrastructure Delivery, extension 8201

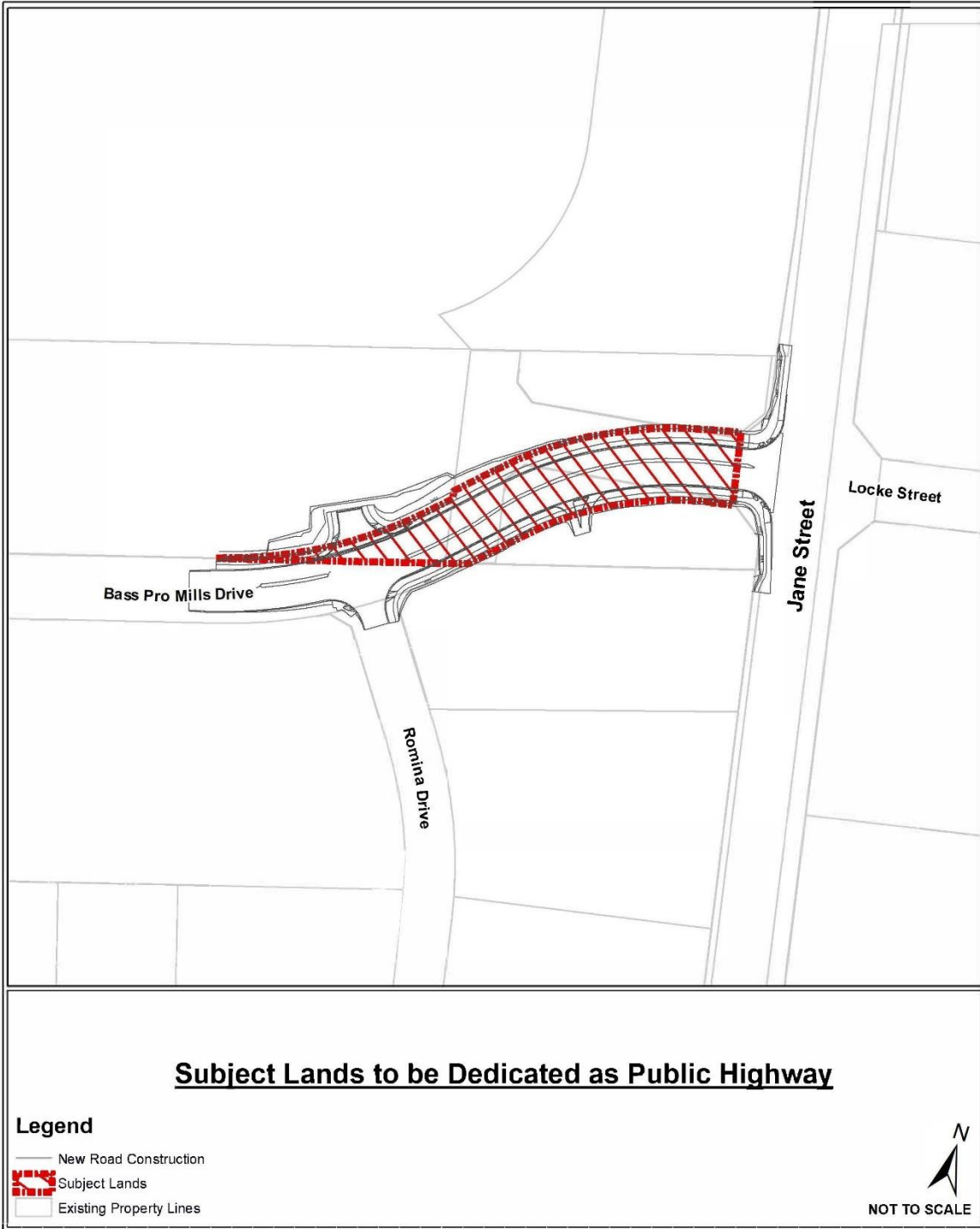
Attachments

1. Location sketch illustrating the general location of the portion of Bass Pro Mills Drive to be dedicated as Public Highway and draft By-law for the purpose of dedicating various parts of Bass Pro Mills Drive as Public Highway
2. Location sketch illustrating the proposed stop controls at Romina Drive and future extension of Romina Drive and associated draft By-law to amend By-law 284-94, the Consolidated Traffic By-law to designate Bass Pro Mills Drive from Edgeley Boulevard to Jane Street as a through street.
3. Location sketch illustrating the limits of proposed no stopping prohibition and the associated draft By-law to amend By-law 064-2019, the Consolidated Parking By-law to prohibit stopping on both sides of Bass Pro Mills Drive from Romina Drive to Jane Street.

Prepared by

John Thompson, Project Manager, Design and Construction, ext. 8193
Mohan Toor, Manager, Design and Construction (Growth), ext. 8144

ATTACHMENT 1



CITY OF VAUGHAN - INFRASTRUCTURE DELIVERY

DRAFTSPERSON: I.D.

THE CITY OF VAUGHAN

BY-LAW

BY-LAW NUMBER XXX-2019

A By-law to dedicate certain lands as part of the public highway.

The Council of the Corporation of the City of Vaughan ENACTS AS FOLLOWS:

1. THAT the lands, which are situate in the City of Vaughan, in the Regional Municipality of York, designated as Parts 2, 5, 7, 12, 13, 25, 26, 27, 33, 46 and 47 on Reference Plan 65R-37617, registered in the Land Registry Office for the Land Titles Division of York Region (No. 65), be and they are hereby dedicated as part of the public highway known as “Bass Pro Mills Drive”.

Enacted by City of Vaughan Council this XXth day of (Month), 2019.

Hon. Maurizio Bevilacqua, Mayor

Todd Coles, City Clerk

Authorized by Item No. ____ of Report No. ____
of the Committee _____
Adopted by Vaughan City Council on

OR

Authorized by By-law 005-2018 being a By-law
to authorize delegation of approval of certain
administrative matters to Staff.
Adopted by Vaughan City Council on
January 30, 2018.

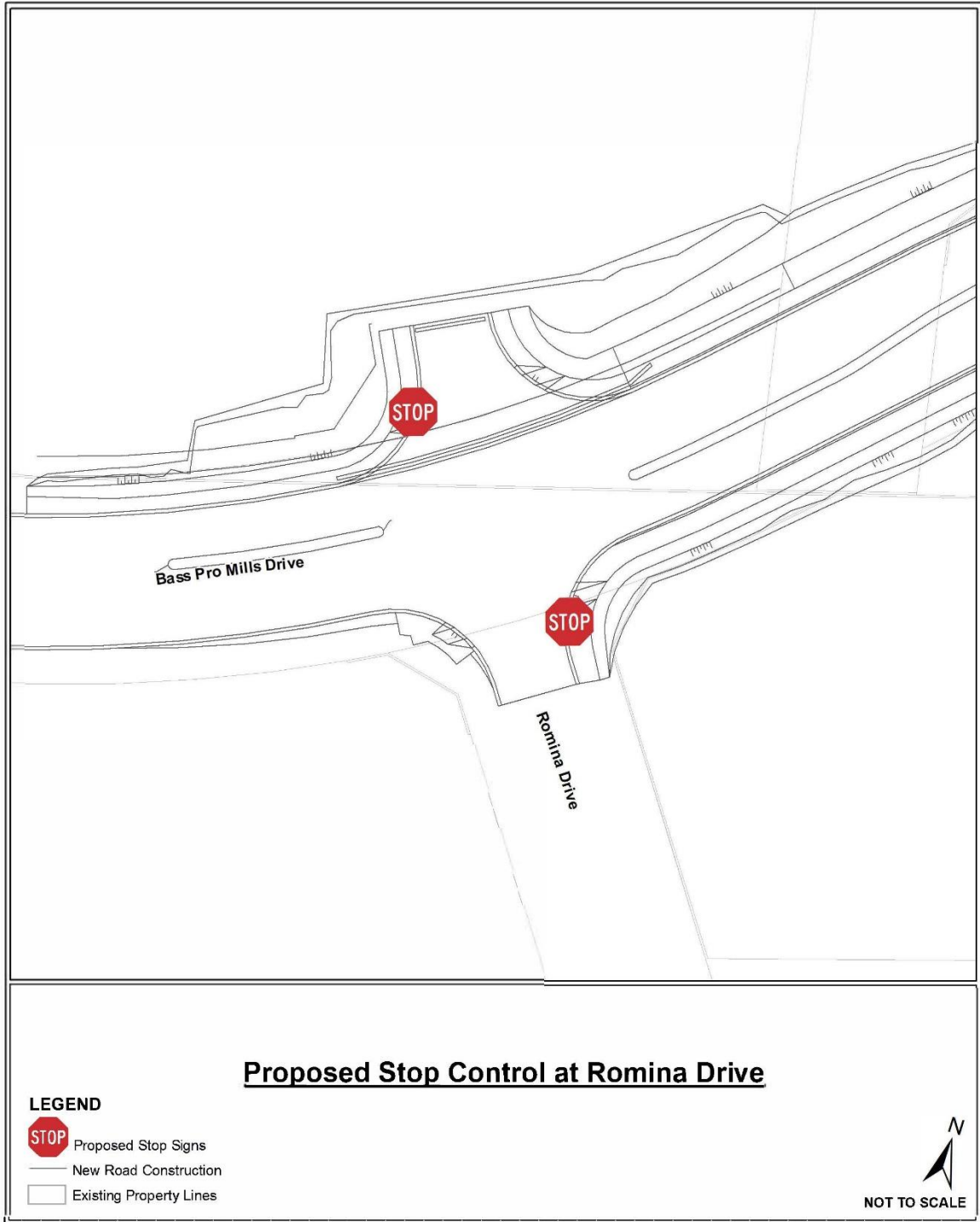
OR

Authorized by By-law 332-98 being a By-law to
authorize the execution of documents of an
administrative nature by staff and/or the Mayor
and Clerk, the authorization for certain matters
during the hiatus of Council.
Adopted by Vaughan City Council on
September 28, 1998.

OR

In other circumstances, please consult either the City Clerk or the Director of Legal Services for an appropriate form.

ATTACHMENT 2



THE CITY OF VAUGHAN

BY-LAW

BY-LAW NUMBER XXX-2019

A By-law to amend the Consolidated Traffic By-law 284-94, as amended, to govern and control traffic in the City of Vaughan.

The Council of the Corporation of the City of Vaughan ENACTS AS FOLLOWS:

1. THAT City of Vaughan By-law 284-94, as amended, be and is hereby further amended by adding the following provision to Schedule “B”, Part 1:

<u>STREET NAME</u>	<u>FROM</u>	<u>TO</u>
Bass Pro Mills Drive	Edgeley Boulevard (Eastern Limit)	Jane Street (Western Limit)

Enacted by City of Vaughan Council this XXth day of (Month), 2019.

Hon. Maurizio Bevilacqua, Mayor

Todd Coles, City Clerk

Authorized by Item No. ____ of Report No. ____
of the Committee _____
Adopted by Vaughan City Council on

OR
Authorized by By-law 005-2018 being a By-law
to authorize delegation of approval of certain
administrative matters to Staff.
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OR
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authorize the execution of documents of an
administrative nature by staff and/or the Mayor
and Clerk, the authorization for certain matters
during the hiatus of Council.
Adopted by Vaughan City Council on
September 28, 1998.




OR
In other circumstances, please consult either the City Clerk or the Director of Legal Services for an
appropriate form.

ATTACHMENT 3



Proposed No Stopping Limits on Bass Pro Mills Drive Extension

LEGEND

-  Proposed Stop Signs
-  Proposed No Stopping Signs
-  New Road Construction
-  Existing Property Lines



NOT TO SCALE

CITY OF VAUGHAN - INFRASTRUCTURE DELIVERY

DRAFTSPERSON: I.D.

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THE CITY OF VAUGHAN

BY-LAW

BY-LAW NUMBER XXX-2019

A By-law to amend Parking By-law No. 064-2019, as amended, to introduce parking restrictions on Bass Pro Mills Drive.

The Council of the Corporation of the City of Vaughan ENACTS AS FOLLOWS:

1. THAT City of Vaughan By-law 064-2019, as amended, be and is hereby further amended by adding the following provision to Schedule “A”, Part 3, no stopping:

<u>HIGHWAY</u>	<u>SIDE</u>	<u>FROM AND TO</u>	<u>PROHIBITED TIME OF DAY</u>
Bass Pro Mills Drive	North & South	From east limit of Romina Drive to west limit of Jane Street	Anytime

Enacted by City of Vaughan Council this XXth day of (Month), 2019.

Hon. Maurizio Bevilacqua, Mayor

Todd Coles, City Clerk

Authorized by Item No. ____ of Report No. ____
of the Committee _____
Adopted by Vaughan City Council on

OR
Authorized by By-law 005-2018 being a By-law
to authorize delegation of approval of certain
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Adopted by Vaughan City Council on
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OR
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authorize the execution of documents of an
administrative nature by staff and/or the Mayor
and Clerk, the authorization for certain matters
during the hiatus of Council.
Adopted by Vaughan City Council on
September 28, 1998.

OR
In other circumstances, please consult either the City Clerk or the Director of Legal Services for an
appropriate form.

Committee of the Whole Report (1)

DATE: Tuesday, November 05, 2019

WARD(S): ALL

TITLE: METROLINX ACTIVITIES UPDATE – FALL 2019

FROM:

Nick Spensieri, Deputy City Manager, Infrastructure Development

ACTION: FOR INFORMATION

Purpose

To provide a status overview of recent Metrolinx activities in the City of Vaughan related to Metrolinx's GO Expansion project, 2041 Regional Transportation Plan, and Yonge Subway Extension.

Report Highlights

- The Rutherford Road Grade Separation and GO Station expansion work has begun and proceeding on schedule
- Staff are working with Metrolinx to plan and implement Maple GO Station improvements
- The Block 27 Landowner's Group submitted their Expression of Interest for the implementation of the proposed Kirby GO Station
- The Concord GO Centre Mobility Hub Study and Transportation Master Plan are proceeding on schedule
- The McNaughton Grade Separation at Barrie GO rail requires an addendum to the 2017 GO Rail Network Electrification TPAP
- As part of the 2041 Regional Transportation Plan (2041 RTP) work, the 2011 Mobility Hub Guidelines and 2016 GO Rail Station Access Plan will be updated
- The approval of Bill 107 in June 2019 made rapid transit expansion projects, including Yonge Subway Extension, the sole responsibility of Metrolinx

Recommendations

1. That Council receive this report for information.

Background

The Rutherford Road Grade Separation and GO Station improvements are proceeding with support from City Staff

The Rutherford Road Grade Separation and GO Station improvements are proceeding on schedule. Temporary works such as construction of detour road began in Summer 2019 and major construction work is anticipated to begin in Fall 2019.

Staff are continuing to work with Metrolinx to deliver additional pedestrian and cycling access points to Maple GO station

The implementation of additional pedestrian and cycling access points is an important step to reducing the number of commuters currently driving and parking at this station, which is a major source of congestion on the area road network during peak hours. Additional pedestrian and cycling connections that staff are currently working with Metrolinx to deliver include a pedestrian bridge over Major Mackenzie Drive and a pedestrian access connection from the adjacent neighborhood. Public consultation and engagement are anticipated to begin in Fall 2019 by Metrolinx's communication team.

Block 27 Landowner's Group submitted their Expression of Interest for the implementation of the proposed Kirby GO station on July 19, 2019 to Metrolinx

The Landowner's Group letter is an important milestone in fulfilling the requirements of Metrolinx's Transit-Oriented Development strategy, which defines the principles that allows for the future delivery of the Kirby GO Station. Metrolinx and the Block 27 Landowner's Group are to meet to review the Kirby GO Station principles and possible requirements for the planning and delivery of the project.

The Concord GO Centre Mobility Hub Study and Transportation Master Plan are on schedule

Both studies will be jointly soliciting public feedback to assist with identifying the future transportation network and land use needs of the area. A public open house is scheduled for November 12, 2019. As the potential Concord GO Station does not currently have an approved Metrolinx Business Case, the results from the Mobility Hub Study and Transportation Master Plan may provide updated information to potentially initiate a request for Metrolinx to update to their Business Case.

Metrolinx is working internally to deliver the required noise walls for the Barrie Rail Corridor Expansion

Metrolinx's Corridor Expansion project team will be responsible for construction of noise walls between Rutherford Road and McNaughton Road. The construction of these walls was originally identified within the station work contract. Metrolinx have removed the noise walls from the station construction and will undertake a separate project. Additional details, including whether a missing section of noise wall along Ridgefield Crescent and Marlott Road is to be constructed, have not yet been provided by Metrolinx. Therefore, the City has been actively monitoring the condition of the wall and ensuring pedestrian access is restricted by maintaining temporary metal fences along the corridor. The City will be repairing damaged or fallen fences along this corridor prior to winter through a tender that is in the process of award. Currently, there are approximately 100 Fence Posts to be repaired and 162 Fence Panels to be repaired.

Additional improvements are necessary to enable the GO expansion service levels which will require an additional Environmental Assessment under the Transit Project Assessment Process (TPAP)

Metrolinx has identified addition infrastructure improvement to support the Barrie Go expansion. These improvements will require a new TPAP include areas of proposed new tracks, five new layover and storage facilities, and new track and facilities to be electrified. An addendum to the 2017 GO Rail Network Electrification TPAP will be undertaken in parallel, which includes the assessment of the McNaughton Road/ GO rail grade separation in Vaughan. The first Public Meeting is anticipated to be in Fall 2019, Notice of Commencement is anticipated to be issued in Q1 2020 and Statement of Completion by end of Q3 2020.

A set of key performance indicators (KPIs) to facilitate monitoring and reporting program for the 2041 Regional Transportation Plan are being developed

Metrolinx has embarked on an initiative to capture Key Performance Indicators (KPIs) to aid in monitoring and reporting the 2041 Regional Transportation Plan. The development of KPIs included a review by municipalities (including Vaughan), a jurisdictional scan was completed, internal project workshops were undertaken as part of Metrolinx consultation strategy. The set of draft KPIs are currently undergoing external consultation involving other agencies, Regions, and local municipalities. The set of KPIs are being finalized through Summer 2019 and the RTP Monitoring Report is anticipated to be completed in Winter-Spring 2020. As part of the 2041 RTP work, access improvements at all GO rail stations across the network are also being considered. As such, the 2011 Mobility Hub Guidelines and 2016 GO Rail Station Access Plan will be updated to align with recently updated planning framework including the new Frequent Rapid Transit Network, Growth Plan and Metrolinx's Transit Oriented

Development Program. The first workshop soliciting Municipal input was held on June 24, 2019.

Bill 107, the *Get Ontario Moving Act* received Royal Assent in June 2019, making rapid transit expansion projects as the sole responsibility of Metrolinx

The approval of Bill 107 enables the Province of Ontario to prescribe, through regulation, the design, development and construction of a rapid transit expansion project as the sole responsibility of Metrolinx. Bill 107 leads to the making of *Ontario Regulation 248/19* under the *Metrolinx Act, 2006*, also known as “*Interim Measures - Upload of Rapid Transit Projects*”. *Ontario Regulation 248/19* came into effect on July 23, 2019, which prescribes the Yonge Subway Extension (YSE) project as the sole responsibility of Metrolinx. The change in legislation also leads to the review of the governance for the YSE project.

Metrolinx and Infrastructure Ontario (IO) retained a team of advisors (referred to as the Review Panel) in July 2019 to perform an independent review of plans for the YSE and the Scarborough Subway Extension projects. The Review Panel is expected to report back to Metrolinx and IO with its draft recommendations report in Fall 2019.

With the Review Panel initiatives currently underway, Executive Committee direction has been given to pause some design work plans for YSE, however, the following activities are proceeding as planned:

- Interim design submissions for the stations, tunnels and systems contracts have been reviewed and Regional/Municipal comments have been consolidated and provided to the project partners
- Elevating design work of Richmond Hill Centre Station to a 15% level is progressing
- The analysis of the benefits of a potential mega-bore option is moving forward;
- Metrolinx’ work on the YSE business case is underway
- A procurement options analysis is near completion; and
- Geotechnical and topography surveying continue and are expected to be completed in October 2019

Previous Reports/Authority

Previous reports relating to Metrolinx related matters can be found at the following links:

[May 7, 2019, Committee of the Whole \(Item 12, Report No. 17\) – Metrolinx Activities Update](#)

[April 11, 2018, Committee of the Whole \(Item 9, Report No. 14\) – Metrolinx Draft 2041 Regional Transportation Plan and Regional Express Rail Initiatives Update](#)

[November 13, 2017, Committee of the Whole \(Working Session\) \(Item 2, Report No. 41\) - Metrolinx Draft 2041 Regional Transportation Plan](#)

[May 16, 2017, Committee of the Whole \(Working Session\) \(Item 1, Report No. 19\) - Metrolinx Regional Express Rail Update](#)

Analysis and Options

Staff continue to work in partnership with York Region and Metrolinx on GO Station Expansions and Pedestrian Connections

In keeping with the City's Transportation and Mobility objective to be a fully connected and integrated community by supporting the development of transit and increase cycling and pedestrian infrastructure, staff will continue to work closely with York Region and Metrolinx to coordinate the expansion of the Rutherford and Maple GO Stations. A key focus will be traffic management during construction in order to minimize disruption to the communities. The expansion of the two GO Stations also present opportunities to implement additional pedestrian and cycling access points such as, a pedestrian bridge over Major Mackenzie Drive and adjacent neighborhoods, and a pedestrian connection to Maple GO Station. City staff will work closely in partnership with Metrolinx in planning, design, construction and public consultation for these initiatives.

City staff are monitoring the work being undertaken by Metrolinx and the Block 27 Landowner's Group in delivering the Kirby GO station

As the Block 27 Landowner's Group begins their work with Metrolinx in delivering the Kirby GO Station, the City will continue to plan for infrastructure to support the lands surrounding the Kirby GO Station such as the Kirby Road Widening Environmental Assessment Study from Jane Street to Dufferin Street, which was initiated in September 2019. Staff continue to be actively involved in the planning and development work for the Block 27 Secondary Plan area including the Kirby GO-Transit Hub Centre to realize the envisioned complete community, with an appropriate mix of land uses, densities and pedestrian-friendly amenities to support the Kirby GO Station. The adoption of the Secondary Plan and initiation of the Transit Hub Special Study, Kirby Road EA and Station development process, will provide inputs into the final land use plan to provide for the development of the Station area.

Staff continue to participate in the Municipal Technical Advisory Committee (MTAC) in the implementation of 2041 RTP and the YSE work

Both the 2041 RTP and Yonge Subway Extension work are important Region-wide projects that connects the City to the rest of the GTHA providing a gateway to economic activity in the GTHA, leading to prosperity, investment and social capital. Staff participation in the MTAC is necessary to ensure that the City's priorities are being considered and realized.

Financial Impact

The delivery of Kirby GO Station involving potential partnerships with the Block 27 Landowner's Group may involve the City financially in the future.

The construction of additional pedestrian connections such as the pedestrian bridge over Major Mackenzie Drive and pedestrian connection from adjacent neighborhoods to Maple GO Station may require City funding through collected development charges.

Broader Regional Impacts/Considerations

In support of the development of the new communities, a future Kirby GO Station and the Highway 400 Employment Lands, the deployment of York Region Transit's Frequent Transit Network along Kirby Road, Jane Street and Weston Road should be expedited to continue to provide convenient sustainable transportation options in these areas.

Staff will continue to work with York Region to ensure appropriate sustainable transportation options are reviewed for implementation in these areas.

Conclusion

Metrolinx is currently investing in a significant amount of transit infrastructure within the City. It is important that the City's interests are effectively presented to Metrolinx so that they can be incorporated into the on-going planning and delivery processes.

The proposed Kirby and potential Concord GO Stations, the proposed Bus Rapid Transit Corridors within the City, and the Yonge Subway Extension continue to be priorities for the City and form the backbone of a multi-modal transportation system that meets the needs of city residents and businesses.

Staff will continue to work with Metrolinx, the Region and transit agencies to protect and advocate for sustainable and safe transportation in the City.

For more information, please contact: Vince Musacchio, Director, Infrastructure Planning & Corporate Asset Management

Attachments

N/A

Prepared by

Selma Hubjer, Manager, Transportation Planning, 8674

Winnie Lai, Transportation Project Manager, 8192

Christopher Tam, Transportation Project Manager, 8702

Committee of the Whole Report

DATE: Tuesday, November 05, 2019

WARD(S): ALL

TITLE: UPDATE ON AUTOMATED SPEED ENFORCEMENT

FROM:

Zoran Postic, Deputy City Manager, Public Works

Mary Reali, Deputy City Manager, Community Services

ACTION: DECISION

Purpose

To provide an update on the automated speed enforcement (ASE) program.

Report Highlights

- York Region is rolling out an ASE pilot at selected Regional Road locations. The Region will include location(s) within the City of Vaughan as part of their pilot program.
- York Region Court Services does not have capacity to process the anticipated volume of ASE charges from local municipalities.
- The ASE Municipal Working Group (MWG) has requested the Province to allow ASE charges to be administered through an Administrative Monetary Penalty System, instead in the Provincial Offences Act (POA) courts.

Recommendations

1. That the Ministry of Transportation of Ontario consider the option of using an Administrative Monetary Penalty System (AMPS) for offences enforced using an ASE program to avoid burdening the Provincial Offences Act courts; and
2. That the City Clerk forward a copy of this report to York Region, the Ministry of Transportation of Ontario, the Ministry of the Attorney General, local municipalities in York Region, and the Ontario Traffic Council.

Background

The Province enacted Bill 65, the Safer School Zones Act, 2017, to allow the operation of automated speed enforcement (ASE) technology in school and community safety zones.

In May 2017, the Ontario legislature passed Bill 65, the Safer School Zones Act, 2017 permitting municipalities to use ASE technology as a tool to manage speed compliance in school and community safety zones. Bill 65 included an amendment to the Highway Traffic Act with a new Part XIV.1 Automated Speed Enforcement. The Province must now enact a regulation designating the equipment to be used, and the procedures for handling ASE infractions, before Part XIV.1 can be proclaimed.

Council provided direction for Staff to participate in the OTC ASE Municipal Working Group.

At the committee of the whole meeting May 8, 2018, Council directed staff to launch a photo-radar demonstration project to manage speed compliance on Kipling Avenue, north of Hwy 7, for a period of no less than six (6) months, when permitted by the Province, and when policies and procedures for the operation of photo-radar in Ontario have been established.

In June 2018, Staff reported back to Council on the status of Bill 65, and provided an overview of the ASE development. The report explained that the Ontario Traffic Council (OTC) had formed the ASE MWG consisting of municipalities across the Province, the Ministry of Transportation of Ontario and the Ministry of the Attorney General, to guide the planning and development of the ASE program. At that meeting, Council directed staff to work with the ASE MWG on the planning and development of the ASE program.

Since then, staff have been participating in the OTC ASE MWG with the aim of establishing common principles for administering and operating ASE across the Province. Work undertaken by this group will also include providing input to the Province's regulatory framework.

The Ministry of Transportation released a proposal for an ASE regulation on September 3, 2019. It is anticipated that the regulation will be passed in December 2019.

On September 3, 2019, the Ministry released a proposal for regulations to support use of ASE by municipalities. The proposed regulation outlined the operation, procedural and evidentiary requirements for the use of ASE. These requirements included a description of how photographs are to be used as evidence, the types of ASE technology permitted

in the province, and the enforcement procedures for POA charges. It is anticipated that the regulation will be passed in December 2019, establishing the framework for operating and administering ASE in Ontario.

Previous Reports/Authority

Council Motion at its November 3, 2015 Committee of the Whole Meeting – Speed Limit Policy:

https://www.vaughan.ca/council/minutes_agendas/AgendaItems/CW1103_15_15.pdf

Council Motion at its May 8, 2018 Committee of the Whole Meeting – Photo-Radar:

https://www.vaughan.ca/council/minutes_agendas/AgendaItems/CW_0508_18_29.pdf

Staff Report at June 19, 2018 Council Meeting – Update to Automated Speed Enforcement:

<https://pub-v Vaughan.escribemeetings.com/filestream.ashx?DocumentId=2637>

York Region Report of the Regional Solicitor February 2017 – Bill 65 Safer School Act, 2016:

<https://www.york.ca/wps/wcm/connect/yorkpublic/d0b8df5e-d594-4a2f-ba61-7fb198b24d6c/feb+9+safer+ex.pdf?MOD=AJPERES&CVID=mu8z80d>

York Region Memorandum June 5, 2019 – Automated Speed Enforcement Update:

<https://yorkpublishing.escribemeetings.com/filestream.ashx?DocumentId=7406>

York Region Report October 3, 2019 - Automated Speed Enforcement:

<https://yorkpublishing.escribemeetings.com/filestream.ashx?DocumentId=7969>

Provincial legislation Bill 65, the Safer School Zones Act:

[Bill 65 – Safer School Zones Act](#)

Analysis and Options

On behalf of partnering municipalities, the City of Toronto has awarded the services of Redflex Traffic Systems to provide ASE. The City has eligibility to partake in the resulting contract.

On behalf of municipalities participating in the ASE MWG, the City of Toronto issued a request for proposal (RFP) #9148-19-0048 for the provision of ASE Services. The RFP closed and Redflex Traffic Systems has been awarded to provide ASE services. Redflex Traffic Systems will be responsible to supply, install, operate and maintain the ASE system. Municipalities will be able to partake in the execution of the ASE contract. This

Item 8

Page 3 of 7

process ensures that the same equipment is used throughout the Province and assures cost savings associated with group purchasing. Equipment options such as mobile, semi-fixed, and fixed ASE are available. The ASE MWG is also developing guidelines for the use of ASE equipment including site selection and signage.

The City of Toronto will operate an ASE Joint Processing Centre (JPC) on behalf of partnering municipalities, which issues the Certificate of Offence. The ASE JPC will employ Provincial Offences Officers, designated by the Province, to issue charges captured by the cameras, as well as, supporting staff for site selection, investigation, contract management and record management. Operating costs for the ASE JPC will be cost-shared by partnering municipalities.

To operate an ASE program, a municipality is required to enter into agreements with:

- MTO for use of ASE technology and access to the license plate registry;
- City of Toronto for the operation and cost-sharing of the JPC to process automated speed infractions; and
- Redflex Traffic Systems to provide ASE services.

The Region's POA Courts do not have the capacity to schedule additional trial requests resulting from ASE charges from local municipalities. The Region will operate an ASE pilot on Regional Roads to assess the technology and impacts on the Region's Provincial Offences Courts.

The Province requires that ASE offences be processed, settled and disputed using the POA court system. However, the initiation of the ASE program will likely result in additional charges being administered, and the Provincial Offences Court system in the Region has indicated that it will not be able to absorb the additional charge volume anticipated from a full implementation of the ASE program with current facility and judicial resources.

To address the capacity concern, York Region adopted a Court Services-led resolution in February 2017 to advocate for amendments to the Highway traffic Act to allow enforcement of technology-based offences to be administered using an Administrative Monetary Penalty System (AMPS). Moreover, to limit the anticipated load increase on York Region's court services, the Region will be operating a two-year limited use ASE pilot on Regional Roads, starting in 2020. This will allow the opportunity to assess the technology and impacts on the Region's Provincial Offences Courts.

Staff recommended the Region include a site within the City of Vaughan as part of their ASE pilot. Data from the Region's pilot program will assist the City to assess the impact of ASE on court capacity, driver behaviour, and community support.

Staff has engaged Regional staff on the feasibility of operating a City ASE program through the Region's Provincial Offences Court system. Given that the Province will not enact a regulation designating ASE offences be processed through an AMPS, and that the Region's POA courts are limited in capacity, the Region is unable to support the request at this time. As an alternative, staff has requested that Regional staff consider a site in Vaughan as part of their pilot.

Regional staff have indicated that they will share their experiences on the anticipated number of charges, as well as the associated ASE capital and operating costs with local municipalities. Local municipalities can then use the data to estimate the number of anticipated charges and to develop a business case for ASE operation. This will allow staff to assess the impact of ASE on court capacity by quantifying the number of infractions, the rate at which these charges are disputed, driver behaviour, community support and road safety impacts.

Given the limited capacity in the Region's Court Services system to process the anticipated volume of ASE charges from local municipalities, the City is not currently in a position to roll out the ASE program.

The City has investigated and continues to investigate many reports from concerned citizens regarding speeding in school zones. ASE is an additional safety tool to manage speed compliance. Kipling Avenue, north of Hwy 7, is recommended as the candidate for a demonstration project as set out in the council motion presented at the May 8, 2018 Committee of the Whole meeting.

Data from the Region's pilot program will support a staff assessment of the number of charges generated from the ASE program. Staff from Finance, By-law and Compliance, Legal services, and Transportation and Fleet Management Services can then review the shared data, assess the City's program cost for administering and operating ASE and investigate the adoption of AMPS for the City's ASE program.

The Province has not enacted a regulation to allow operations of ASE under an AMPS to reduce impacts on Provincial Offences Courts. Many municipalities across the province are advocating for an AMPS.

AMPS is a municipally administered alternative to the Provincial Offences Courts' judicial process for matters authorized by the Province that enables a more expedient alternative to addressing by-law violation disputes. At present, the City of Vaughan has enacted AMPS for parking disputes and business licensing offences.

Staff support the option of using AMPS to process ASE offences. For the City to manage the ASE program under AMPS, the Province must first enact enabling legislation. Upon receiving Provincial authority, the City's AMPS program would then likely need to expand to manage the anticipated additional volume of adjudication required. As a result, resource and funding implications will need to be assessed.

The OTC has recently requested that the Province consider implementation of an AMPS for ASE and Red-Light Cameras on behalf of the municipalities (attachment No. 1 is a letter from the OTC to the Province). Further, Regional Council, the York Regional Police Services Board and York Regional Police have requested support from the Ministry of the Attorney General to use AMPS to manage disputes with respect to ASE and Red-light cameras to help align road safety initiatives with enforcement (attachment No. 2 is a letter from the York Police Services Board). Both requests would also mitigate the expected demand on the Provincial Offences Court system.

Financial Impact

The Capital Project, RP-6767-18 Road Safety Program: Automated Speed Enforcement in the amount of \$56,650, was set up as part of the 2018 capital budget to carry out the investigation of the initial ASE program development. Staff will inform Council of the costs associated with program implementation and operation as more information becomes available. The ability to recover costs will also be reviewed.

The City is unable to recover Provincial Offences Act fines to offset the costs of operating ASE on local roads, as outlined in the Region's October 3, 2019 report.

Broader Regional Impacts/Considerations

Considering the limited capacity of the Region's POA courts system, the Region will be operating ASE on Regional roads on a pilot basis, with limited use. The Region has committed to sharing their data and best practices in administering and operating ASE with local municipalities.

Conclusion

City Staff continue to work with the OTC ASE MWG to facilitate the development and implementation of ASE in the Province of Ontario.

Based on the program progress, it is anticipated that the Region will be implementing ASE technology in school zones and community safety zones on Regional roads on a pilot basis, starting in 2020. Regional staff will share their data and experience with local municipalities to support them in building their respective ASE program.

For more information, please contact Donald Eta, Director Transportation and Fleet Management Services, and Gus Michaels, Director of By-law and Compliance Licensing and Permit Services.

Attachments

1. OTC Letter to the Province advocating for AMPS, July 2019
2. York Regional Police Services Board Letter Re: Provincial Offences Act Court, Impacts on Road Safety, May 2019

Prepared by

Margie Chung, Manager, Traffic Engineering, 6173

Rudi Czekalla-Martinez, Manager of Policy and Business Planning, 8782

In Consultation with:

Gus Michaels, Director of By-law and Compliance Licensing and Permit Services

Joe Italo Luzi, Manager of Enforcement Services

Carol Ramchuram, Regulatory Policy Analyst

Surangi Parikh, Manager of Business Relationships



Ontario Traffic Council

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July 3, 2019

Honourable Caroline Mulroney
Minister of Transportation and
Minister of Francophone Affairs
77 Wellesley Street West
Ferguson Block, 3rd Floor
Toronto, ON M7A 1Z8

Dear Minister Mulroney,

I am writing to you as a follow-up to the Ontario Traffic Council (OTC) letter of May 23, 2019, to the Honourable Jeff Yurek regarding our request to implement an Administrative Penalty system (APs) for Ontario's Automated Speed Enforcement (ASE) and the Red-Light Camera (RLC) Programs within Regulations to Bill 107.

The Ontario Traffic Council (OTC) is leading the development of the ASE Program for Ontario municipalities. A number of municipalities will be participating in the first phase launch of ASE anticipated for December 2019, however, there are others not participating or are participating at a much lesser extent (less cameras and site locations and limited deployment times) because of the stress on their already over-burdened POA court system.

Ultimately, ASE would work more effectively to protect Ontario's vulnerable road users - our daycare and school aged children, seniors and other vulnerable members of our communities under an AP system.

I would welcome the opportunity to meet with you to discuss the value of allowing the Automated Speed Enforcement and Red-Light Camera Programs to fall within an Administrative Penalty system.

Yours truly,

Geoff Wilkinson, CAE
Executive Director

c.c. Mayor John Tory, City of Toronto
Mayor Ed Holder, City of London
Mayor Bonnie Crombie, City of Mississauga
Mayor Jim Watson, City of Ottawa

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The Regional Municipality of York Police Services Board

To Make a Difference in Our Community

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May 7, 2019

The Honourable Caroline Mulroney
Ministry of the Attorney General
McMurtry-Scott Building
720 Bay Street, 11th Floor
Toronto, ON M7A 2S9

Via Email: caroline.mulroney@pc.ola.org

Dear Minister:

Re: Provincial Offences Act Court – Impacts on Road Safety

We are writing to you on behalf of the York Regional Police Services Board and York Regional Police, to bring your attention to a matter of great concern with respect to our ability to effectively improve road safety through enforcement. On September 26, 2018 Chairman Wayne Emmerson wrote to you on behalf of Regional Council seeking support for the use of administrative penalties to enforce automated speed enforcement and red light cameras to help ease the burden on Provincial Offences Courts and align road safety initiatives with enforcement. We share the concerns raised by Regional Council as outlined in that letter.

As Attorney General, we are asking for your support of the request of our Board and York Regional Police, supported by Regional Council, to the Province of Ontario for legislative and regulatory amendments needed to address the significant impact of judicial shortages and outdated legislation on the capacity of our Provincial Offences Act (POA) Courts and the operations of York Regional Police.

In York Region, our POA Courts handle approximately 160,000 charges per year, of which 75% are charges filed by York Regional Police. Approximately 90% of the matters in our POA courts arise from charges laid under the Highway Traffic Act as part of our ongoing efforts to improve road safety through enforcement.

Road safety has been a significant part of our Strategic Plan and Business Plans for the past 20 years. Our community has identified road safety

consistently as one of our top 5 community priorities. As a result of this input from the community we too have made road safety as one of our top priorities.

York Region operates the second largest POA Court program in Ontario, second only to Toronto. Our courts are currently operating at capacity and the consistently high rate of dispute continues to put increasing pressure on these courts. These identified high dispute rates have resulted in 34,560 hours of officer time in court in 2018 at a cost of approximately \$1.9M, which is on the conservative side. This is a significant amount of lost community engagement and police resources due to our front line officers having to spend considerable time in travelling to and from court and in court away from their assigned community.

Through the use of technology and shared initiatives, York Regional Police and the Region's POA court services team have introduced efficiencies and innovation to address court capacity and minimize negative impacts of the lack of capacity on the operations of York Regional Police, including the introduction of the first video testimony program in Ontario's POA courts. However, there are many pressures on the courts that are beyond our control and can only be addressed by the provincial government.

Despite the best efforts of our staff, decreased court availability due to judicial shortages combined with an increasing dispute rate continues to have a negative impact on our officers, citizens and road safety initiatives. We firmly believe that opportunities exist that would support your government's goal to create a justice system that is efficient, accessible, and responds to the needs of the public. By working together, we can create efficiencies through modernization and streamlining of our current POA court system while enhancing community safety and timely access to justice.

Our greatest concern centres on the lack of judicial resources and frequency of court closures. Over the past three years alone, our courts have seen a 9 % reduction in the number of available court days due to a shortage of Justices of the Peace. In many instances, a full day of court time is lost without advance notice due to the unexpected absence of a Justice of Peace.

A detailed outline of our current challenges and full recommendations is included in the attachment to this letter. Below is a brief summary of our concerns and some recommendations for consideration:

Challenges:

- Court Availability has decreased as a direct result of the province-wide judicial shortage. This has increased both scheduled and unscheduled court closures

- An increase in trial requests threatens York Region's ability to schedule matters within the tight constitutional timeframe
- Time to trial is increasing, denying fair and timely access to justice

Recommendations:

- Proclaim all provisions of Bill 177 *Stronger, Fairer Ontario Act (Budget Measures)*, 2017, Schedule 35 to implement modernization measures
- Proclaim s. 21.1 of the Highway Traffic Act, amend s.21.1(13) to add that an administrative penalty is a debt due to the crown or to a municipality as provided for in regulation, and enact a regulation that would allow for administrative penalties to be imposed for red light camera and automated speed enforcement offences with the revenue dedicated to the municipality operating the program
- Conduct a review of the judicial complement to ensure our POA courts are adequately resourced and court closures reduced or eliminated

Knowing that your government is committed to finding efficiencies as part of their mandate and vision, we believe our recommendations align with the government's goals including the mandate of your Ministry to improve the efficiency of the justice system to support and enhance community safety. We also believe that through consultation and collaboration, the province and York Region can achieve significant positive results towards meeting these goals and our common objectives.

Given the importance of these issues to the Region, our Board and York Regional Police, we request the opportunity to meet with you and Ministry staff to share this information in more detail and discuss the opportunities for legislative and regulatory amendments, and potential solutions to address judicial shortages.

Sincerely,



Chair Virginia Hackson
York Regional Police Services Board



Chief Eric Jolliffe
York Regional Police

Copy to: Chairman Wayne Emmerson, Regional Chair, York Region
Hon. Sylvia Jones, Solicitor General
Hon. Jeff Yurek, Minister of Transportation
Hon. Christine Elliott, MPP Newmarket-Aurora
Hon. Michael A. Tibollo, MPP Vaughan-Woodbridge
Michael Parsa, MPP Aurora-Oak Ridges-Richmond Hill
Stephen Lecce, MPP King-Vaughan
Logan Kanapathi, MPP Markham-Thornhill
Gila Martow, MPP Thornhill
Daisy Wai, MPP Richmond Hill
Paul Calandra, MPP Markham-Stouffville
Billy Pang, MPP Markham-Unionville
Association of Municipalities of Ontario

Committee of the Whole (1) Report

DATE: Tuesday, November 05, 2019

WARD(S): 1

TITLE: NEW DEVELOPMENT – PROPOSED DEMOLITION OF TWO EXISTING SINGLE DETACHED DWELLINGS AND CONSTRUCTION OF 16 RESIDENTIAL UNITS COMPRISED OF 8 SEMI-DETACHED UNITS AND 8 TOWNHOUSE UNITS LOCATED AT 9785/9797 KEELE STREET, VICINITY OF KEELE STREET AND BARRHILL ROAD

FROM:

Wendy Law, Deputy City Manager, Administrative Services and City Solicitor

ACTION: DECISION

Purpose

To forward a recommendation from the Heritage Vaughan Committee for the proposed demolition of two existing single detached dwellings and new construction of 16 residential units comprised of 8 semi-detached units and 8 townhouse units located at 9785 and 9797 Keele Street, a property located in the Maple Heritage Conservation District and designated under Part V of the *Ontario Heritage Act*.

Report Highlights

- The Owner is proposing the demolition of two existing single detached dwellings and construction of 16 residential units comprised of 8 semi-detached units and 8 townhouse units at 9785/9797 Keele Street.
- The existing two dwellings are identified as deteriorated non-contributing properties in the Maple Heritage Conservation District Plan (“Maple HCD Plan”).
- The proposal is consistent with the relevant policies of the Maple HCD Plan.
- Heritage Vaughan review and Council approval is required under the *Ontario Heritage Act*.
- Staff is recommending approval of the proposal as it conforms with the policies of the Maple HCD Plan.

Recommendations

The Deputy City Manager, Administrative Services and City Solicitor, on behalf of Heritage Vaughan forwards the following recommendation from its meeting of October 16, 2019 (Item 1, Report No. 4), for consideration:

- 1) That the recommendation contained in the following report of the Deputy City Manager, Planning and Growth Management, dated October 16, 2019, be approved.

Recommendation and Report of the Deputy City Manager, Planning and Growth Management, dated October 16, 2019:

1. THAT Heritage Vaughan Committee recommend Council approve the proposed demolition of two existing single detached dwellings and new construction of 16 residential units comprised of 8 semi-detached units and 8 townhouse units at 9785 and 9797 Keele Street under Section 42 of *Ontario Heritage Act*, subject to the following conditions:
 - a) Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning and Manager of Urban Design and Cultural Heritage;
 - b) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application;
 - c) That the Owner submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Vaughan Development Planning Department;
 - d) The standard Archaeology Clauses apply:
 - i. *Should archaeological resources be found on the property during construction activities, all work must cease, and both the Ontario Ministry of Tourism, Culture and Sport and the City of Vaughan's Planning Department shall be notified immediately.*
 - ii. *In the event that human remains are encountered during construction activities, the Owner must immediately cease all construction activities. The Owner shall contact the York Regional Police Department, the Regional Coroner and the Registrar of the Cemeteries Regulation Unit of the Ministry of Consumer and Business Services.*

Background

On June 12, 2014, the Owner engaged Architects Rasch Eckler and Associates Ltd. ('AREA') to prepare a Cultural Heritage Resource Impact Assessment ('CHIA') for three (currently severed) properties within the Village of Maple Heritage Conservation District ('HCD'). The property has since been sold and AREA continued as the heritage consultant for the new Owner. These properties are treated as a single land assembly comprising of three lots, with two of them having municipal addresses, 9785 and 9797 Keele Street, and the third identified as "Block 176", PCL 176-1 SEC 65M2407. As part of the Maple HCD, all properties are designated under Part V of the *Ontario Heritage Act* ('OHA'). The land assembly is proposed to be redeveloped as low-rise residential townhomes and semi-detached houses.

The potential heritage impact in the HCD by the proposed development is outlined in the CHIA, which evaluates the heritage context of, and the development impacts on 9785-9797 Keele Street as properties within the Maple HCD that did not individually form part of the City's Heritage Inventory. The Maple HCD Study (Vol.2 pg.32), however, identifies the property at 9797 Keele Street as a potential Victory Home version (with a photograph). Prior to the HCD Study, neither property was individually listed in the City's Heritage Register or Inventory ('Inventory'), nor was designated under Part IV of the *OHA*. However, since the properties are located within the boundaries of the Village of Maple HCD, they are protected under Part V of the *OHA*.

The research findings of the submitted CHIA attribute little heritage significance to the properties at 9785 & 9797 Keele Street. They score low on their historical, environmental / contextual, and architectural values. The subdivided lots themselves were not associated with any historic figure, and have never functioned as landmark sites – although the property at 9797 Keele Street may have been the earliest example of a Victory House in Maple. The existing one-storey and 1-1/2 storey residential structures within the property land assembly are in poor condition and do not fully represent unique stylistic features and construction techniques.

In consideration of the low heritage value of 9785 and 9797 Keele Street, the redevelopment of this land assembly is not precluded. However, any redevelopment must be compatible with the Maple HCD character by designing new buildings with appropriate regard to the Maple HCD Design Guidelines.

Previous Reports/Authority

NOT APPLICABLE.

Analysis and Options

The City's CHIA Guidelines identifies three types of mitigation options:

1. “Avoidance Mitigation” permits developments to proceed with the retention of the subject buildings in-situ;
2. “Salvage Mitigation” explores the possibility of building relocation or architectural salvage;
3. “Historical Commemoration” recalls the historical development of the property and the subject buildings through a feature within a new development.

Among the three types of mitigation options, only “(iii) Historical Commemoration” is suitable for the subject property. The deteriorating conditions of the buildings within the properties will not permit their in-situ retention or their relocation within the combined land assembly. But most importantly, their low cultural significance does not warrant their retention or even partial salvage of these modest structures. However, Historical Commemoration, as opposed to physical retention, can be achieved with the following measures:

1. partial salvage
2. documentation through drawings or photographs
3. naming of streets and public spaces, or
4. installation of historical plaques

As such, the historical documentation contained in the CHIA report complies with measure #2: commemorative measures as set out in the guidelines.

All new development must conform to the policies and guidelines within the Maple Heritage Conservation District Plan.

The following is an analysis of the proposed development according the Maple HCD Plan.

2.4.3 Objectives for Non-Heritage Buildings

*To retain and enhance complementary characteristics of nonheritage buildings.
To encourage improvements to non-complementary buildings so that they further enhance the heritage character of the District.*

The proposed development consists of buildings that are respectful to the scale, massing, frontage, and architectural styles present within the HCD. The street facing semi-detached houses maintain the diversity sought after by the HCD’s residential area through flanking one architectural style (Ontario Second Empire) with another style (Victorian Gothic) that creates a harmonious progression of architectural language. The

rest of the townhouses in the rear offer a sympathetic and proportioned inner elevation that is in keeping with the vision of smaller side streets.

2.4.5 Objectives for New Development

To ensure compatible infill construction that will enhance the District's heritage character and complement the area's village-like, human scale of development, while promoting densities sufficient to secure the District's future economic viability. To guide the design of new development to be sympathetic and compatible with the heritage resources and character of the District while providing for contemporary needs.

The proposed architectural styles of the new construction respect the pedestrian-scale feeling of the streetscape, and provide a density that reflect current city living standards, without detracting or negatively impacting the density presented by the historic HCD residential core.

4.3.3 Demolition of Non-Heritage Buildings

Generally, the demolition of a Non-Heritage building is not supported, if the building is supportive of the overall heritage character of the District.

The HCD Study Vol.1 identified (in 2006) the structure at 9797 Keele Street as “a 1-1/2 storey Cape Cod house with a cantilevered rectangular bay window” likely built between 1948-1949. It is, admittedly, a bit more unusual as it has a side-hall plan and a box window – but still it was constructed in the simplified style known as “Victory House” (an accepted Heritage Style within the Maple HCD) with wood siding and a simple high-pitched roof clad in asphalt shingles. The building, in its present condition (15 years since the last evaluation), is in a state of advanced disrepair and offers no salvageable building materials or architectural/historical details of noteworthy significance.

The neighbouring property at 9785 Keele Street is a single-storey non-contributing building that resembles aspects of two different architectural styles (Ranch, and suburban Bungalow) and does not adhere to either style. Presently, it is also in a state of advanced disrepair, and offers no salvageable or noteworthy elements for preservation. This property was not included in the initial Inventory of the HCD.

4.4 New Residential Buildings

New residential buildings will have respect for and be compatible with the heritage character of the District. Designs for new residential buildings will be based on the patterns and proportions of the 19th century and early 20th century building stock that

are currently existing or once existed in the village. Architectural elements, features, and decorations should be in sympathy with those found on heritage buildings.

The proposed new buildings represent an appropriate urban street mix of individual Victorian Gothic and Ontario Second Empire architectural examples that employ only the most minimal modernized details. The massing and form of the buildings conform to the architectural styles in materials and proportions, and they pay homage to the existing buildings in the neighbourhood and on the city block through choice of colour palette. Together, they are in keeping with the heritage building styles of the Village of Maple, and sympathetic to the architectural style that would be prevalent to a main street residential setting.

4.4.1 Design Approach

- a) The design of new buildings will be products of their own time, but should reflect one of the historic architectural styles traditionally found in the District.*
- b) New residential buildings will complement the immediate physical context and streetscape by: being generally the same height, width, and orientation of adjacent buildings; being of similar setback; being of like materials and colours; and using similarly proportioned windows, doors, and roof shapes.*
- c) New residential building construction will respect natural landforms, drainage, and existing mature vegetation.*
- d) Larger new residential buildings will have varied massing, to reflect the varied scale of built environment of the historical village.*
- e) Historically appropriate façade heights for residential buildings has been 1 -1/2 or 2 storeys. The façade height of new residential buildings should be consistent with the façade height of existing buildings. Differences in façade heights between buildings on adjacent properties within the district should be no more than 1 storey. In all instances the height of new buildings shall conform to the provisions of the City's Zoning By-law.*

New residential building construction in the District will conform with the Guidelines found in Section 9.5.2.

The proposed development is within a one-storey height difference from the neighbouring heritage structures on the same block, and complement the immediate context of the block, through the architectural style and the proposed height of the building. The streetscape and lateral setbacks are within acceptable limits for the neighbourhood.

9.0 Guidelines for Buildings and Surroundings

The City has recognized this special character by creating the Village of Maple Heritage Conservation District. The purpose of these Design Guidelines is to help maintain the historic qualities that make up that sense of distinctness. They are intended to clarify and illustrate, in a useful way, the recognizable heritage characteristics found in the Village. They serve as reference guidelines and not prescribed policy for anyone contemplating alterations or new development within the Heritage Conservation District. The Guidelines examine the past in order to plan for the future. They recognize that change must and will come to Maple. The objective of the Guidelines is not to prevent change, but to ensure that change is complementary to the heritage character that already exists, and enhances, rather than harms it.

Guidelines:

- *The intent of the Guidelines is to preserve and enhance the existing heritage character of Village of Maple, which is widely appreciated by the citizens*
- *It is recommended that design professionals with experience in heritage design and restoration be retained for work on significant heritage buildings in the District.*

The character of Maple consists of many elements

Significant natural features include the park, a small tributary of the West Don River, the open spaces of the cemeteries and church yards, and the mature urban forest. Significant cultural elements include the informal village plan, with its varied lot sizes and setbacks, rich planting, and almost 150 years of architectural history. The historic buildings serve to define the heritage character of the village. These Design Guidelines are based on the concepts of preserving the existing heritage buildings, maintaining their character when they are renovated or added to, and ensuring that new development respects the qualities of place established by the existing heritage environment. The Guidelines begin with a handbook of the architectural styles found in Maple. Over the years, many buildings have lost original detail such as trims, doors, and windows. The stylebook will be helpful to owners who want to restore original character, or who want to maintain what remains. It will assist in designing additions that respect the original style of the building. And it will provide a basis for authentic local historic references in the design of new buildings. The stylebook is also a tool for looking at the existing heritage buildings, which offer the best guidelines of all: they are full-scale and in three dimensions. The best test of new work in the Village is whether or not it shows “good manners” towards its heritage neighbours and its neighbourhood.

As a new development within the fabric of the HCD residential district, this proposal adheres to and complies with the guidelines set out by the HCD study. The proposed buildings conform to the approved architectural styles identified in the Guidelines.

9.1 Architectural Styles

Architectural style means the identifying characteristics of construction as it has evolved under the force of changing technology and fashion. Before the industrial age, often minor details were custom-made for each building and it would be hard to find even two identical front door designs from the early 19th century. Nonetheless, each period produced buildings that shared a design vocabulary, including elements of massing, composition, proportions, window and door details, and decorative elements. This section shows the principal styles that have appeared in Maple, both heritage styles and more recent ones. This section is necessarily brief and does not replace the real research needed for authentic work, as described in Section 9.3.2 and 9.5.1. In the Guidelines that follow, reference is made to architectural styles for all types of buildings in the Village of Maple: existing heritage buildings, existing non-heritage buildings, and new development. The following pages show the characteristics of the local architectural styles.

Guideline:

Additions and alterations to an existing heritage building should be consistent with the style of the original building. New developments should be designed in a style that is consistent with the vernacular heritage of the community. All construction should be of a particular style, rather than a hybrid of many styles. Recent developments have tended to use hybrid designs, with inauthentic details and proportions; for larger homes, the French manor or château style (not indigenous to Ontario) has been heavily borrowed from. These kinds of designs are not appropriate for the Village of Maple.

The HCD lists a number of architectural styles that are not appropriate; however, both proposed architectural styles of this development (Victorian Gothic and Second Empire) are in keeping with the approved heritage styles of the Village of Maple, and conform to the time period of the streetscape. They represent a clean architectural language that respects the vernacular detailing of each of the two styles without mixing in inauthentic details or improper proportions.

9.5 New Development

9.5.1 Overview

The overall heritage character of the District is composed of buildings, streetscapes, landscapes, and vistas. This overall character has more significance than any individual building, even if it is one of the finest. Within the design of any individual building, architectural elements contribute to the character of the public realm of the street. Massing, materials, scale, proportions, rhythm, composition, texture, and siting all contribute to the perception of whether or not a building fits its context. Different

settings within the district have different characters of siting, landscaping and streetscaping. New development within the District should conform to qualities established by neighbouring heritage buildings, and the overall character of the setting. Designs should reflect a suitable local heritage precedent style. Research should be conducted so that the style chosen is executed properly, with suitable proportions, decoration, and detail.

Guidelines:

- *New buildings should reflect a suitable local heritage style. Use of a style should be consistent in materials, scale, detail, and ornament*
- *Use Section 9.1 for preliminary guidance on styles*
- *Use Section 9.2 gives further preliminary guidance on details of design and construction*

The scale, detail level, and modest ornamentation of the proposed designs are in keeping with the guidelines set out by the HCD Study. The materials and proportions are reflective of the comprehensive study undertaken by the architect(s) to respect and integrate the proposed buildings within the existing fabric of the Maple HCD.

9.5.2.2. Architectural Style

New buildings in the residential areas should reflect the historic built form of their historic neighbours.

Guidelines:

Design houses to reflect one of the local heritage Architectural Styles. See Section 9.1.

- *Hybrid designs that mix elements from different historical styles are not appropriate. Historical styles that are not indigenous to the area, such as Tudor or French Manor, are not appropriate.*
- *Use authentic detail, consistent with the Architectural Style. See Section 9.2.1.*

Devoid of lavish decorations, the Victorian Gothic semi-detached buildings a minimalist roof-line gable trim (known as “carpenter Gothic” for its simplicity) and an inverted mini-baluster trim under the ground floor overhang porch roof. In contrast to this, the adjacent Second Empire style presents a purposely-designed elegance through the simplicity of architectural details: high arched windows with keystones on the upper floors (to denote an implied forced height, often associated with social status or wealth), a formal entry with vaulted canopy, strong ground floor lintels, and a mansard roof “tower”.

9.5.2.3 Scale and Massing

New residential construction in the residential villages should respect local heritage precedents in scale and massing. In almost every case, new construction will be replacing houses on existing built lots.

Guidelines:

- *New buildings should be designed to preserve the scale and pattern of the historic District*
- *New houses should be no higher than the highest building on the same block, and no lower than the lowest building on the same block*
- *As far as possible, modern requirements for larger houses should be accommodated without great increases in building frontage. For example, an existing 1½-storey house could be replaced by a 2-storey house with a plan that included an extension to the rear. This might double the floor area without affecting the scale of the streetscape*

Although the proposed design exceeds [in actual height] that of the immediate neighbours and the general height of the buildings on the city block, the measured height of the buildings (±8.6m to midpoint of roof) complies with the current zoning and by-law limitations (9.5m to the midpoint of the roof). Additionally, the proposed design height conforms to the previously-approved design parameters of the property on the opposite side of the street within the adjacent city blocks – and is reflective of the current [modern] suburban development noted in Section 7 of the HCD Study as a recommendation.

9.8.2 Non-Heritage Buildings: Appropriate Materials

Exterior Finish: Use materials compatible with the original design

Roofs: Slopes and layouts compatible with the original design

Doors: Use materials and designs compatible with the original design

Windows: Use windows compatible with the original design

The proposed development replaces two buildings deemed to be of low-to-none Heritage value, and which are not listed in the City's Inventory. Furthermore, the proposed design adheres and conform to the materials, proportions, details, colours, and architectural language of the two distinct styles (Victorian Gothic, and Second Empire) that they represent.

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The Urban Design and Cultural Heritage Division of the Development Planning Department is satisfied the proposed demolition, and the new construction conforms to the policies and guidelines within the Maple Heritage Conservation District Plan. Accordingly, staff can support Council approval of the proposed demolition of two existing single detached dwellings and establishment of 16 residential units comprised of 8 semi-detached units and 8 townhouse units located at 9785 and 9797 Keele Street under the Ontario Heritage Act.

For more information, please contact: Nick Borcescu, Senior Heritage Planner, ext. 8191

Attachments

1. Cultural Heritage Impact Assessment
2. Context Plan
3. Site Plan
4. Keele Street: Victorian Gothic unit
5. Keele Street: Second Empire unit
6. Rear Unit (typical)
7. Floor plans
8. Inner streetscape conceptual rendering
9. Keele Street conceptual rendering
10. Proposed landscape plan
11. Proposed exterior colour palette

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1 BACKGROUND TO THE REPORT

1.1 Reason for A Cultural Heritage Resource Impact Assessment

On June 12, 2014, the client-developer, engaged *AREA, Architects Rasch Eckler and Associates Ltd.* ('AREA') for the preparation of this Cultural Heritage Resource Impact Assessment ('CHRIA') for three (currently severed) properties within the Village of Maple Heritage Conservation District ('HCD'). The property has since been sold and AREA continued as the heritage consultant for the new owner. These properties are treated as a single land assembly comprising of three lots, with two of them having street addresses, 9785 and 9797 Keele Street, and the third identified as "Block 176", PCL 176-1 SEC 65M2407. As part of the Maple HCD, all properties are designated under Part V of the Ontario Heritage Act R.S.O 1990, c. O.18 ('OHA'). The land assembly is proposed to be redeveloped as low-rise residential townhomes and semi-detached houses.

The heritage impact in the HCD by the development of the subject land assembly is discussed in this April 2019 CHRIA document, entitled, "9785-9797 Keele Street, Vaughan, ON: Cultural Heritage Impact Assessment Report" ('CHRIA'). AREA refined the original May 2015 CHRIA with several revisions as noted on the cover page. This April 2019 CHRIA evaluates the heritage context of, and the development impacts on 9785-9797 Keele Street, which are identified by the 2006-2007 Village of Maple HCD Study and Plan as "non-heritage properties", or properties within the Maple HCD that did not individually form part of the City's Heritage Inventory. Prior to the HCD Study, neither house property was individually *listed* in the City's Heritage Register or Inventory ('Inventory'), nor was *designated* under Part IV of the Ontario Heritage Act R.S.O 1990, Chapter 0.18 ('OHA'). However, being located within the boundaries of the Village of Maple Heritage Conservation District ('Maple HCD'), they are protected under Part V of the OHA.

Our heritage consultant services were retained for developments at two land assemblies on Keele Street – nos. 9560-9570 and 9785-9797 – owned by the same developer client. At the commencement of the heritage consultant services, David Eckler (AREA), conferred with the cultural Heritage Coordinator, Daniel Rende, at the time.

In consultation with City of Vaughan Heritage Planning Staff on May 12, 2014, in a conference call and e-mail correspondence (Appendix E), staff indicated that, of the four addresses of the two developments, only the property at 9560 Keele Street required heritage evaluation. However, in a subsequent March 9, 2016 Memorandum from Cultural Heritage Section with comments on the earlier submission of this CHRIA, staff required a heritage evaluation of 9570 Keele Street as well.

The research findings of this CHRIA attribute little heritage significance to the properties at 9785 & 9797 Keele Street. They score low on their historical, environmental / contextual, and architectural values. There is not enough justification to recommend their re-assignment from a "non-heritage" to a "heritage" category within the Maple HCD. The 9560 & 9570 Keele Street properties are respectively a .27-acre (.109 ha) lot, and a .3- acre (.122 ha) lot that resulted from the subdivision of a historic 200-acre farm lot in the period between 1926 and 1948. The subdivided lots themselves cannot be associated with any historic figure, and have never functioned as landmark sites. The existing one and one & a half storey residential structures

within the property land assembly are in poor condition and do not fully represent unique stylistic features and construction techniques.

The low heritage values of the property at 9785 Keele Street, as well as the adjacent property at 9797 Keele Street, therefore do not preclude the redevelopment of this land assembly. However, such redevelopment should be compatible with the Maple HCD character by designing the proposal with appropriate regard to the District Design Guidelines.

This CHRIA report consults the applicable provincial and municipal documents, comprising widely-accepted standards, guidelines, and policies on heritage planning (see 1.2). It will form part of the development submissions by the owner and its other consultants related to their application for minor Official Plan Amendment (OPA), Zoning By-law Amendment (ZBA), Draft Plan of Subdivision (DPS), future Site Plan Application (SPA), and future Draft Plan of Condominium. This report will be subject to the review of Heritage Vaughan Committee ('HVC'), and ultimately, Council. This CHRIA report conforms to the requirements of the City of Vaughan's "Guidelines for Cultural Heritage Resource Impact Assessment Reports" ('GfCHRIA', Appendix A), with David Eckler, B.E.S., B.Arch., OAA, MRAIC of AREA (see Appendix H), being the primary author.

1.2 Reference Documents

The following provincial and municipal documents, comprising widely-accepted standards, guidelines, and policies on heritage planning, are consulted in this report:

- Ontario Heritage Act R.S.O 1990, Chapter O.18, with revisions up to 2009 ('OHA');
- Provincial Policy Statement, 2014 ('PPS') of the Planning Act, with revision up to 2014;
- Ontario Heritage Toolkit ('OHTK'), Ontario Ministry of Culture, 2006;
- City of Vaughan, Official Plan, 2010 ('OP');
- City of Vaughan, Guidelines for CHRIA, September 2012, ('GfCHRIA', Appendix A);
- City of Vaughan, Built Heritage Evaluation Form, 2005 (Appendix B);
- City of Vaughan, Heritage Inventory, n.d., (relevant pages, Appendix C);
- Village of Maple, City of Vaughan, Heritage Inventory, November 2005 (relevant pages, Appendix D);
- Village of Maple, Heritage Conservation District Study, February 2006 ('Study'); and,
- Village of Maple, Heritage Conservation District Plan, May 2007 ('Plan').

1.3 Photos & Site Investigation

On March 24, 2015, AREA Staff conducted site investigation, documentation, and review of the land assembly. The site photographs, contained and cited in this report, were taken by AREA, unless indicated otherwise. Archival and historical research was also undertaken based on pre-existing background information, including relevant Environmental Assessments, Geotechnical Studies, Cultural Heritage Reports, Land Registry Records, historical maps, aerial photographs, census records, and other published materials that relate to the subject property. The Phase One Environmental Site Assessment ('ESA') 9785 & 9797 Keele St., Vaughan, ON, by Try Environmental Services Inc., also provided the basis of ownership information.

2 PROPERTY CONTEXT AND HERITAGE STATUS

2.1 Property Description

The subject land assembly is comprised of three lot parcels, with two of them having street addresses, 9785 and 9797 Keele Street, and the third identified only as “Block 176”, PCL 176-1 SEC 65M2407 (Figures 1 and 2). The two southerly properties are currently occupied by two, one storey single detached residential dwellings. The lands are legally described as Part of Lot 19 Concession 3, 65R-34966, Part of Lot 19 Concession 3 Part 1 65R-35001 and PCL 176-1 SEC 65M-2407. The boundaries of this land assembly comprise the adjacent properties as follows: 9773 Keele Street the south; the properties at 30, 34, 38, and 42 St. Mark Drive on the east; 5 Barrhill Road on the north, and Keele Street on the west (Figure 2).



Figure 1 – Aerial Photo and Context of 9785-9797 Keele Street, annotated by AREA to show the boundaries of the subject properties, Base map obtained from: Google Maps, 2015. Google. accessed 19 March 2015. <maps.google.com>

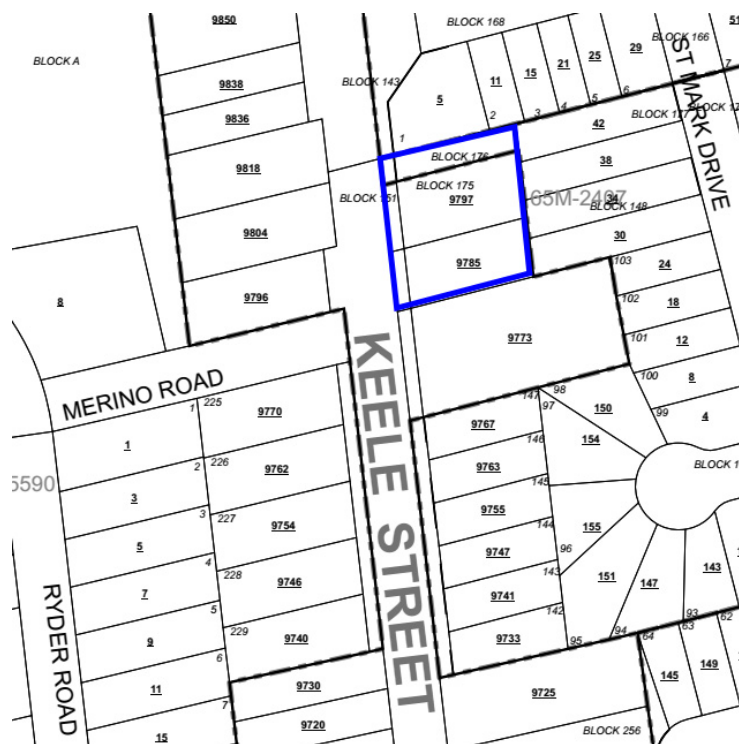


Figure 2 – Property Data Map and Context of 9785-9797 Keele Street, annotated by AREA to show the lot boundaries of the subject properties; Base map obtained from: Planning GIS Mapping, Concession Block 18. City of Vaughan, nd. PDF. accessed 19 March 2015.
<www.vaughan.ca>

The land assembly has site statistics described below in Table 1 and, in total, has a 58.1-metre frontage and a lot depth of 48.1 metres (Table 1). Its combined lot area is 0.279 hectares, with a developable area of 0.243 ha (Table 1). The two lots comprising the land assembly have single-detached residential houses at 1-1/2 storeys height.

Table 1 – Site Statistics of Land Assembly

	9785 Keele Street	9797 Keele Street	PCL 176-1	Land Assembly
Frontage	22.70 m	25.40 m	10.00 m	58.1 m
Lot Depth	48.1 m	48.1 m	48.1 m	48.1 m
Area (including road widening allowance)	0.109 ha	0.122 ha	0.048 ha	0.279 ha (0.243 ha excluding road widening allowance)

2.2 Heritage Status of Subject Properties

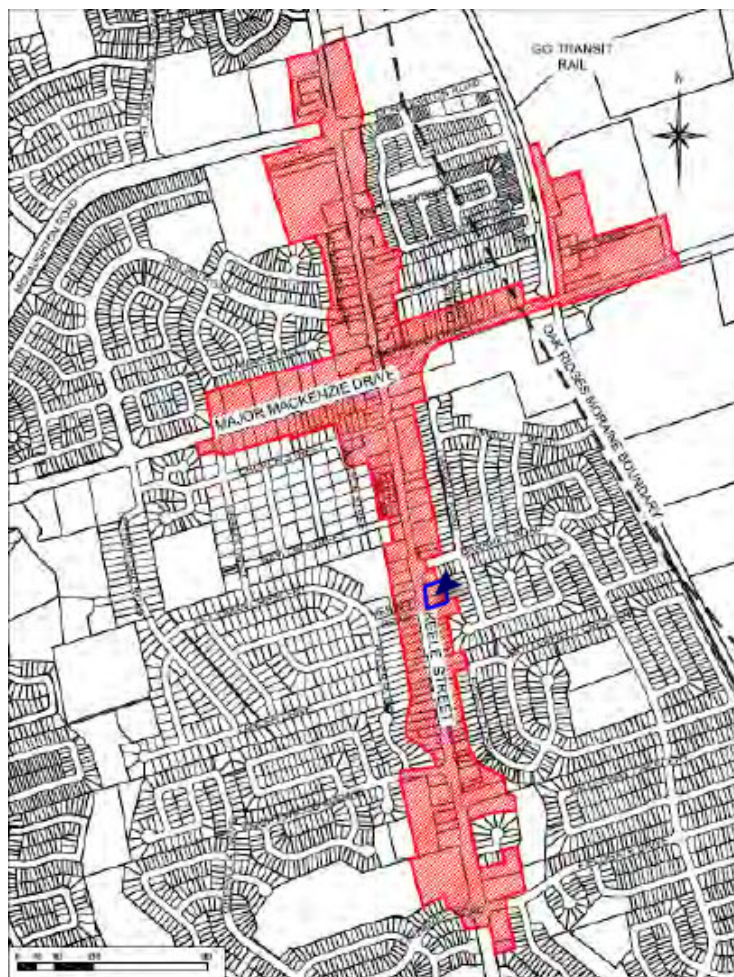


Figure 3 – Village of Maple Heritage Conservation District Map, 2007, annotated by AREA to show the approximate location of the subject properties within the Maple HCD.

Base map obtained from:
 Village of Maple Heritage Conservation District Plan, 2007, Volume 3. City of Vaughan, 2006-2007. PDF.
 19 March 2015.
www.v Vaughan.ca

Prior to the Maple HCD Study, the subject properties at 9785 and 9797 Keele Street were not individually listed in the City of Vaughan's Municipal Register of Cultural Heritage Resources ('Inventory'). However, both properties are located within the boundaries of the Village of Maple Heritage Conservation District ('Maple HCD', Figure 3), as approved by Council on December 6, 2006, through By-Law 366-2004. Both properties are therefore subject to the 2007 Village of Maple HCD Plan and Guidelines ('Maple HCD Plan', Volumes 1-3), under Part V of the OHA.

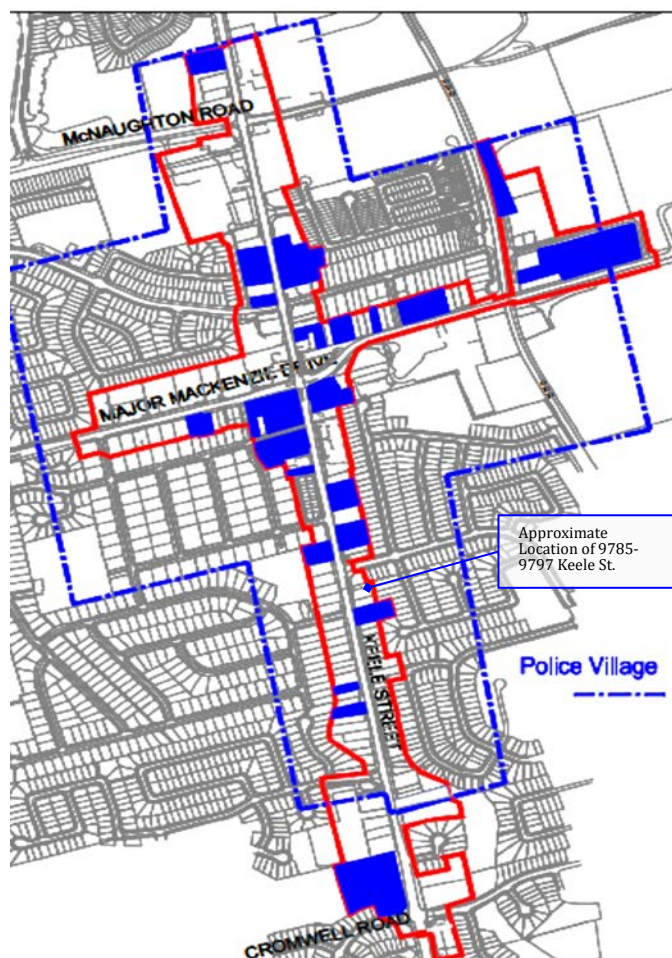


Figure 4 – Maple Heritage Conservation District Study Boundaries (Red, Solid Line), Police Village Boundaries (Blue, Dash Line), and Cultural Heritage Resources with Architectural and Historical Values (Blue, Shaded), 2007,

annotated by AREA to show location of properties, 9785-9797 Keele St.

Base map obtained from: Village of Maple Heritage Conservation District Plan, 2007, Volume 3. City of Vaughan, 2006-2007. PDF. 19 March 2015. <www.vaughan.ca>

The Maple HCD Plan includes 51 properties that were previously listed in the City’s Inventory, and 4 that were subsequently added due to their architectural and historical significance. These 55 properties comprise the “Heritage Buildings” within the Maple HCD. Under Section 2.4.2, “Objectives for Heritage Buildings” of the Maple HCD Vol. 3, the HCD’s Heritage Buildings are specifically identified on the map above (shaded in blue, Figure 4). The majority of other properties (not shaded, Figure 4) – including the subject lots, 9785 and 9797 Keele Street (identified by arrow, Figure 4) – were not “pre-listed” prior to the HCD, and were therefore categorized as “Non-Heritage Buildings.”

As properties that were neither identified nor pre-listed in the Municipal Heritage Inventory, the subject properties at 9785-9797 Keele Street, are among the majority of buildings within the Maple HCD. Such buildings are identified in the Maple HCD as “Non Heritage Properties”. Non-heritage properties do not possess sufficient historical, contextual, and architectural values to warrant individual listing or designation.

Of the two subject properties, only 9797 Keele Street was provided with a brief ‘property inventory’ as part of the HCD Plan (see Appendix D) based on exterior visual evaluation. This property inventory provided only a general overview, with photos and brief text under categories, ‘description’, ‘history’ (without sources), and ‘comments.’ No evaluation scoring system or

criteria grade was applied to either 9785 or 9797 Keele Street during this 'windshield' survey, conducted in 2005.

2.3 Criteria for Heritage Value

In consultation with City of Vaughan Heritage Planning Staff on May 12, 2014, in a conference call and e-mail correspondence (Appendix E) staff indicated that, out of the four addresses on the two developments, only the property at 9560 Keele Street required heritage evaluation. However, in a subsequent June 1, 2018 Memorandum from Cultural Heritage Section with comments on the earlier submission of this CHRIA, staff required heritage evaluations of 9785 & 9797 Keele Street as well.

This CHRA provides a brief heritage evaluation for the subject properties at 9785-9797 Keele Street. Typically, each property listed in a Municipal Heritage Inventory would be evaluated by City Heritage Staff according to the provincial criteria established in Ontario Regulation 9/06 under the OHA. A property must then possess at least one of the criteria to be considered as a "heritage property", versus a "non-heritage building". These two categories are among four categories of properties identified in the Maple HCD Plan (see 5.3 below). The provincial criteria categories for a "heritage property" are listed in the chart below:

Table 2 OHA Provincial Heritage Criteria

OHA O.Reg. 9/06 Criteria	Description of OHA Heritage Criteria
1. Historical or Associative Value	i. direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community ii. yields information that contributes to an understanding of a community or culture iii. demonstrates the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community
2. Contextual Value	i. defining, maintaining or supporting the character of an area ii. physically, functionally, visually or historically linked to its surroundings iii. a landmark
3. Design or Physical Value	i. rare, unique, representative or early example of a style, type, expression, material or construction method ii. high degree of craftsmanship or artistic merit iii. high degree of technical or scientific achievement

On June 21, 2005, the City's Commissioner of Community Services and the Commissioner of Planning, in consultation with the Director of Recreation and Culture and the Director of Policy and Urban Planning, sought City of Vaughan Council approval for the then proposed "Strategy for the Maintenance and Preservation of Significant Heritage Buildings" (Heritage Strategy Report or 'HSR').

This report explained that the 'Built Heritage Evaluation Form' ('BHEF', Appendix B) as found in Attachment 2 of the HSR was used as criteria to evaluate heritage buildings (Table 3 below). The BHEF was approved by Heritage Vaughan Committee at its meeting of May 18, 2005. Those

buildings rated 'very significant' or 'significant' were included in the final 'Listing of Building of Architectural and Historical Significance.'"

Upon the approval of the HSR on June 27, 2005, the BHEF then formed the standard evaluation criteria for the City's heritage buildings by assigning numerical points to a total of 8 sub-criteria, which, in essence, retained the 3 provincial criteria but expanded the category, 'Design or Physical Value' into 6 subcategories: 'Style', 'Construction', 'Age', 'Interior', 'Alterations', and 'Condition'.

Table 3 – City of Vaughan Criteria for Determining Cultural Heritage Value

1. HISTORICAL SIGNIFICANCE	
1.1. Historical Significance	Structure is associated with the life or activities of a person, group, organization or event significant to the history of Vaughan, or illustrative of the community's cultural social political, economic or industrial history.
2. ENVIRONMENT	
2.1. Environment/ Streetscape/ Community	Structure contributes to the continuity or character of the street, community, or area. Heritage buildings in a rural areas (i.e. former farm buildings), not yet developed or part of a Block Plan development, that have a good architectural rating should be rated for its community and/or contextual significance based on the criteria defined.
3. ARCHITECTURE	
3.1. Style	Good, notable, rare, unique, or early example of a particular architectural style or type. Exterior architectural style only should be evaluated. (i.e. change in roofline, skylights, additions, or removal of features, etc. that have changed the style of the building.)
3.2. Construction	Good, notable, rare, unique, or early example of a particular material or method of construction. (i.e.) log construction, pre-1850, stone, board on board construction, etc.)
3.3. Age	Comparatively old in the context of the City of Vaughan's architectural history.
3.4. Interior	Integrity of interior arrangement, finish, craftsmanship, and/or detail are particularly attractive or unique and/or still exist.
3.5. Alterations	Building has undergone minor exterior alterations, and retains most of its original materials and design features. Checklist includes: <ul style="list-style-type: none"> ▪ Original Exterior Siding 30% ▪ Windows/doors 30% ▪ Verandahs/trim 30% ▪ Foundation/location 10% ▪ Structural Plan (no modern or sympathetic additions) 10%
3.6. Condition	Exterior/interior of building is in good structural condition (i.e. evidence of decay in exterior siding, roof, or interior basement, wall surface, flooring, or ceiling, suggesting structure to be unsound.) Checklist: <ul style="list-style-type: none"> ▪ Exterior Siding/Gutters (cracks, spalling) ▪ Roof/Interior Ceiling/Gutters ▪ Flooring, unstable, depressions ▪ Interior Wall surface, cracks, etc ▪ Basement (leaks mold, dry or wet rot on beams)

Since no comprehensive heritage evaluation was conducted for the subject properties, this report will use the provincial criteria as incorporated into the BHEF, as applicable, to determine their cultural heritage significance to the community. For the purposes of this CHRIA, the BHEF will be used to evaluate 9560 & 9570 Keele Street to determine their cultural heritage significance to the community. Section 3 follows the BHEF in outline format to incorporate and to discuss research information that is relevant to each criteria.

3 HERITAGE EVALUATION OF PROPERTIES

3.1 Historical or Associative Value

3.1.1 Early History of the Original Farm Lot

Figure 5 – Village of Maple Survey Map, 1878, annotated by AREA to show the approximate location of the subject properties within the historic Village of Maple.

Base map obtained from Village of Maple Heritage Conservation District Plan, 2007, Volume 3. City of Vaughan, 2006-2007. PDF. 19 March 2015. <www.vaughan.ca>



The two house buildings, with present addresses 9785 and 9797 Keele Street, form part of the original McDonald family farm lot on the south portion of Lot 19 Concession 3 (annotated as "L19-C3", see Figure 5). The north part of L19-C3 is identified under the ownership of a "Jno. C" and a "McQuarrie" (see Figure 5), and would be the approximate location of the (later) St. Andrew's Presbyterian Church cemetery, which is beyond and on the north side of the subject properties.

The McDonald properties, were owned by a "Jn. McDonald" for the westerly portion, and "Jas. McDonald" for the easterly portion (Figure 5). The easterly and westerly portions form the block-wide concession lot – which would have been bounded by present-day Keele Street to the west and Dufferin Street to the east, with the Northern Railway Line dividing it in between (Figure 5). Records of the McDonald family were obtained from C.B. Robinson's "History of Toronto and County of York"¹, published in 1885. The book – which was distributed seven years after the issuance of the 1878 County Map – profiled a "James McDonald" of Lot 19 Concession 3 ("L19-C3"), and a "Donald McDonald" of Lot 24 Concession 6 ("L24-C6").

Donald McDonald of L24-C6 also resided on L19-C3 at a younger age. His relationship with John or James McDonald – annotated owners of L19-C3 in the 1878 County Map – is not certain but can be surmised. Donald McDonald was the only son of John Jr., and the only grandson of Sgt. John McDonald of the British Army who served during the Revolutionary War. Donald married Flora, whose maiden surname was also "McDonald." They had four children, being James Walter, William Oliver, John, Archana, and Norman. There is a possibility that the "James" and "John" from the County Map refer to Donald McDonald's sons. Donald, being born in 1835, would have been 43 years old when the 1878 County Map was drafted, while his sons would have been at least in their early 20s.

However, the C.B. Robinson book recorded the profile of another James McDonald, who resided on L19-C3, and was born in the year 1836 ("James-b.1836"). "James-b.1836" of L19-C3 is approximately the same age as (and could not be the son of) Donald McDonald. "James-b.1836"

¹ Excerpt from the History of Toronto and the County of York provided by Gillian Shaw, Archival Records Analyst of the City of Vaughan Archives

was the son of an Archibald McDonald – who shares the same name as the father of Flora McDonald (wife of Donald)2.

It is therefore presumed that this “Jn. McDonald”, owner of the easterly portion of L19-C3 is “James-b.1836”, brother of Flora McDonald, wife of Donald McDonald. On the other hand, John McDonald, or “Jn. McDonald”, owner of the westerly portion of L19-C3 could perhaps be the father of Donald, who as earlier mentioned, also resided on L19-C3. The relationship of Donald with “Jn. McDonald” is cued by the C.B Robinson book, which mentioned that the father (John) and grandfather (Sgt. John) of Donald resided and died on L19-C3.

The division of the original McDonald’s concession lots could not be traced, until the 1921 Census Data recorded L19-C3 belonging to a “George Keffer” (see Figure 6, 1921 Census Data). The next available 1952 Base Map (Figure 7) confirms that the previous McDonald property has already been subdivided, and was then built up with several new structures (marked as shaded boxes, Figure 7). By correlating landmarks and access roads with present-day maps, one of these built structures is identified by this CHRIA as the adjacent George Keffer House (“Keffer House”, currently with address, 9773 Keele St). As will be discussed (see 3.2.2), this Keffer House is individually “listed” in the City of Vaughan’s Heritage Inventory as a single property in addition to being part of the Maple HCD because it incorporates unique heritage attributes. A later Base Map, dating to 1968 (Figure 8), illustrates the Keffer House property (annotated as “22-0655”) being subdivided for subject properties, 9785 and 9797 Keele Street (annotated as “22-0560” and “22-0565” respectively, also see Figures 7-8).

Page 2

Enumerated by: *Charles*

Enumerator:

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NAME AND RESIDENCE		THIRD AND LAST OF NAME		PERSONAL DESCRIPTION		EDUCATION		OCCUPATION		BIRTH, DATE AND PLACE		RELIGION		MARRIAGE, DATE AND PLACE		MARRIAGE, DATE AND PLACE		MARRIAGE, DATE AND PLACE	
NAME	RESIDENCE	NAME	RESIDENCE	NAME	RESIDENCE	NAME	RESIDENCE	NAME	RESIDENCE	NAME	RESIDENCE	NAME	RESIDENCE	NAME	RESIDENCE	NAME	RESIDENCE	NAME	RESIDENCE
12-14	McDonald, George	12-14	McDonald, George	12-14	McDonald, George	12-14	McDonald, George	12-14	McDonald, George	12-14	McDonald, George	12-14	McDonald, George	12-14	McDonald, George	12-14	McDonald, George	12-14	McDonald, George
13-15	McDonald, George	13-15	McDonald, George	13-15	McDonald, George	13-15	McDonald, George	13-15	McDonald, George	13-15	McDonald, George	13-15	McDonald, George	13-15	McDonald, George	13-15	McDonald, George	13-15	McDonald, George
14-16	McDonald, George	14-16	McDonald, George	14-16	McDonald, George	14-16	McDonald, George	14-16	McDonald, George	14-16	McDonald, George	14-16	McDonald, George	14-16	McDonald, George	14-16	McDonald, George	14-16	McDonald, George
15-17	McDonald, George	15-17	McDonald, George	15-17	McDonald, George	15-17	McDonald, George	15-17	McDonald, George	15-17	McDonald, George	15-17	McDonald, George	15-17	McDonald, George	15-17	McDonald, George	15-17	McDonald, George
16-18	McDonald, George	16-18	McDonald, George	16-18	McDonald, George	16-18	McDonald, George	16-18	McDonald, George	16-18	McDonald, George	16-18	McDonald, George	16-18	McDonald, George	16-18	McDonald, George	16-18	McDonald, George
17-19	McDonald, George	17-19	McDonald, George	17-19	McDonald, George	17-19	McDonald, George	17-19	McDonald, George	17-19	McDonald, George	17-19	McDonald, George	17-19	McDonald, George	17-19	McDonald, George	17-19	McDonald, George
18-20	McDonald, George	18-20	McDonald, George	18-20	McDonald, George	18-20	McDonald, George	18-20	McDonald, George	18-20	McDonald, George	18-20	McDonald, George	18-20	McDonald, George	18-20	McDonald, George	18-20	McDonald, George
19-21	McDonald, George	19-21	McDonald, George	19-21	McDonald, George	19-21	McDonald, George	19-21	McDonald, George	19-21	McDonald, George	19-21	McDonald, George	19-21	McDonald, George	19-21	McDonald, George	19-21	McDonald, George
20-22	McDonald, George	20-22	McDonald, George	20-22	McDonald, George	20-22	McDonald, George	20-22	McDonald, George	20-22	McDonald, George	20-22	McDonald, George	20-22	McDonald, George	20-22	McDonald, George	20-22	McDonald, George
21-23	McDonald, George	21-23	McDonald, George	21-23	McDonald, George	21-23	McDonald, George	21-23	McDonald, George	21-23	McDonald, George	21-23	McDonald, George	21-23	McDonald, George	21-23	McDonald, George	21-23	McDonald, George
22-24	McDonald, George	22-24	McDonald, George	22-24	McDonald, George	22-24	McDonald, George	22-24	McDonald, George	22-24	McDonald, George	22-24	McDonald, George	22-24	McDonald, George	22-24	McDonald, George	22-24	McDonald, George
23-25	McDonald, George	23-25	McDonald, George	23-25	McDonald, George	23-25	McDonald, George	23-25	McDonald, George	23-25	McDonald, George	23-25	McDonald, George	23-25	McDonald, George	23-25	McDonald, George	23-25	McDonald, George
24-26	McDonald, George	24-26	McDonald, George	24-26	McDonald, George	24-26	McDonald, George	24-26	McDonald, George	24-26	McDonald, George	24-26	McDonald, George	24-26	McDonald, George	24-26	McDonald, George	24-26	McDonald, George
25-27	McDonald, George	25-27	McDonald, George	25-27	McDonald, George	25-27	McDonald, George	25-27	McDonald, George	25-27	McDonald, George	25-27	McDonald, George	25-27	McDonald, George	25-27	McDonald, George	25-27	McDonald, George
26-28	McDonald, George	26-28	McDonald, George	26-28	McDonald, George	26-28	McDonald, George	26-28	McDonald, George	26-28	McDonald, George	26-28	McDonald, George	26-28	McDonald, George	26-28	McDonald, George	26-28	McDonald, George
27-29	McDonald, George	27-29	McDonald, George	27-29	McDonald, George	27-29	McDonald, George	27-29	McDonald, George	27-29	McDonald, George	27-29	McDonald, George	27-29	McDonald, George	27-29	McDonald, George	27-29	McDonald, George
28-30	McDonald, George	28-30	McDonald, George	28-30	McDonald, George	28-30	McDonald, George	28-30	McDonald, George	28-30	McDonald, George	28-30	McDonald, George	28-30	McDonald, George	28-30	McDonald, George	28-30	McDonald, George
29-31	McDonald, George	29-31	McDonald, George	29-31	McDonald, George	29-31	McDonald, George	29-31	McDonald, George	29-31	McDonald, George	29-31	McDonald, George	29-31	McDonald, George	29-31	McDonald, George	29-31	McDonald, George
30-32	McDonald, George	30-32	McDonald, George	30-32	McDonald, George	30-32	McDonald, George	30-32	McDonald, George	30-32	McDonald, George	30-32	McDonald, George	30-32	McDonald, George	30-32	McDonald, George	30-32	McDonald, George
31-33	McDonald, George	31-33	McDonald, George	31-33	McDonald, George	31-33	McDonald, George	31-33	McDonald, George	31-33	McDonald, George	31-33	McDonald, George	31-33	McDonald, George	31-33	McDonald, George	31-33	McDonald, George
32-34	McDonald, George	32-34	McDonald, George	32-34	McDonald, George	32-34	McDonald, George	32-34	McDonald, George	32-34	McDonald, George	32-34	McDonald, George	32-34	McDonald, George	32-34	McDonald, George	32-34	McDonald, George
33-35	McDonald, George	33-35	McDonald, George	33-35	McDonald, George	33-35	McDonald, George	33-35	McDonald, George	33-35	McDonald, George	33-35	McDonald, George	33-35	McDonald, George	33-35	McDonald, George	33-35	McDonald, George

Figure 6 – 1921 Census Data, obtained from Ancestry.ca, with Family No. 18, showing George Keffer as “Head” of family, and occupying Lot 19 Concession 3 of the Vaughan Township.

² The family tree of the Donald-Flora McDonald union was obtained from and verified by different sources, including Ancestry.ca, Ryeland Family Genealogy, and the 1901 Census of Canada.

HERITAGE EVALUATION OF PROPERTIES

9785 and 9797 Keele St., Vaughan, Ontario
Location : Village of Maple Heritage Conservation District

Cultural Heritage Resource Impact Assessment
Date: 22 April, 2019

Figure 7 – Lot 16 to 20, Concession 3, Village of Maple Base Map, 1952³, annotated by AREA to show the approximate location of surrounding landmarks, and the subject properties within the Maple HCD.

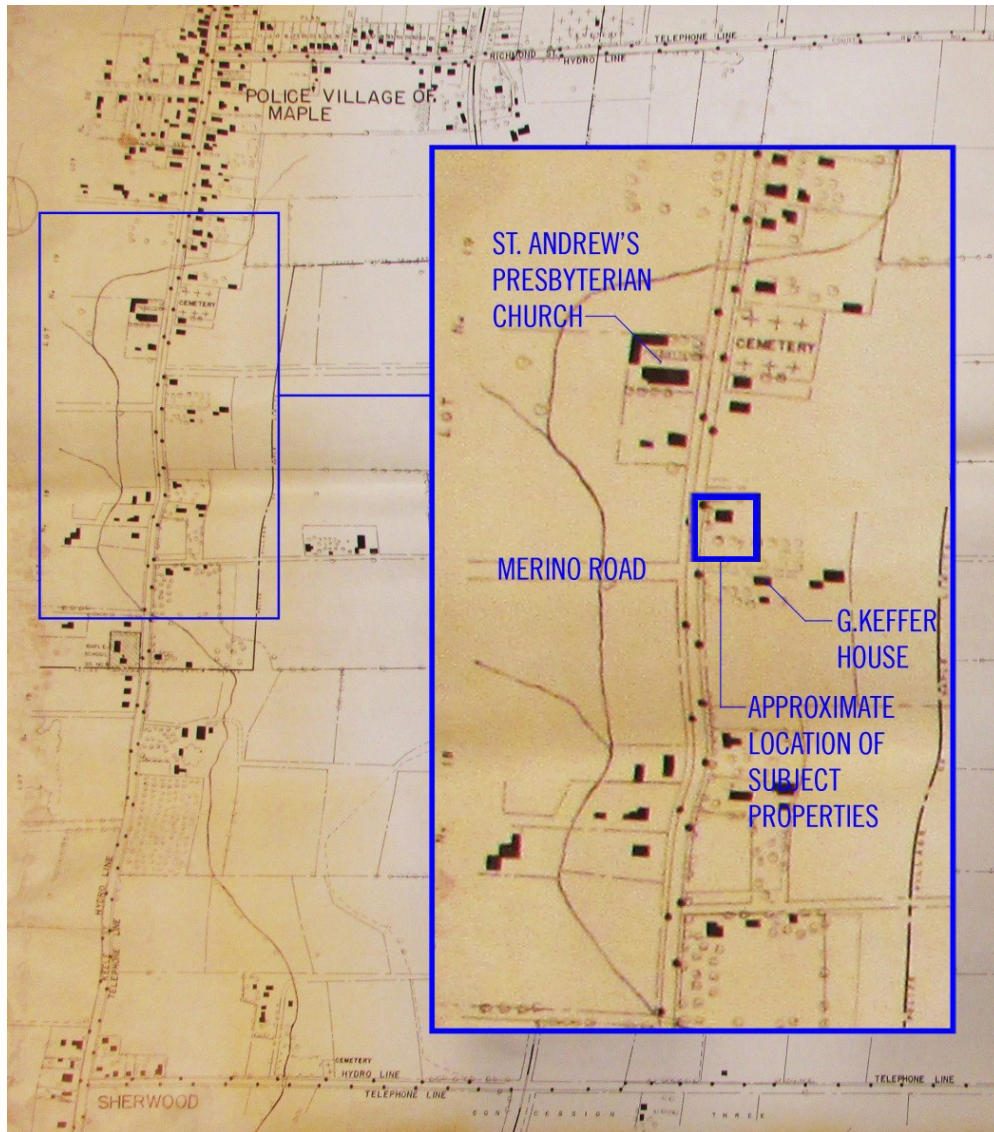
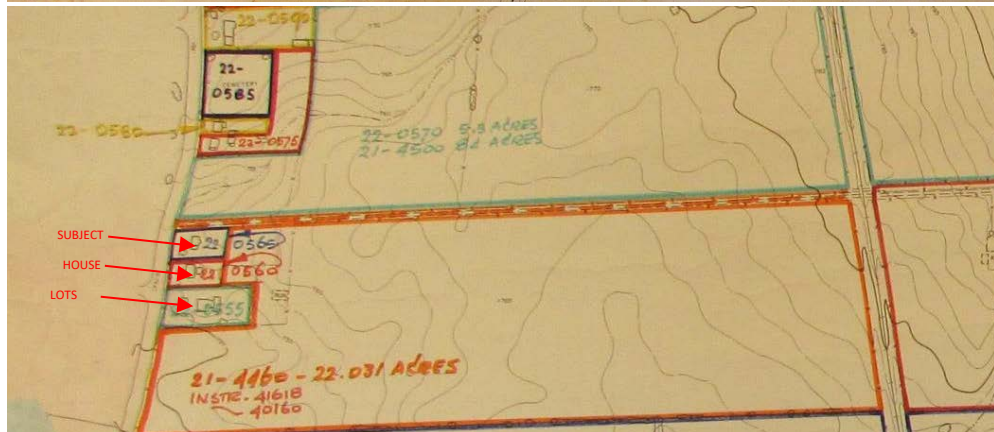


Figure 8 – Lot 16 to 20, Concession 3, Village of Maple Base Map, 1968, annotated by AREA to show the approximate location of surrounding landmarks, and the subject properties within the Maple HCD.



³ Base map obtained from Gillian Shaw, Archival Records Analyst of the City of Vaughan Archives, sent to AREA in a March 30 e-mail.

3.1.2 Severance & Ownership of House Lots

With respect to the creation of the house lots of addresses 9785 & 9797 Keele St., the severance into these properties appears to have occurred after 1948 based on the title search from the ESA report. The Chains of Title for both house lots (Figures 9 & 10) show, in common, the farm-lot ownership by the John McDonalds (probably father and son) between 1814 and 1889 and the transfer to George Keffer (sometimes incorrectly written in the land registry as “Keefer”) from 1895 to 1926. The next owners were Annie, Robert and Janet Walkington from 1926 to 1948 and then Agnes Witherspoon from October 1948 for different periods for each lot. At this point the owners and their length of ownership diverges between the two lots. Agnes Witherspoon is identified as the owner under both addresses but for different periods, extending to 1953 and 1965 respectively for 9785 and 9797 Keele St. This owner presumably bought the larger land holding, the Keffer farm or some portion thereof, and severed it into the subject house lots sometime following her purchase in 1948. The earliest that either house could have been constructed would have been in 1949. The dating of the construction of the two houses can be determined from a review of York Region’s aerial photographs which were also included in the properties’ ESA. The subject parcel can be seen in 1946 (Figure 11) as vacant and agricultural land and in 1954 (Figure 12) with the two homes having been built. Interms of the sequence of their construction, the 1952 Village of Maple map (Figure 7) shows a house at 9797 Keele St. without a counterpart house to the south as yet. It can therefore be concluded that the homes were built in the period 1949-1952 at 9797 Keele St. and 1951-1953 at 9785 Keele St., the latter having been sold in 1953.

Since the 9797 Keele St. house was built earlier and owned longer by Agnes Witherspoon it was likely her own residence up until her death. The 1965 sale of this house registered the vendor as Agnes Witherspoons estate. The 9785 Keele St. house appears to have been built and severe from the Witherspoon’s property, probably for its financial benefit. The land registry references Township of Vaughan by-law for “subdivision control” which would presumably relate to this severed house lot. In summary, the physical structures, comprising subject property lots, 9785 and 9797 Keele Street, cannot be directly associated to any of the above-mentioned historical figures see (3.1.1) related to the nineteenth century farmstead.

3.1.3 Assessment of Historical Value

In conclusion, the subject properties cannot be associated with *any* of the members of the original farm lot owner families of John McDonald or George Keffer, who would have been part of the early settlement of the Village of Maple, as summarized in Table 4 below.

Several other factors demonstrate that these properties do not possess historical value:

- The McDonald family settlers owned the historic concession lot, which contained the subject properties. This concession lot was then purchased by George Keffer, from which the subject properties were later severed (c.1953).
- The creation of these lots and the construction of these houses is now confirmed as occurring from 1949 to 1953 and therefore does not reflect the nineteenth century, early twentieth century or “interwar stage” of Maple’s development.

HERITAGE EVALUATION OF PROPERTIES

9785 and 9797 Keele St., Vaughan, Ontario
Location : Village of Maple Heritage Conservation District

Cultural Heritage Resource Impact Assessment
Date: 22 April, 2019

- The subject properties' association with George Keffer is merely transactional in that his estate sold the land broader holdings in 1926 from which, about three decades later, the subject house lots were severed (Figures 9 & 10). The subsequent houses were built by the land purchaser, Agnes Witherspoon, and have no connection to George Keffer or his family.
- George Keffer's historical association with the early history of Maple derives from his founding of the Maple Artificial Breeding Association (later becoming United Breeders Inc.). However, historical value is not imparted to these lands solely as a result of George Keffer's ownership thirty years ending in 1926.

Table 4 – Assessment of Historical Value, 9785 & 9797 Keele St.

HISTORICAL SIGNIFICANCE	EVALUATION CRITERIA	GRADING	COMMENTS
Structure is associated with the life or activities of a person, group, organization, or event significant to the history of Vaughan, or illustrative of the community's cultural social political, economic or industrial history.	<p>E – Individual, group, event, or site of primary significance to the surrounding community. (Political official, prominent community member, religious leader, significant site or landmark in history of Vaughan)</p> <p>VG – Individual, group, event, or site of some significance to the surrounding community. (Owner or family was long-standing member/s of the community.)</p> <p>M – Individual, group, event, or site of minor or little significance to the surrounding community (No historical background on structure or individual that built structure or family.)</p> <p>F/P – Site, structure, has no significance to Vaughan's History</p>	<p>E – 5</p> <p>VG – 3</p> <p>M – 2</p> <p>F/P – 0</p>	<p>The properties only form 0.28 ha out of the original 80.94 ha, or 200 acres (or more) of the McDonald family's farm lot during the historic period of the Village of Maple. The subject property was among the undeveloped portions of the block-wide land parcel, which was later subdivided and transferred to others, George Keffer and the Walkington family before being subdivided.</p> <p>The extant structures on the properties, resulted from the lot subdivision in 1953 and afterward. The structures, therefore, do not bear any historical association to the McDonald or Keffer families or to any of its prominent members, who are associated with the original nineteenth century farmstead. Also, the structures do not possess significant site or landmark stature.</p>

HERITAGE EVALUATION OF PROPERTIES

9785 and 9797 Keele St., Vaughan, Ontario
Location : Village of Maple Heritage Conservation District

Cultural Heritage Resource Impact Assessment
Date: 22 April, 2019

CHAIN OF TITLE REPORT				
Project #	18-3083	Searched at:	Aurora	
Address:	9785 Keele Street, Maple	LRO #:	65	
Legal Description:	Part Lot 19 Con 3 Vaughan Part 1, 65R34966			
PIN:	03339-1110 (LT)			
INSTR #	DOC. TYPE	REG. DATE	PARTY FROM	PARTY TO
	Patent	04 03 1814	Crown	John ROSS
2269	Deed	06 03 1814	John Ross	John MacDONALD
303	Deed	07 07 1869	John MacDonald - Estate	Isaac Peter BAUGH
304	Deed	07 07 1869	Isaac Peter Baugh	John McDONALD
5005	Deed	13 04 1889	John McDonald - Estate	David MARWOOD
8089	Deed	01 04 1895	David Marwood	George KEEFER
14291	Deed	03 03 1926	George Keefer - Estate	Annie WALKINGTON, Janet WALKINGTON & Robert WALKINGTON
23748	Deed	16 10 1948	Janet Walkington Annie Walkington - Estate Robert Walkington - Estate	Agnes E. WITHERSPOON
29751	Deed	15 06 1953	Agnes E. Witherspoon	Sarah FOREST & Oliver FOREST
72943	Deed	28 09 1973	Sarah Forest & Oliver Forest	Sarah FOREST
270552	Deed	01 05 1981	Sarah Forest - Estate	Dragica RISTICH
273854	Deed	16 05 1981	Dragica Ristich	Rose WEIDINGER
383448	Deed	12 11 1985	Rose Weidinger	Concetta FIORITTO
R413120	Deed	17 10 1986	Concetta Fioritto	Nick D. MATTEO
R481807	Deed	09 09 1988	Nick D. Matteo	Maple View Holdings Ltd.
YR453496	Deed	14 04 2004	Maple View Holdings Ltd.	Luigi AMENDOLA
YR1338656	Deed	03 07 2009	Luigi Amendola	Robert AMENDOLA
YR1338657	Deed	03 07 2009	Luigi Amendola	Maria GALEA
YR1878282	Name Change	30 08 2012	Robert Amendola	Robert MONTESANO
YR1878283	Deed	30 08 2012	Robert Montesano	Vito MONTESANO & Antonietta MONTESANO
YR1878284	Deed	30 08 2012	Maria Galea	Vito MONTESANO & Antonietta MONTESANO
YR2191378	Deed	24 09 2014	Vito Montesano & Antonietta Montesano	Centra (Keele) Inc.
YR2578904	Name Change (Present Owner)	16 11 2016	Centra (Keele) Inc.	Laurier Harbour (Keele) Inc.

Figure 9 – Chain of Title Report, 9785 Keele St., ESA

HERITAGE EVALUATION OF PROPERTIES

9785 and 9797 Keele St., Vaughan, Ontario
Location : Village of Maple Heritage Conservation District

Cultural Heritage Resource Impact Assessment
Date: 22 April, 2019

CHAIN OF TITLE REPORT				
Project #	18-3083	Searched at:	Aurora	Page 1
Address:	9797 Keele Street, Maple	LRO #:	65	
Legal	Part Lot 19 Con 3 Vaughan			
Description:	Part 1, 65R35001			
PIN:	03339-1111 (LT)			
INSTR #	DOC. TYPE	REG. DATE	PARTY FROM	PARTY TO
	Patent	04 03 1814	Crown	John ROSS
2258	Deed	05 03 1814	John Ross	John MacDONALD
303	Deed	07 07 1869	John MacDonald - Estate	Isaac Peter BAUGH
304	Deed	07 06 1869	Isaac Peter Baugh	John McDONALD
5005	Deed	07 06 1869	John McDonald - Estate	David MARWOOD
6099	Deed	01 04 1895	David Marwood	George KEEFER
14291	Deed	03 03 1926	George Keefer - Estate	Annie WALKINGTON, Janet WALKINGTON & Robert WALKINGTON
23748	Deed	16 10 1948	Janet Walington Annie Walkington - Estate Robert Walkington - Estate	Agnes E. WITHERSPOON
VA56304	Deed	29 10 1986	Agnes E. Witherspoon - Estate	Domenico SAVO SARDARO & Cesira SAVO SARDARO
YR26928	Deed	26 07 2001	Domenico Savo Sardaro - Estate	Cesira SAVO SARDARO
YR2045110	Deed	09 10 2013	Cesira Savo Sardaro	Daylan Holdings Inc.
YR2191374	Deed	24 09 2014	Daylan Holdings inc.	Centra (Keele) Inc.
YR2578904	Name Change (Present Owner)	16 11 2016	Centra (Keele) Inc.	Laurier Harbour (Keele) Inc.

Figure 10 – Chain of Title Report, 9797 Keele St. , ESA



Figure 11 – Aerial Photograph 1946, area surrounding 9785-9797 Keele St., ESA.



Figure 12 – Aerial Photograph 1954, area surrounding 9785-9797 Keele St., ESA.

3.2 Contextual Value

3.2.1 The Village of Maple

- c. 1829 • In the first half of the 19th century, the historic Village of Maple was a budding settlement area that was undeveloped in comparison to the more prosperous Villages of Teston and Sherwood nearby (Figure 13). Originally, the main road ran on the east-west direction, with one of the earliest establishment, being an 1829 Presbyterian church (now demolished), built by Scottish settlers.
- c. 1848 • Later developments along present-day Keele Street were concentrated where the street intersects with east-west roads that offered alternate routes to what was then an inaccessible swamp. The Noble family, for example, settled around the intersection of present-day Keele Street and Major Mackenzie Drive, while the Rupert family's estate was in close proximity to the intersection of Keele Street and Cromwell-Fieldgate Drives. These founding settler families inspired the early references to the Village (c.1848) as "Noble's Corners", "Nobleville", or "Rupertsville."
- c. 1852 • In 1852, Joseph Noble was appointed as the first postmaster to the "Maple" post office. At that time, the village experienced the opening of several local businesses, such as a blacksmith shop, a sawmill, a photo studio, a rope factory, and even two hotels.
- c. 1853 • In 1853, the railway station of the Northern Railway was located in the eastern section of Maple, which began to prosper. Its first bank, the Sterling Bank, was built during the same year. Other businesses, such as a liquor store, shoemakers' shops emerged.
- 1904-1928 • In 1904, the railway station was burned and then rebuilt by Ontario-Huron-Simcoe Railway (later called the Canadian National Railway) as the "Maple Station." New banks emerged. By 1910, telephone services and motor vehicles were made available to local businesses and residents. Hydro services were installed around 1914, and a community hall was built in 1921. In 1928, the Village of Maple found an increase in its population to 2,000. The area then became a self-regulating and self-financed "Police Village" (Figure 14).

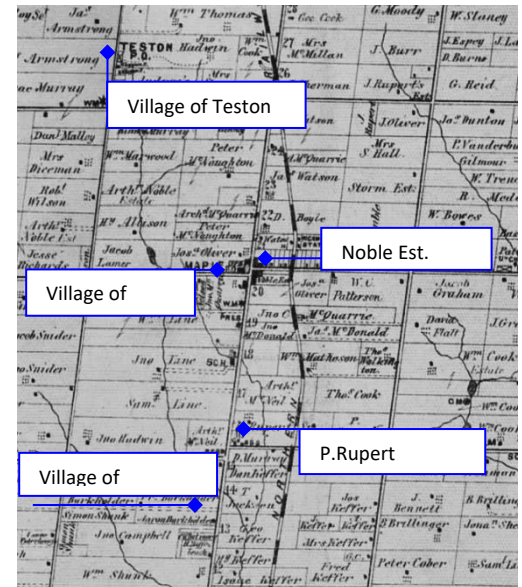


Figure 13 – County Map of the City of Vaughan, 1879 annotated by AREA ; Base map obtained from: 1880 Map of Ontario Counties: The Canadian County Atlas Digital Project. McGill University, 2001. Web. Accessed 06 April 2015. <<http://digital.library.mcgill.ca/countyatlas/>>



Figure 14 – Village of Maple, Fire Insurance Map, 1928, (subject properties not shown); Base map obtained from: Village of Maple Heritage Conservation District Plan, 2007, Volume 3. City of Vaughan, 2006-2007. PDF. 19 March 2015. <www.vaughan.ca>

1930s-1960s • In 1945, the Maple Artificial Breeding Association set up the first successful artificial breeding plant through the leadership of its Board of Directors, with G.W. Keffer as President. The plant was established on a one-acre land parcel, purchased from the G. Bailey property. The Association expanded its membership to include York and Simcoe Counties, and then worldwide. It later became the United Breeders Inc. of Guelph.

• It was not until 1968-1969 that the Toronto and York Road Commissions improved and paved Keele Street. Prior to this, the area remained rural. Built structures (shaded in blue, Figure 15) were still concentrated within the boundaries of the historic Village of Maple, around the intersection of Keele Street and Major Mackenzie Drive, while other built structures were dispersed on the south and east ends of the larger Police Village (Figure 15).

1960s-1980s • In 1962, a big explosion at an Industrial Propane Depot within the Village of Maple damaged many homes and buildings. Perhaps as a result of this incident, house construction, which included replacement homes, increasing significantly in the 1960s (Figure 16 & 22).

• Between the 1960s and 1980s, residential subdivision developments began to fill in vacant land parcels within the Police Village, such as the Gram and Naylor area (see Figure 16, annotated as 'A'), the Railway and Simcoe area, ('B') and the Goodman Crescent area ('C'). The Gram and Naylor area, established in the 1960s, is characterized by 20-m x 50-m property lots, built with single detached bungalows at approximately 1- and 1-1/2- storeys with low-sloped roofs and wide eaves (area 'A'). This lot and house form was adopted and could still be observed on the immediate east side of Keele Street, where the Village of Maple's (east) boundary is opposite the Gram and Naylor area.

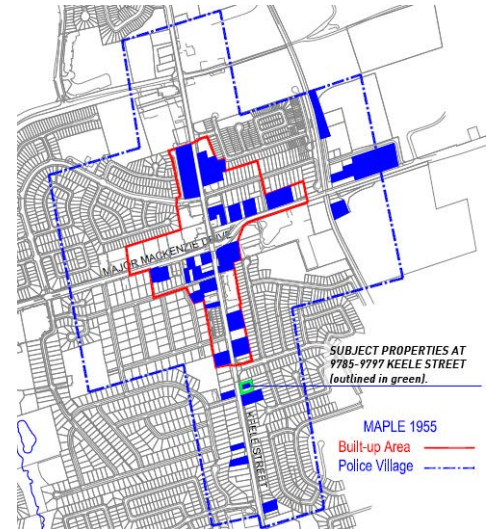


Figure 15 – Village of Maple, 1955, annotated by AREA to show approximate location of the subject properties; Base map obtained from: Village of Maple Heritage Conservation District Plan, 2007, Volume 3. City of Vaughan, 2006-2007. PDF. 19 March 2015. <www.vaughan.ca>

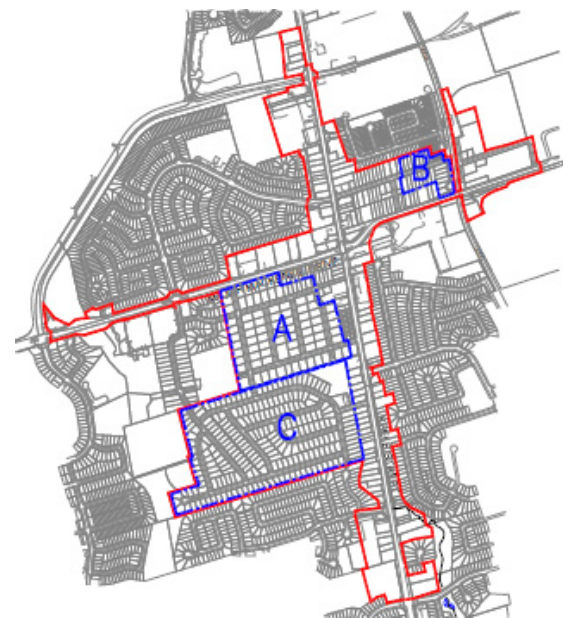


Figure 16 – Village of Maple and Subdivision Developments within the Police Village, Post-1955.

Base map obtained from: Village of Maple Heritage Conservation District Plan, 2007, Volume 3. City of Vaughan, 2006-2007. PDF. 19 March 2015. <www.vaughan.ca>

- 1980s-1990s • Two-storey suburban residences later became popular, and were built on new subdivision sites, such as those within the Railway-Simcoe (area 'B', Figure 16) and Goodman Crescent areas (area 'C', Figure 16). This two-storey house form, with an approximately 12-m x 20-m building footprint, was sited on 15-m x 45-m infill lots, and can be mostly found on the west side of Keele Street within Maple. These 1980s houses changed the built proportions of the village with large structures leaving limited greenery on their lots and reducing property distances or setbacks.
- c.2000-present • Around 1995, two-storey suburban homes were built as semi-detached houses that replaced a series of adjacent 1960s bungalows. As the area continues to be attractive for new residents, especially with its close proximity to the City of Toronto, new developments started to emerge, mostly in the form of low-rise, multi-residential complexes (e.g. townhouse complexes).
- 2006-Present, The Village of Maple Heritage Conservation District • In the 2006 Maple HCD Study, the boundaries of the Village of Maple, now officially termed as the "Village of Maple Heritage Conservation District", were determined based on Maple's rich history and development patterns (Figures 13-17). The boundaries excluded post-war housing developments after 1955 (Figure 16), and includes the following areas (Figure 18):
- the properties along Keele Street and Major Mackenzie Drive, up to the boundaries of the historic Police Village;
 - beyond the northern boundaries of the historic Police Village, up to Hill and Station Streets, to include the cemetery and the railway station;
 - beyond the southern boundaries of the historic Police Village to include the historic Village of Sherwood, located at the four corners of Sherwood Sideroad, or the present-day Rutherford Road and Keele Street; and
 - the individually designated 9470 Keele Street property, which is a City-owned public park, containing the Frank Robson Log House.



Figure 17 – Aerial Photograph of Keele and Barrhill, c. 1960s, annotated by AREA to show approximate location of subject properties; Base map obtained from Gillian Shaw, Archival Records Analyst, City of Vaughan Archives, City Clerk's Office

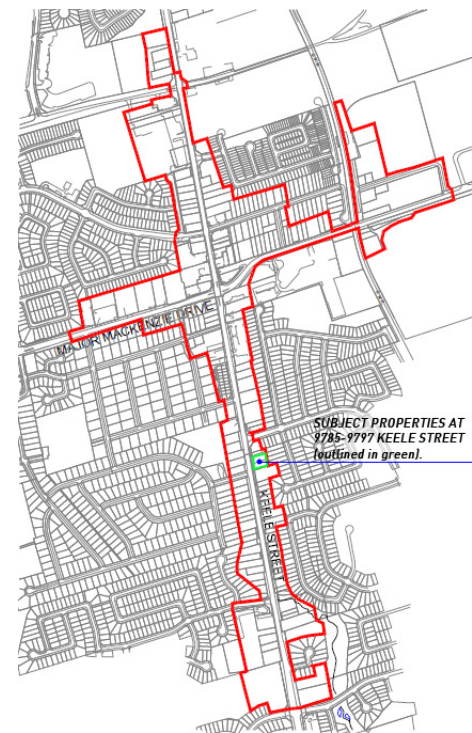


Figure 18 – Village of Maple, Heritage Conservation District Established Boundaries, 2007, annotated by AREA to show approximate location of subject properties at 9785-9797 Keele St.

2006-
 Present,
 The Village
 of Maple
 Heritage
 Conservatio
 n District
 (cont'd)



Figure 19 – View N of Keele St. & Kelly Pl, Showing Tree Streetscape; Photo taken by AREA, 2015.



Figure 20 – View N-W of Keele St. & Naylon St. Showing Stream; Photo taken by AREA, 2015.

Section 1.6 of the 2006 Maple HCD Study outlined the District's evident heritage character based on its 2003 Heritage Review. Observed themes include, and are summarized as follows:

- a. variety of street setbacks;
- b. mixture of built forms;
- c. gaps on its streetwall;
- d. presence of historically significant structures with pedestrian-friendly scale;
- e. new developments with historic precedence;
- f. individualized landscaping, limited commercial signage; and
- g. overall, one of the few remaining islands of Vaughan's rural heritage.

The present-day are subject to the Maple HCD remains consistent in its village landscaping through its generally flat topography, with gradual slope changes, and a stream that intersects Keele Street (Figures 19 and 20). The streetscape is also regularly interspersed with trees, which obscure the street view of some built structures.

3.2.2 Immediate Context of the Subject Properties

While the overall context of the Maple HCD was discussed in the subsection 3.2.1, this subsection seeks to identify and to assess the “immediate context” of the subject properties at 9785-9797 Keele Street. The immediate context was identified by AREA to include Maple HCD properties that are approximately 500 metres away from the subject properties. This 500-metre distance is sometimes used as a guideline for the scope of urban design assessments, and is adapted in this CHRIA to determine the area that may be impacted by the subject development proposal. The immediate context includes Keele Street facing properties from 9690/9675 Keele Street to the south of the subject properties up to 9920/9901 Keele Street to the north of the subject properties.

The maps from Figures 21-25 graphically present the assessment of the immediate context. These maps made use of the City of Vaughan’s Concession Block 18 Map, annotated to present the research results for the chronological building periods of the area. The information presented on these maps was derived from available base maps and aerial photographs from the 1960s to the present, as well as the 2005 Maple HCD Inventory and the City of Vaughan’s List of Heritage Properties.

The City’s Concession Block 18 Map has been used as the mapping base for the figures describing the immediate context – but with some caveats. It should be noted that the various documents may indicate different municipal addresses for the same building or property. For example, differences in street numbers occur between the HCD Inventory / Block 1 & Map respectively for addresses 9833/9837, 9846/9850 and 9854/9860. Furthermore, it does not reflect changes in addresses as a result of merging, severance or redevelopment of lots some occurring since the issuance of the Maple HCD Inventory in 2005. For example, redevelopment of some of the lots have created additional or fewer street numbers between the HCD Inventory/ Block 18 Map for addresses 9715-9721/9715, 9818-9824/9818 and 9834/9836-9838. The Concession Block 18 Map (vs. the Maple HCD Study) is considered as the governing reference for municipal addresses because of its later issuance (updated in 2015).

Building photos presented in this subsection are derived from the 2005 Maple HCD Inventory as they clearly depict the overall profile of the built structures. However, some photos, as annotated, are from Google-Earth or were taken by AREA staff from a site visit conducted on March 24, 2015.

(A). 1860s-1920s Building Period

Within the immediate context, buildings that already existed prior to World War II (or up to early twentieth century) are presented in one map, annotated as “1860s-1920s” (see Figure 21). It could be noted that the built structures within this 60-year period reflect the following unifying characteristics:

- a. Varied lot widths and depths;
- b. Predominance of gable-form structures;
- c. red or buff bricks, sometimes used together to create dichromatic built forms,
- d. clapboard siding;
- e. exterior decorative accents, using contrasting masonry bricks, or wood trims;
- and
- f. a three-bay plan.

These 1860s-1920s buildings (yellow shaded lots) were already individually listed in the City of Vaughan’s 2005 Heritage Inventory with the exception of 9690 Keele St., and 9796 Keele St. (orange shaded lots) which were not on the Inventory prior to their inclusion and designation as part of the Maple HCD. The former individual pre-listing, except for those two identified exceptions, indicates their significant cultural value, resulting in their identification as “heritage properties” (versus “non-heritage properties”) within the Maple HCD.

Cultural value is determined based on the assessment of the properties’ context, history, associations, and architecture. The unifying physical characteristics of these 1860s-1920s properties are predominantly Victorian Gothic in style, and are directly contributing to the uniqueness of the Maple HCD (see character-defining elements, subsection 3.2.1a-3.2.1.f of this CHRIA report). In subsection 2.1 of the Maple HCD Plan Volume 2, these heritage properties were identified to "provide a general outline of the shape of the old village settlement, which was mostly located along the main roads of Keele Street and Major Mackenzie Drive."



Figure 21 – Context Map, 1860s-1920s.

(B). 1930s-1950s Building Period

The Village of Maple still appears rural in the 1930s-1950s period because Keele Street was still unpaved until 1968-69. There are relatively few houses along Keele Street within the immediate context dating from this period – only 6 including the subject houses. All of the houses date from 1950s according to aerial photographs (Figures 11 & 12). The one minor exception would be the subject house of 9797 Keele Street whose construction might have occurred at the tail end of the 1940s. Those houses represent interspersed infill homes reflecting an early suburban creep from the expanding GTA. This sporadic infill residential construction was the first step towards the more intense suburban movement of 1960s and thereafter. These housing characteristics are distinguished by:

- Varied lot widths and depths;
- one-to one-and-a-half storey houses;
- mostly high-pitched gable roofs with minimal eaves;
- cladding in brick and wood siding; and
- no garage or later detached garage.

These 1950s houses represent suburban architectural styles including the Bungalow, Ranch and Victory Styles. Three of these houses (9707, 9797 & 9818 Keele St.) reflect a simple Cape Cod revival style which was prevalent in this period and, in some cases, morphed into what became known in Ontario as the Victory Style. The Victory Style will be discussed further in subsection 3.3.1 below and is more commonly found in subdivisions nearby and to serve wartime factories, e.g. Victory Village, Malton (Mississauga), instead of a single, one-off infill house.

(C). 1960s-1970s Building Period

The Village of Maple remained rural until the 1960s when it experienced a construction boom for new subdivision developments (Figure 23). This 1960s subdivision housing is distinguished by:

- Standardized lot profiles with similar lot widths, depths, and setbacks,
- deep front yards with individualized landscaping,
- one- to one-and-a-half storey houses with strong emphasis on horizontality,
- low-pitched roofs with large overhangs,
- application of brick materials, combined (or replaced) with siding,
- at least one large picture window, and
- an attached garage.

These 1960s structures reflect suburban architectural styles, which may include Bungalows and Ranch styles. Most of these styles were introduced post World War II by home builders who used “pre-fabricated” or existing floor templates. They were catered to attract middle income families in a car-based suburb.



Figure 22 – Context Map, 1930s to 1950s



Figure 23 – Context Map, 1960s to 1970s

(D). 1980s-2010 Building Period

Beginning in the early 1980s, some 1960s bungalows were replaced by two-storey infill homes (Figure 24) that could be distinguished by:

- a. grand single-family dwellings on small lots, some of which were built on severances from, or infill lots between mid-century and 1960s property lots (i.e. 9730 Keele Street),
- b. limited greenery in small yards,
- c. building-to-lot configurations with minimum setbacks, and
- d. no formal architectural style, eclectic combination of features derived from different building periods.

This two-storey infill house form is still applicable to recent developments, but are designed with higher densities with semi-detached houses or townhouse complexes.

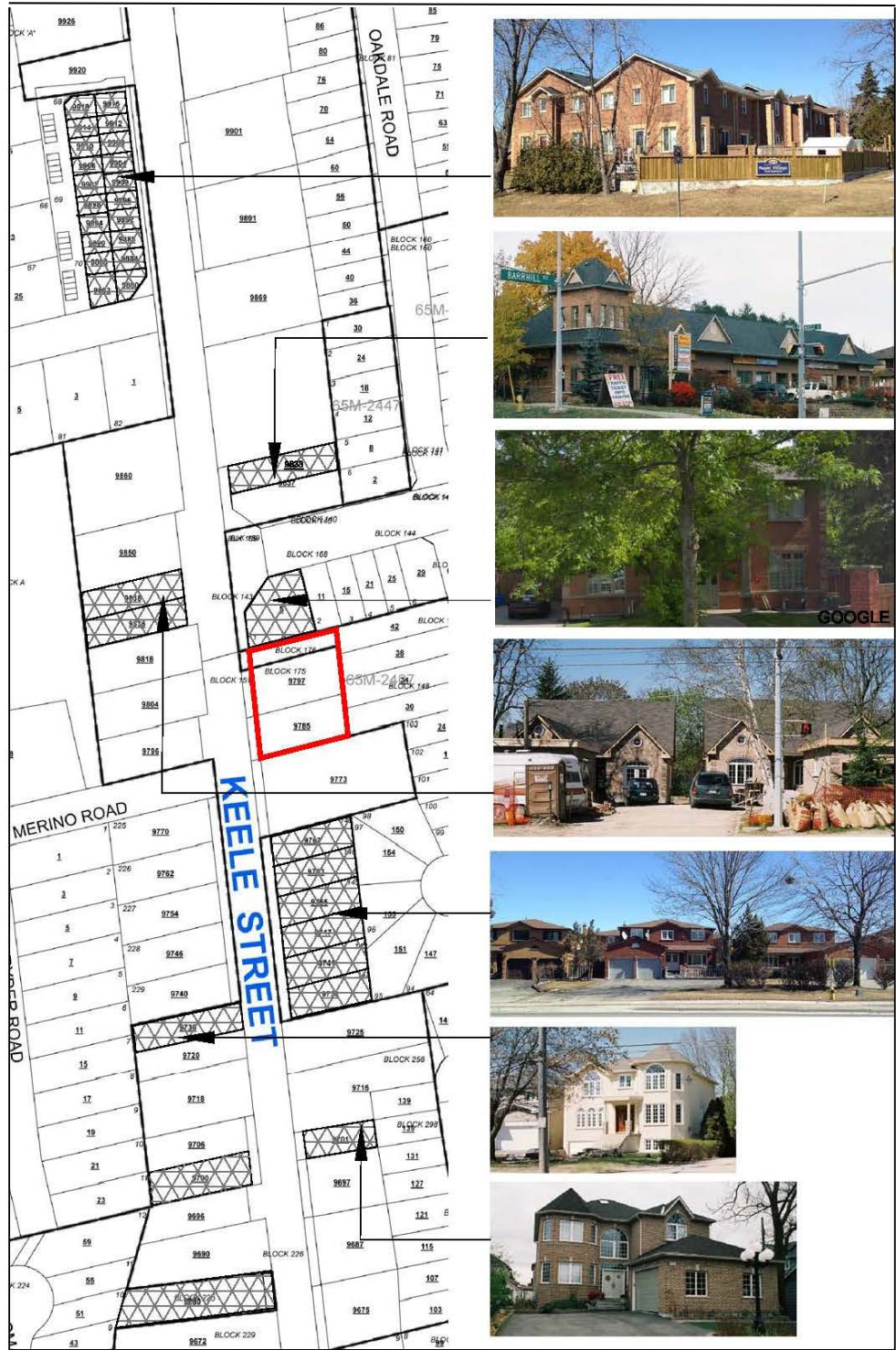


Figure 24 – Context Map, 1980s to 2010s

(E). Summary of Contextual Value

Figure 25 graphically summarizes the chronological building periods of the subject properties' immediate context. From the discussion and analysis above, it can be observed that:

- a. 1860s-1890s buildings (shaded in yellow & orange) form the "heritage properties" within the Maple HCD. They have unique contextual, architectural, and historical features that reflect the early Village of Maple.

Other than the characteristics already mentioned in the previous subsections (3.2.1a-3.2.1.f), the map above (Figure 25) illustrates a general overview of how the heritage property lots are varied in profile yet almost-uniformly spaced apart at about 200 to 300 metres [650 to 980 feet]. This provides clues about the early property lots, which were historically divided at 200-metre [600-feet] frontages.

- b. Buildings from the 1960s up to the present comprise the majority of "non-heritage properties" within the Maple HCD. Non-heritage properties did not form part of the City's Heritage Inventory prior to the designation of the Maple HCD in 2007. Individually, they were not found to have sufficient cultural value to be listed or designated.

- c. The subject properties at 9785-9797 Keele Street belong to the 1930s -1950s building period, and are among the non-heritage properties within the Maple HCD. The houses on the subject properties were built between 1949-1953 and were part of the post-World War II construction period, which made use of pre-existing house plan templates. These standard template house designs reflected the car-based suburban lifestyle that was prevalent at that time.

- d. The various construction periods reflect the changing building principles, stylistic trends, and property sizes of the village residents throughout the Town's development.

The new development must be designed to be compatible with the variety of adjacent construction periods. Although the subject properties are considered "non-heritage", their redevelopment is subject to the Maple HCD Design Guidelines (4.3 of the Maple HCD Plan Volume 3) that seek to maintain that all buildings should be "good neighbours to the heritage buildings in scale, massing and design."



e. The subject properties at 9785-9797 Keele Street are directly adjacent to a heritage property at 9773 Keele Street, also referred to as the George Keffer House (see Figure 25).

George Keffer was discussed earlier in this report as the first President of the Maple Artificial Breeding Association, now known as the United Breeders Inc. of Guelph. His house at 9773 Keele Street is characterized as an 1870 dichromatic Victorian brick house. It has buff-brick trims at quoins, bandcourses, and voussoirs with unique elliptical window details.

f. The trend of higher densities on existing property lots continues in the many current development proposals (see diagonal hatch, Figure 25).

At the time of AREA's site visit, approximately 4 separate residential developments were currently being proposed within the immediate context. This reflects the continued attractiveness of the Village of Maple for new house construction, and, of course, the macro-regulatory framework of the provincial Places to Grow Act and the York Region Official Plan, which direct municipalities to provide increased development within areas of existing infrastructure.

g. The City BHEF assessment category for 'Age' allocates no grading points for construction after 1940 (see 3.3.3 Table) which would have been the period of the subject houses. Many of adjacent and nearby properties contain buildings constructed Post-WWII. Therefore the primary heritage-contextual character defining elements would be derived from the adjacent historic Keffer House.

3.2.3 Assessment of Environmental/ Contextual Value

In conclusion, the subject properties do not represent the historic period of the Village of Maple because of their construction post-WWII and post 1940 (according to BHEF) and therefore do not contribute to the contextual significance of the Maple HCD as summarized in Table 5 below.

Several other factors demonstrate that these properties do not possess contextual value:

- The subject lands of 9785-9797 Keele Street comprises two of the District's "non-heritage" building being constructed Post-WWII and post 1940, according to the BHEF Criteria.
- The subject buildings do not directly reflect the historic founding period of Maple. However, the properties' location within the HCD could be enhanced by including contextual features that contribute to the evolving character of the Village of Maple through a compatible design with the adjacent Keffer House.
- The adjacent Keffer House referenced in the Section 3.2.2(A) (Figure 21) and (D). e (Figure 25) is the original homestead of the John McDonald and George Keffler farms from which land the subject lots were severed in the 1950s. This adjacent historic home offers the primary heritage context to be emulated in its Victorian Style.

DESIGN COMPATIBILITY OF PROPOSED DEVELOPMENT

9785 and 9797 Keele St., Vaughan, Ontario
Location : Village of Maple Heritage Conservation District

Cultural Heritage Resource Impact Assessment
Date: 22 April, 2019

Table 5 – Assessment of Contextual Value.9785 & 9797 Keele St.

ENVIRONMENT/ STREETSCAPE/ COMMUNITY	EVALUATION CRITERIA	GRADING	COMMENTS
<p>Structure contributes to the continuity or character of the street, community, or area.</p> <p>Heritage building in a rural area (i.e. former farm buildings), not yet developed or part of a Block Plan development that have a good architectural rating should be rated for its community and/or contextual significance based on the criteria defined.</p>	<p>E – Of particular importance in establishing the dominant or historic character of the area, community, or streetscape.</p> <p>VG – Of importance in establishing the dominant or historic character of the area, landscape, or significant to the community for its architectural evaluation portion form.</p> <p>M – Compatible with the dominant character of the area</p> <p>F/P – Site, structure, has no significance to Vaughan's History</p>	<p>E – 15</p> <p>VG – 10</p> <p>M – 8</p> <p>F/P – 0</p>	<p>The subject properties are located within the Maple HCD boundaries, but are not included among the HCD's 'Heritage Buildings', or pre-listed buildings with architectural or historical values (section 3.2.2). They are therefore, 'Non-Heritage Buildings', which may otherwise be termed as "non-contributing" structures to the historic character of the HCD.</p> <p>The existing one and one-a-half storey structures within the properties were also not established during the Village of Maple's historic period since they were built after 1940. Confirming the research on the properties' site and ownership history (section 3.1.2), these structures are the result of a modest subdivision of lots, implemented by Agnes Witherspoon in the 1950s.</p> <p>The subject properties are adjacent to the previously individually listed Keffer House at 9773 Keele Street. The subject properties are not critical in establishing the dominant historic character of the area, community, or streetscape. Yet, as non-heritage buildings within the HCD, as neighbours to the previously 'listed' Keffer House, any future alteration, or site development, must consider the design guidelines stipulated in the Maple HCD Plan.</p>

3.3 Design or Physical Value

3.3.1 Description of House at 9797 Keele St.

Of the two subject properties, only the northerly property at 9797 Keele Street was architecturally evaluated, albeit with a limited review, in Volume 1 of the Maple HCD Study and Plan. However, this property was not previously listed in the Vaughan Heritage Inventory prior to the Maple HCD Plan. The Maple HCD-Vol-1 report describes the house-structure at 9797 Keele Street as a “1½ storey (rendered) Cape Cod house with cantilevered rectangular bay window (c. 1940).” The estimated construction period of 1940 in the Maple HCD-Vol-1 report conflicts with the data illustrated in the 1952. Base Map and the aerial photographs of 1946 and 1954 (see Figures 7,11 & 12). The aerial photographs and the Base Map, together with the Chain of Title (Figure 10), illustrate that this house structure was built between 1949 & 1952 (Figure 7). The approximate date of “(c.1940)” in the Maple HCD-Vol-1 report must be reconsidered and revised to “(c.1950s).” The approximate construction period of 1950s remains consistent with the data previously presented in subsections 3.1.2 & 3.2.2 (Figure 22). To be more specific and precise, the house could possibly have been constructed in 1949 at the tail end of the 1940s. Around this time, popular architectural styles in Ontario feature variations of the Bungalow (also discussed in subsection 3.2.2(B), “1930s-1950s Building Period”).

For example, the Cape Cod architectural revival style was an adaptation of 18th century homes in New England. It became popular in America between the periods of 1930 to 1955. An even simplified version of this style is sometimes referred to as “Victory Housing” style, which became popular in Ontario around 1939 to 1955. The Cape Cod revival style – or its simplified version, the Victory Housing style – is composed of a basic rectangular footprint of a house at 1 to 1-1/2 storeys in height, with a steep pitched roof. It is often devoid of dormers, and architectural detailing was limited to multi-pane windows, decorative shutters, a central brick chimney, and exterior wood clapboarding. Roofs are typically clad in wood shingle or asphalt, and have little to no overhang. This style is reflected in the house at 9797 Keele Street (Figures 26-29), which is somewhat unusual with its side-hall plan. It has little embellishment, and was built with economical materials – presumably shingle cladding, which is now covered with white and blue stucco.

The Maple HCD Plan Volume 3 (Maple HCD-Vol-3), section 9.1, discussed the Victory style as a “heritage style” and includes a photograph of 9797 Keele St. as an illustration. However, several aspects regarding this subject house make it deviate from and/or a poor example of the characteristics of this style:

- a. Victory Style housing is more typically found or epitomized in 1940s subdivisions such as Victory Village, 1942-1947, in Malton (Mississauga) to house workers at the Victory Aircraft Ltd. (later A.V. Roe Canada Ltd.) factory producing fighter planes for the war. This house is not integrated into such a subdivision nor was it built for any war-related purpose.
- b. The period for this style is indicated as 1939-1955 in the Maple HCD Plan but also specified as 1940-1950 on other references, such as “Architectural Styles in Mississauga” prepared by the City’s Heritage Staff (Figure 34). The range of years for this style can be

considered somewhat arbitrary and exact construction date (between 1949-1952) of the subject house is unknown. It can be stated, however that this house was built in the later part, at the end; or after the period of the Victory Style.

- c. Another underpinning origin of the simple, compact and often-prefabricated Victory house type, was for returning veterans after the war who received a “\$5,000 housing allocation from the Department of Veteran’s Affairs (DVA)” as explained in the Maple HCD Plan. However, this house’s construction has no connection to any veteran army personnel because the Land Registry would include a registration indicating that the lands related to the Veterans’ Land Act (which it does not).
- d. The conditions of the house are deteriorated with considerable damage and is unsafe to enter because of hazardous materials including mould and other debris which was left inside.
- e. Numerous alterations to the house have removed or covered its character-defining elements related to its c.1950 construction such as its cladding in brick or siding, its original porch, etc.

Due to the above considerations, the subject house does not represent an accurate early or good example of a particular style or method of construction.

3.3.2 Description of House at 9785 Keele

It is difficult to associate the one-storey house structure at 9785 Keele Street with a particular architectural style (Figures 30-33). It features a centre-hall plan, with no features except for the (currently boarded) picture windows on the north and south sides of the main façade. The rear (east) side features a detached garage, with similar clapboarding and shingled roof assembly as the main house. There is no evident trace of a previous covered porch on its front, centre bay. With its low hipped roof, and overhanging eaves, it emphasizes horizontality, which associates it with the, Ranch, or suburban type Bungalow Styles, which are describes as non-heritage styles in the Maple-HCD-Vol-3.

DESIGN COMPATIBILITY OF PROPOSED DEVELOPMENT

9785 and 9797 Keele St., Vaughan, Ontario
Location : Village of Maple Heritage Conservation District

Cultural Heritage Resource Impact Assessment
Date: 22 April, 2019

9797 Keele St.

Photos taken by
AREA, 2015



Figure 26 – Front (West) Elevation



Figure 27 – South Elevation



Figure 28 – East Elevation



Figure 29 – North Elevation

9785 Keele St.

Photos taken by
AREA, 2015



Figure 30 – Front (West) Elevation



Figure 31 – South Elevation



Figure 32 – East Elevation



Figure 33 – North Elevation

Malton Victory
Housing

Victory Housing (1940 – 1950)

Figure 34 – Victory Housing,
“Architectural Styles in
“Mississauga”, City of Mississauga
Heritage Staff, 2010,



3.3.3 Assessment of Architectural Value

In conclusion, the subject houses constitute simple construction, with no significant features and therefore do not possess physical or design value as summarized in Table 6 below. The table below will concentrate on 9797 Keele St. because the Heritage Coordinator identified it alone (and not no. 9785) as possibly having architectural value.

Several other factors demonstrate that these properties do not possess architectural value:

- Further research has confirmed that the houses' construction dates are later, post-WWII, post 1940s and therefore NOT the interwar period of construction.
- As a simple stand-alone variant of (what came to be known as) the Victory house, the 9797 Keele St. structure does not appropriately represent that style. This is a one-off infill residence without any association to the origins of the war-time style and could just as easily be describe as a "Cape Cod revival" house.
- Victory style housing was more commonly constructed earlier in the 1940s and was usually within a subdivision serving a wartime factory or housing returning veterans. The significant of this house is diminished because they do not inform an overall character of its neighbouring context.
- These two houses are, infill structures, and they do not belong to a neighbourhood subdivision development that would have incorporated repetitive bungalow-type houses (i.e. Gram and Naylor Area Figure 20).

Table 6 - Assessment of Architectural Value, 9797 Keele Street

STYLE	EVALUATION CRITERIA	GRADING	COMMENTS
Good, notable, rare, unique, or early example of a particular architectural style or type. Exterior architectural style only should be evaluated. (i.e. change in roofline, skylights, additions, or removal of features, etc. that have changed the style of the building.)	<p>E – Excellent to very good or extremely early example of its style.</p> <p>VG – Good example of its style with little to no changes to the structure.</p> <p>G – Good to fair example of its style (e.g. style evident in structure, however changes have occurred to building).</p> <p>F/P – Style is not evident or considered a good example.</p>	<p>E – 20</p> <p>VG – 15</p> <p>M – 8</p> <p>F/P – 0</p>	<p>The structure is described as a "1 ½ storey (rendered) Cap Cod house in the November 2005 Maple HCD-Vol-1 which does not fit any of the listed Heritage and Non-Heritage Styles, prevalent in the Maple HCD for Residential Buildings. Then the Maple HCD-Vol-3, uses a photograph of 9797 Keele St. in its description of the Victory House as a heritagestyle. However, as explained above, this house does not have the underpinning origins the date of construction or the context of othe matching homes to be considered as being the Victory style or a notable example thereof.</p>

DESIGN COMPATIBILITY OF PROPOSED DEVELOPMENT

9785 and 9797 Keele St., Vaughan, Ontario
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<p>CONSTRUCTION</p> <p>Good, notable, rare, unique, or early example of a particular material or method of construction. (i.e.) log construction, pre-1850, stone, board on board construction, etc.)</p>	<p>EVALUATION CRITERIA</p> <p>E – Excellent or early example of its construction method.</p> <p>VG – Good or early example of its construction method.</p> <p>G/F – Good to fair example of its construction method.</p> <p>P – Construction method is not significant in nature nor is it of particular interest.</p>	<p>GRADING</p> <p>E – 10</p> <p>VG – 8</p> <p>G/F – 5</p> <p>P – 0</p>	<p>COMMENTS</p> <p>The structure's method of construction is not significant in nature nor is it of particular interest. It reflects the technology prevalent and economical during its building period for "production-type" housing. The wood-stud construction and the rendered stucco cladding (which may cover or replace the original brick or wood siding) constitute time-efficient means for building. Its lack of unique building features and details, reflect a 'generic' infill house.</p>
<p>AGE</p> <p>Comparatively old in the context of the City of Vaughan's architectural history.</p>	<p>EVALUATION CRITERIA</p> <p>E – Built between dates 1790-1820.</p> <p>VG – Built between dates 1821-1910.</p> <p>G – Built between dates 1911-1939.</p> <p>F/P – Built since 1940.</p>	<p>GRADING</p> <p>E – 5</p> <p>VG – 3</p> <p>G – 2</p> <p>F/P – 0</p>	<p>COMMENTS</p> <p>The building period that was determined for the structure is between 1949 & 1953. The structure's method of construction, wood stud framing, was in common use for the mid-century bungalow style. The structure, would have been built post-1948 based on the aerial photographs and the Chain of Title. Hence, for these criteria, it is appropriate to assign a numerical value that would reflect this later building period.</p>
<p>INTERIOR</p> <p>Integrity of interior arrangement, finish, craftsmanship, and/or detail are particularly attractive or unique and/or still exist.</p>	<p>EVALUATION CRITERIA</p> <p>E – Excellent interior (80-100% intact).</p> <p>VG – Very good interior (70-79% intact).</p> <p>G – Good interior (50-69% intact).</p> <p>F/P – Fair or poor (0-49% intact).</p>	<p>GRADING</p> <p>E – 5</p> <p>VG – 3</p> <p>G-2</p> <p>F/P – 0</p>	<p>COMMENTS</p> <p>The existing interiors are quite deteriorated they contain hazardous materials including mould so therefore none of the interior finishes or details can be considered as extant.</p>

DESIGN COMPATIBILITY OF PROPOSED DEVELOPMENT

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ALTERATIONS	EVALUATION CRITERIA	GRADING	COMMENTS
<p>Building has undergone minor exterior alterations, and retains most of its original materials and design features.</p> <p>Checklist includes:</p> <ul style="list-style-type: none"> Original Exterior Siding 30% Windows/doors 30% Verandahs/trim 30% Foundation/location 10% Structural Plan (no modern or sympathetic additions) 10% 	<p>E – Exterior of building is unchanged. (90-100% intact)</p> <p>G – Exterior of building has changed somewhat, but character retained. (61-89% intact)</p> <p>F – Exterior of building has changed somewhat and original character compromised. (40-60% intact)</p> <p>P – Original exterior character destroyed. (0-30% intact)</p>	<p>E – 20</p> <p>G – 15</p> <p>F – 8</p> <p>P – 0</p>	<p>The building has undergone numerous alternations to its cladding, porch, exterior wall adjacent to an added garage, etc.</p>
CONDITION	EVALUATION CRITERIA	GRADING	COMMENTS
<p>Exterior/interior of building is in good structural condition (i.e. evidence of decay in exterior siding, roof, or interior basement, wall surface, flooring, or ceiling, suggesting structure to be unsound.)</p> <p>Checklist:</p> <ul style="list-style-type: none"> Exterior Siding/Gutters (cracks, spalling) Roof/Interior Ceiling/Gutters Flooring, unstable, Depressions Interior Wall surface, cracks, etc Basement (leaks mold, dry or wet rot on beams) 	<p>G – Good structural condition. (No evidence of decay)</p> <p>S – Somewhat good structural Condition. (Minor/little evidence of decay)</p> <p>F – Fair structural condition (Some (i.e. 2 from adjacent list) evidence of decay).</p> <p>P – Poor structural condition. (Significant/considerable evidence of decay.)</p> <p>structure, however changes have occurred to building).</p>	<p>G – 20</p> <p>S – 15</p> <p>F – 10</p> <p>P – 0</p>	<p>The structure exhibits prior conditions, with poor considerable damage and decay, and the house has been unoccupied for over 7 years with no heat or electricity. This lack of heating or maintenance have caused secondary damages evident in the sagging roof, missing eavestroughs, broken windows, cracks in walls, etc.</p>

4 HERITAGE SIGNIFICANT OF 9785 & 9797 KEELE STREET

4.1 Summary of Heritage Assessment

The research findings and site investigations discussed in subsections 3.1 to 3.3 are summarized using the City's Built Heritage Evaluation Form ('BHEF', see Table 7 below). The assessed properties at 9785 & 9797 Keele Street, gained scores only in one of the following BHEF sub-criteria for Architectural Value:

- Alterations: Building has undergone exterior alterations, and its original character is compromised.

The existing houses exhibit decay and some structural deterioration – the roof of 9797 Keele St. is sagging. The house at 9797 Keele Street did not score on the other sub-categories for Architectural Value – Style, Construction, Age, Interior and Conditions (see Table 7).

The houses do not have sufficient physical features to represent the unique principles of an architectural style. The house at 9797 Keele Street was described as "Cape Cod" revival but, after considerable exterior alterations, its sole remaining character-defining element is limited to its steep roof structure. The reference to the Victory House Style in the Maple HCD-Vol-3 either is not applicable or not exemplified in this structure. Both houses do not represent innovation in building construction. The houses are the result of "production-type" suburban housing that has been subject to further and inconsistent renovation.

The two houses are quite commonplace suburban 1950s houses. Neither house is considered to be a "good, notable, rare, unique or early example of a particular architectural style", not even the Victory style for 9797 Keele St., as explained above. The City's Built Heritage Evaluation Form (BHEF) criteria for architectural or physical cultural heritage value allocates a grading of '0' for buildings constructed since 1940 (Section 3.3.3) which the subject houses' construction dates well exceed.

These lots have no contextual relationship to the nineteenth-century location of the McDonald and Keffer farmstead from which they were severed in 1953 by a later owner for revenue-generation purposes. These 1950s non-heritage houses are located (to reference the BHEF criteria) on a "site [that] has no significance to Vaughan's History" and, as such, fulfill the definition of a Fair or Poor grading of '0' (Section 3.2.3). See consultant evaluations 3.1 to 3.3 above and others in this table.

Furthermore, the houses do not represent the historic period and character of the Village of Maple. They do not have any historical and contextual significance (see Tables 4 and 5). They cannot be attributed to a historical figure or event. They also never functioned as landmarks within the Maple HCD. These houses have no relationship to the settler members of the McDonald and Keffer families and the 1950s bungalows have no association with the nineteenth-century or early twentieth-century establishment of the Village of Maple which involved the George Keffer. The association of these lots with the George Keffer name is merely circumstantial and transactional. The indirect connection of George Keffer to the subject land does not entail a

physical manifestation in a built form. The built form of the houses themselves are not connected to the McDonald family or other founders of the village and (to reference the BHEF criteria) are “structures [that have] no significance to Vaughan’s History” and, therefore, are assigned a Fair or Poor grading of ‘0’ (Section 3.1.3).

The combined heritage value of the houses maintains their current “Non-Heritage” building status within the Maple HCD. This conclusion, however, still assumes that the new development should represent sympathetic alterations to the subject land assembly. Although the land assembly is comprised of essentially, two Non-Heritage Buildings, they have compositional attributes that are complementary to the Maple HCD (see subsection 4.3). As they remain included in the Maple HCD, future site alterations, or development proposals should consider the Maple HCD Plan and its Design Guidelines. The proposed new development should consider the HCD design guidelines for new construction to be compatible with the heritage character of the District, since it will be subject to review by the City’s Heritage Vaughan Committee, and ultimately, approval by Council.

4.2 Grading of Heritage Value

Based on the Section 3 Heritage Evaluation, the grading of the subject houses are calculated using the City's criteria in the Tables 7 and 8 below. Both houses at 9585 and 9797 Keele Street have similar (low) heritage value which is reflected in their equal evaluation grading. The resulting heritage assessments renders a total grading of 8 and, therefore, both buildings are classified in a Group D having "little or no significance."

Table 7 – Summary of Historical Evaluation for 9785 and 9797 Keele street

CRITERIA	GRADING
HISTORICAL VALUE	0
ENVIRONMENTAL (CONTEXTUAL) VALUE	0
ARCHITECTURE (DESIGN OR PHYSICAL) VALUE (9797 Keele St.)	
Style	0
Construction	0
Age	0
Interior	0
Alterations	8
Condition	0

Table 8 – Overview of Heritage Value of Subject Properties at 9785 and 9797 Keele Street

BUILDING STRUCTURE: 9785 & 9797 Keele Street

COMMON NAME OF BUILDING STRUCTURE:

9785 Keele Street, 9797 Keele Street,

BLOCK: Concession: 3 Lot: 19

COMMUNITY: Maple



YES	NO	DESCRIPTION
	X	Included in the City of Vaughan Heritage Inventory
	X	Included in the City of Vaughan "Listing of Buildings of Architectural and Historical Value"
	X	Designated under Part IV of the Ontario Heritage Act
X		Designated under Part V of the Ontario Heritage Act within a Heritage Conservation District

TOTAL GRADING: 8

GROUP: D

KEY TO GRADING:

- 90-100 GROUP A – Very Significant
- 60-79 GROUP B – Significant
- 40-59 GROUP C – Modest Significance
- 0-39 GROUP D – Little or No Significance

4.3 Contributing Attributes of Adjacent Context

Although the houses at 9785 & 9797 Keele Street remain as 'Non-Heritage Buildings' within the Maple HCD, some of the characteristics of their context may still be used as inspiration for the proposed development. As stated in Subsection 9.5.1 of the Maple HCD Plan,

"Within the design of any individual building, architectural elements contribute to the character of the public realm of the street. Massing, materials, scale, proportions, rhythm, composition, texture, and siting all contribute to the perception of whether or not a building fits its context."

These elements may be expressed in the form of a unique architectural style, suitable to and inspired by the local heritage character of the Maple HCD, or by a specific architectural precedent.

For the development of the land parcel assembly, the character-defining elements ('CDE') which influence and should be addressed by the subject properties at 9785 & 9797 Keele Street are the most relevant components for future incorporation, reproduction, or reinterpretation. According to the Standards and Guidelines for the Preservation of Historic Places in Canada, administered by Parks Canada, Second Edition ('Standards and Guidelines'), character-defining elements are defined as,

"The materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of a historic place..."

This term is often used for buildings with significant cultural values that would warrant individual listing or designation. 'CDE' attributes would be its contextual relationship to the neighbouring built heritage.

For this land parcel, the primary and singular CDE would be the adjacent Keffer Home at 9773 Keel Street which was identified as a heritage resource in several references:

- Vaughan Heritage Inventory, 2005, listing prior to Maple HCD Study and Plan;
- Maple HCD Plan Volume 3, Map 4, identified in blue tone as a heritage property contributing to the District;
- Maple HCD Study Volume 1 Inventory, described as a "two-storey, dichromatic brick house".

The adjacent built heritage structure derives its heritage significance from:

- The historical association with George Keffer and the Maple Artificial Breeding Association;
- its context as the homestead of the former McDonald and then Keffer farm lot; and
- architectural design features which are representative of the local Victorian style.

The adjacent Keffer House therefore represents the most significant contextual influence on the subject properties which contribute to the character of the Maple HCD.

The Vaughan Official Plan (VOP) discusses how a development should be integrated compatibly within the contextual street elevation of an HCD (underlines added for emphasis):

"new development on vacant lots or lots currently occupied by non-heritage structures in Heritage Conservation Districts designated under Part V of the Ontario Heritage Act be designed to fit harmoniously with the immediate physical or broader district context and

streetscapes, and be consistent with the existing heritage architectural style through such means as:

- i. being similar in height, width, mass, bulk and disposition;
- ii. providing similar setbacks;
- iii. using like materials and colours; and
- iv. using similarly proportioned windows, doors and roof shape. “(VOP, 6.2.2.6)

The composition of the infill houses should therefore incorporate the stylistic CDEs of the adjacent context of the Maple HCD. The Keffer House, being the predominant heritage resource influencing the subject site, exhibits the CDEs of its streetscape which should be adopted in the new development:

- **Building Orientation** The prominent west-facing (front) elevation provides a direct relationship with the (Keele St.) street frontage with the entry porch and its front door accessed from the sidewalk. The proposed new houses should likewise provide for some of the entry porches and doors facing the street.
- **Form and Massing** The gable rooflines, with soffits, trimmed with siding boards, incorporated an upper floor within the roof height. The exterior massing formation of the house provides a projecting (north) end bay creating a rhythm of recesses (porch) alternating with projections (bay window). These massing characteristics may be reinterpreted in the new development through a contemporary or historical design approach.
- **Materials** The adjacent house incorporates masonry and wood trim which are commonplace materials through the HCD as noted in its Study and Plan. In particular, the dichromatic red and buff brick is integral to its Vernacular Victorian style. It is encouraged that masonry and wood trim be the primary cladding for new development in contrast to the stucco finish of some of the adjacent houses from the recent period.

These suggested building compositional elements contribute to the heritage character of the Maple HCD. The incorporation of these elements should be executed, through the balancing of simple contemporary construction methods and traditional reproduction elements. There must be a consistent and conscientious design that would respectfully relate the old to the new, without falsifying historic appearance, and with sufficient distinguishability. “Distinguishability” is a general conservation principle applied to alterations and additions to a heritage resource. The Maple HCD Plan, in particular, recommends to “make new work physically and visually compatible with, subordinate to, and *distinguishable* from the heritage resource” (Maple HCD Plan, 4.2.2.a). By applying this principle, the new development should exemplify design standards that will add value to the Village of Maple Heritage Conservation District.

5 DESCRIPTION & IMPLEMENTATION OF DEVELOPMENT PROPOSAL

5.1 Proposed Townhouse Development

Figure 35 – Site Plan, March 15, 2019, RN Design, (Appendix F), (also referred to as 'March-2019 SP' in this CHRIA), annotated by AREA with inset photo to show aerial photograph of subject properties



Property Description	The land assembly is comprised of three lots, with the two of them having street addresses, 9785 and 9797 Keele Street, and the third identified as "Block 176", PCL 176-1 SEC 65M2407 (Figure 35). This land assembly is currently part of an R1 residential zone, and has a combined net "developable" area of 0.24 hectares, with a combined lot frontage of 58.1 metres, and a lot depth of 48.1 metres.
Adjacent Properties	The boundaries of this land assembly comprise the adjacent properties as follows: (1) a historic property at 9773 Keele Street on the south side, (2) the rear portions of subdivision at 30, 34, 38, and 42 St. Mark Drive on the east side, (3) the property at 5 Barrhill Drive on the north side, and (4) Keele Street on the west side.

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Proposed Development Owner-developer proposes the demolition of the existing single-detached houses at 9785-9797 Keele Street for the following proposal (Figure 35, Appendix F):

- Establishment of 16 residential units comprised of 8 semi-detached units and 8 townhouse units in two rows parallel to Keele Street.
- The development comprises two, and four-unit configurations. Smaller two-unit configurations (Blocks 1 to 4) are proposed to face Keele Street. Four-unit configurations are located on the rear (east) portion, accessed through a private lane.
- The Site Plan is attached in Appendix F and its development site statistics are provided in Table 9 below.

Table 9 – Site Statistics of New Development 9785-9797 Keele St.

Gross Floor Area	No. of Units	GFA/Block, sq.m
Block 1	2	614.18
Block 2	2	614.18
Block 3	2	614.18
Block 4	2	614.18
Block 5	4	581
Block 6	4	581
Total Gross Floor Area	16	3,618.72
Net Developable Area (excluding Keele Street road widening)		0.24-ha
Development Density		66.06 units/ha
Floor Space Index		1.49
Lot Coverage		45.33%

5.2 Townhouses Replacing Existing Houses

The existing deteriorated houses at 9785 and 9797 Keele Street are proposed to be demolished. The heritage evaluation of the properties (Sections 3 & 4) concludes that the house structures do not have sufficient contextual, historical, or architectural significance to be among the 'Heritage Buildings' within the Maple HCD and do not warrant individual protection.

The house structures comprising the subject property lots are not associated with the Keffer or McDonald families. The original George Keffer concession farm lot was subdivided to create the existing house properties at 9785 and 9797 Keele Street. Both properties do not have associations with any historical figures or events. The house structures within the property lots are also not associated with any architect or builder, and are not reflective of any formal architectural style.

As an example of 1950s, subdivision suburban housing, the design of both house types reflects only the economic expediency that led to their construction. These types of houses, with their pattern-book templates, helped realize the efforts by property owners and developers to provide cost-efficient housing. These two-house structures are, furthermore, infill structures, and they do not belong to a neighbourhood development that would represent the consolidation and establishment of a street "character."

The only heritage value afforded to the subject properties is simply as buildings within the area subject to the Maple HCD. The circumstances of the structures' low heritage value, poor architectural quality, and their lack of compatibility with the evolving Maple HCD preclude their retention, conservation, or reuse. The structures, by themselves, do not represent the historic period of the District, and are in direct opposition to the pressing demand for the village's growth and development.

The subject house structures at 9785 and 9797 Keele Street are non-contributing to the heritage character of the HCD. The substitution of these existing non-heritage house structures with a new townhouse development is found to be an effective way for the subject properties to acquire an active and contributory role within the Maple Heritage Conservation District.

5.3 Implementation of Design Guidelines

The subject properties and the proposed development are guided by implementation strategies derived by this CHRIA from the “Village of Maple Heritage Conservation District Plan, 2007, Volume 3” (‘Maple HCD Vol.3’). The Maple HCD Vol. 3 report concludes the findings of the three-year Maple HCD initiative, and completes a set of “District Policies” to successfully implement “sympathetic” future interventions for the four property categories found within the District:

- (1) heritage properties;
- (2) non-heritage properties;
- (3) new developments; and
- (4) landscapes.

The subject proposal seeks to develop new townhouse units to replace two non-heritage single-detached house structures, comprising the lots of 9785 and 9797 Keele Street and the adjacent vacant lot. This CHRIA therefore consults the HCD policies for the applicable property categories of ‘(2) non-heritage properties’ and ‘(3) new developments’. The objectives for these two property categories (see Table 10) seek to retain, conserve, and enhance the architectural, historical, and contextual character of the Maple HCD with compatible infill construction to “complement the area’s village like” heritage character.

To implement these objectives, Section 9.0 “Guidelines for Buildings and Surroundings” of the Maple HCD Vol 3 is specifically referenced in this CHRIA. These Guidelines are described as being “...based on the concepts of preserving the existing heritage buildings, maintaining their character when they are renovated or added to, and ensuring that new development respects the qualities of place established by the existing heritage environment.” Section 9.0 of the Maple HCD Vol. 3 discusses:

- for non-heritage properties, the types of design approaches; and
- for new (residential) developments, the site planning, architectural style, scale and massing.

To discuss these factors affecting non-heritage properties and new residential developments, and to implement the applicable objectives for the Maple HCD, the following CHRIA section discusses the subject project’s design strategies in terms of siting, elevation design, scale, and massing. The successful interpretation of these themes will ultimately define the subject proposal’s compatibility with the physical, visual, and spatial elements that define the District’s heritage character.

Table 10 Maple HCD Plan Policies for Non-Heritage Properties & New Development

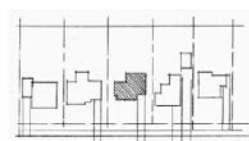
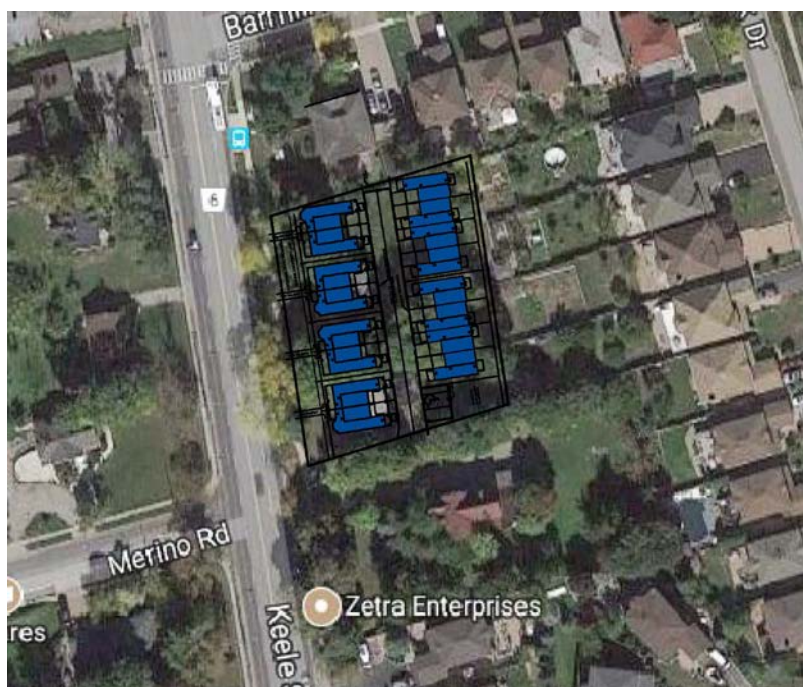
OBJECTIVES FOR NON-HERITAGE PROPERTIES (obtained from 2.4.3 of Maple HCD Vol. 3):	OBJECTIVES FOR NEW DEVELOPMENTS (obtained from 2.4.5 of Maple HCD Vol. 3):
<ul style="list-style-type: none"> – to retain and to enhance complementary characteristics of non-heritage buildings, and – to encourage improvements to non-complementary buildings so that they further enhance the heritage character of the District. 	<ul style="list-style-type: none"> – to ensure compatible infill construction that will enhance the District’s heritage character and complement the area’s village-like, human scale of development, while promoting densities sufficient to secure the District’s future economic viability. – to guide the design of new development to be sympathetic and compatible with the heritage resources and character of the District while providing for contemporary needs.

6 DESIGN COMPATIBILITY OF PROPOSED DEVELOPMENT

6.1 Siting

Building placement has been diversely applied within the District throughout its development. The variety of distances from the buildings' façade to the existing road curb (referred to as "curb-distance" or "building placement" by this CHRIA) is acknowledged as one of Maple HCD's distinct heritage attributes. This variety in building placement is reflective of the HCD's different periods of construction. New developments are encouraged to provide setbacks and frontages that are consistent with the variety of the village pattern.⁴

For example, 1860s-1920s buildings adopt a wide range of 8- to 20-m curb-distances. The cluster of 1860s-1920s buildings around the Keele Street-Major Mackenzie Drive intersection, have 8- to 12-m curb-distances, while those that are farther south of this intersection (such as St. Andrew's Presbyterian Church, and G. Keffer House) incorporate a greater curb-distance of 20-m. The increased curb distance of the "southern" 1860s-1920s buildings reflect how Keele Street was originally an inaccessible marsh. Southern 1860s-1920s buildings were perhaps located farther away from the concession line, and were alternatively accessed from other concessions or sideroads. On the southernmost part of the District, as one approaches the southern boundary, Sherwood-Fieldgate Drive, 1860s-1920s buildings are absent. These southernmost portion, with numerous previously vacant lots became the area for newer developments, beginning in the 1960s. These post-1960s developments adopted uniform curb-distances of 16- to 18-m.



Respect the existing site plan character of similar, but not identical front-yard setbacks. Place a new building to mediate between setbacks of neighbouring buildings.



An extreme difference in setback from adjacent buildings is not appropriate.

Figure 36 – (Above) Illustration of Recommended Setbacks of New Developments Between, from Village of Maple HCD Plan, 2007 Vol.3, City of Vaughan

Figure 37 – (Left) Building Footprints Superimposed on Aerial Satellite Map, from Google Maps, 2015, annotated by AREA to show proposed development.

⁴ See 9.5.2.1 Site Planning of the Maple HCD Vol.3, May 2007, p.112

The Maple HCD Study and Plan, Vols.1-3, incorporate several recommendations for siting. First, a proposed development should be reflective of its own time by referring to and abiding by presently governing zoning requirements. Second, as also suggested by the 2003 Heritage Review of the District, and as cited in subsection 1.6 of the Maple HCD Vol.1, it is advised that, "...depending on the context of proposed redevelopment, setbacks should not necessarily follow a rigid consistent setback." This integration with surrounding context is directly translated into the guidelines of section 9.5.2.1 of Maple HCD Vol. 3, which recommends that the siting of new buildings should mediate between setbacks of neighbouring properties (Figure 36). The Maple HCD Plan recommends new developments to "respect the existing site plan character" by mediating between neighbouring buildings (Figure 36).

The March 2019-SP proposes 16 townhouse or semi-detached units to be located within the land assembly comprising 9785-9797 Keele Street (Figures 35 and 37). Within the 21.50-m depth from the centreline of Keele Street, the SP incorporates an approximate 6-m "potential road widening" allowance on the immediate east side of the existing 8-m boulevard, being the portion of road allowance from street curb to (current) property line (Figure 35). The semi-detached units themselves have an approximate 1.80-m front setback to the bay windows from the (future) boundary of the designated road allowance. Visually, the houses' distance from the street line will appear much greater because most (more than 75%) of the brick façade (which are set back from the bay windows) are actually 3.14-m from the road allowance. Overall and excluding the bay windows, the west façade of the proposed structures are approximately $(6 + 8 + 3.14 =)$ 17.14-m from the Keele Street roadway curb. The March 2019-SP also provides landscaped front yards in front of the street-facing houses as elaborated in the Landscape Plan (Figure 38). These landscaped sections will incorporate indigenous trees and plantings that will enhance the existing pedestrian scale of the subject properties.

The property on the south side of the subject properties contains an individually-listed heritage building, also referred to as the Keffer House at 9773 Keele Street (Figures 20, 33 & 37). This historic structure, itself, has an approximate 20-m distance from the Keele Street roadway, but is currently partially screened with a wood board fence at a 1.50-m distance from the 8-m boulevard strip (as discussed in sub-section 6.3). The existing house structure at 5 Barrhill Road, located to the north of the subject properties, has a principal entryway oriented towards Barrhill Road (vs. Keele Street, see Figure 37). This northern property has a side yard, also fenced with wood boards that are directly abutting (0-m setback with) the existing 8-m street boulevard. The west façade of the northern house is also approximately 15-m from Keele Street roadway.

The varying setbacks of the adjacent properties are again, reflective of their construction period. For example, the adjacent southern property, the Keffer House at 9773 Keele St., would have been sited in consideration of topographical elevations or soil characteristics that may have existed during its 1860s-1890s construction period. On the other hand, 5 Barrhill Road, the adjacent northern property, appears to comply with the zoning regulations governing the subdivision development of which it is part.

Based on the March 2019-SP (Figure 35), and as superimposed on the most recent aerial photograph (Figure 37), the semi-detached units are closer to Keele Street compared to the adjacent building at 9773 Keele Street and have almost the same setback (approximately 1-m difference) as the northerly adjacent house (Figure 37). According to their respective cumulative

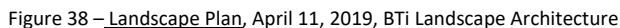
set back dimensions, the semi-detached units are 17.14-m away from the roadway curb compared to approximately 20-m and 15-m for the buildings to the south and north respectively. The difference between the proposed townhouse units and the most recessed of the existing adjacent buildings is not found to be “extreme”, considering that both adjacent properties are installed with fence-walls that directly abut the sidewalk and boulevard strip. The overall 17.14-m distance of the proposed townhouse units from the street curb has been prevalently applied by recent developments in the District’s southernmost portion. These recent developments have been approved by the the municipality.

As the development of 9773 Keele St. to the south has been firmed up, in its site plan layout, the siting of the subject semi-detached houses has become better integrated. The Keffer House is proposed to be relocated closer to the street line as part of the development application to the south.

The north portion of the adjacent development is shown in the site plan of the 9785-9797 Keele St. townhouses project (Figures 35). According to the building outlines, the relocated Keffer House will be slightly closer to the street line than the Blocks 1 to 4. With this new layout of buildings along the street line, the semi-detached units of 9785-9797 Keele St. are sited compatibly in coordination with the development of 9797 Keele St. With this strategy, the subject development is, therefore, integrated into the streetscape of the District. It continues the District’s prevalent village pattern, and is therefore contributory to its uniqueness and sense of place.

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6.2 Scale and Massing

The adjacent Keffer House is a three-bay plan house structure with a prominent gable end on the north side. This composition and form was distinctively adapted in RN Design's elevations by pairing residential blocks. The March 2019-SDP (Figure 35) illustrates a semi-detached type for the dwelling blocks along Keele Street: Blocks 1 to 4, each with 2 Units. The semi-detached units in Blocks 1 to 4 were paired by design (Figure 39). The paired residential units share the same porch structure to shelter their principal entry ways. The northern and southern units of these paired residential units (Blocks 1 & 4) each also incorporate a two-storey bay window up to a gable to terminate the porches and to mark the corners (Figure 39). The semi-detached houses' (west) elevation design also features three levels of wall planes. For each pair of townhouses, the planes of their façades vary from the most recessed at the doorway in the porch to the most projecting (in the bay window).

The development's proposed height and bay composition also approximately resembles that of the adjacent historic structure (Figure 39). Although the proposed townhouses incorporate an additional third upper storey, the main roof line slopes 'away' and becomes less visible from Keele Street. The visible gable ends from Keele Street feature a roof peak that is the same as the adjacent historic structure. The incorporation of a tri-partite composition of porch, entry doors, and projecting bay-and-gable for each pair of units adopts the adjacent historic structure's 3-bay composition. Overall, the height, scale, and massing of the proposed development recalls and reflects the adjacent heritage building.

These massing and composition strategies serve many purposes. First, they reduce the townhouses' perceived (west) frontage width along Keele Street. The varying wall plane levels allow the incorporation of brick quoins at several corners. The quoins create "jogs" in what would have been a long and continuous wall elevation along Keele Street. The pairing of units and the varying wall plane levels disguise the semi-detached block as a single structure, and give the same appearance as the original, adjacent house structure. Second, the design emulates the frontage width and the geometric form of the adjacent Keffer House, which also has the composition of a southern porch and a northern gable end. While the northern gable end of the Keffer House features a projecting bay, the proposed semi-detached units also incorporate two-and-half-storey projections.

To support provincially-mandated density while respecting the existing heritage character, the subject development proposes a built form that transitions well with the adjacent properties, particularly the neighbouring Keffer House (see Figure 39). Updated elevations within the streetscape rendering are shown in elevation and perspective (Figures 39 & 41). The height as measured from the established average grade to the midpoint of the sloped roofs for the proposed 2½ -storey townhouses and semi-detached blocks is 8.56 metres (Blocks 1 to 4) on their west street-facing elevations.

The Maple HCD Plan Vol.3 allows for adjacent buildings to have a difference in façade height of 1 storey and should be consistent with the City's Zoning By-law:

Historically appropriate façade heights for residential buildings has been 1 - 1/2 or 2 storeys. The façade height of new residential buildings should be consistent with the façade height of existing buildings. Differences in façade heights between buildings on adjacent properties within the district should be no more than 1 storey. In all instances the

height of new buildings shall conform to the provisions of the City's Zoning By-law (Section 4.4.1 e).

The height of the proposed elevations is within one storey of both adjacent 2-storey houses at 5 Barnhill Rd. and 9797 Keele St. Furthermore, the height of the townhouse and semi-detached units are also consistent with the maximum height provision for its existing zone (R1) which allows for a maximum height of 9.5 metres.

6.3 Street Elevation Design

The neighbouring properties at 9773 Keele Street and Barrhill Road incorporate, in their site designs, high board fences that directly abut (or are only 1.50-m away from) the 8-m deep pedestrian boulevard. This fencing enhances privacy at the expense of a diminishing "presence" along Keele Street. The street wall, created by this fencing, weakens the vibrancy and visual interest of this section of Keele Street. The adjacent properties, therefore, do not provide exemplary models to achieve sympathetic site features that enhance the heritage streetscape. This was also noted in subsection 4.2 of the "Village of Maple Heritage Conservation District Study, Volume 2" ('Maple HCD Vol. 2', underline for emphasis), "9773 is a handsome Victorian house on a large well-treed lot. The high board fence and replacement windows are not appropriate to the heritage building." Compared to the wall created by the existing fences, the west façade of the proposed townhouse units (see Figures 39 and 41) creates a dynamic streetwall and a pedestrian-friendly design that also takes inspiration from built elements found within the Maple HCD (see discussion in subsection 8.2 of this CHRIA). Its principal entrances and engaging window fenestration are oriented towards the sidewalk.

Landscaping features are allotted in rows of trees and in planting against the porches to contribute to the District's seasonal interest and colour. A significant feature of the streetscape design of the proposed development is the considerable new landscaping of trees and plantings which will be added to the front yards of the Keele Street-facing houses (Figure 38). This new landscaping will supplement and enhance the retained boulevard trees which will be preserved. The Arborist's Tree Inventory and Preservation Plan identified ten existing street trees on the boulevard in the road allowance which will be protected during construction and elaborated with the new landscaping which includes eight (8) new trees along the frontage. The Maple HCD Design Guidelines recommend to "protect and preserve mature trees" and maintain "the grassed and treed boulevard on Keele Street [which] creates a pedestrian friendly environment." The fullsome streetscape planting also provides a mitigation strategy to mediate and integrate the new development into the Maple HCD.

The proposed Victorian style incorporates variation in terms of detail and colour that will differentiate this project from the south development (9560-70 Keele St.). The elevations also incorporate differentiation amongst the townhouse units within the north development itself.

The architectural features are described in a list and outlined with letter notations on the perspective rendering (Figure 41). It is intended that the composition for these features will be applied to differentiate the outer Blocks 1 & 4 from the inner Blocks 2 & 3. These feature details have precedents within the Village of Maple HCD which will be discussed further below.

The rendering shows different colouring for these street-facing houses in order to “break up” the homogeneity of these semi-detached units. The proposed brick colours of these house façades are as follows:

Blocks 1 & 4 – Outer blocks will have a red brick field (primary) colour with buff (cream) brick accents for quoins, arch voussoirs, banding, etc.

Blocks 2 & 3 – Inner blocks will have a buff (cream) brick field (primary) colour with red brick accents for quoins, arch voussoirs, banding, etc.

Both patterns of brick colouring – red-field/buff-accents and buff-field/red-accents – have precedents within the HCD and in Victorian architecture throughout Ontario. The brick colour patterns are opposite to the south (9560-70) Keele St. development which have the outer blocks in buff-field/red-accents and the inner block in red-field/buff-accents. (The south development actually has some other complications in its brick colour pattern which distinguishes it from this project.) As well, the brick colour of the southern-most Block 4 integrates compatibly with the adjacent Keffer House since they would both have the same red-field/buff-accents pattern. But even within the brick colour pattern, other more detailed decorative masonry features have been incorporated into this design to make it distinct from 9560-70 Keele St.

A chart of the architectural precedents has been created for each of the stylistic features proposed for the house elevations in the 9785-9797 Keele St. development (Appendix G). These architectural features are found in both local nineteenth-century built heritage – identified on the photos under the column “Maple HCD Precedents” – and Victorian architecture throughout Ontario – marked on the photos under the column “Ontario Examples”. This chart of examples for the historically-inspired features to be incorporated into the project design will serve as heritage precedents for the proposed new house elevations. These Victorian architectural features may need further elaboration as the design gets developed.

DESIGN COMPATIBILITY OF PROPOSED DEVELOPMENT

9785 and 9797 Keele St., Vaughan, Ontario
Location : Village of Maple Heritage Conservation District

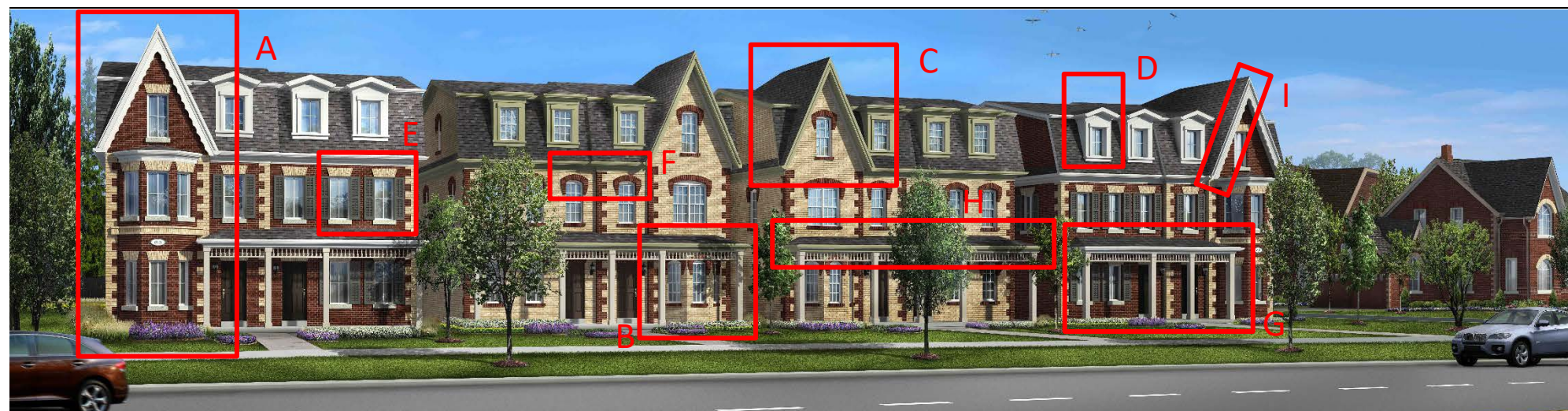
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Figure 39 – RN Design Concept Elevations, conjecturally incorporated in a streetscape photomontage by AREA to demonstrate the development's relationship with adjacent historic structure, "Keffer House" at 9773 Keele St



Figure 40 – Respectful Development Proposals within the Maple HCD, obtained from the Maple HCD Study Vol.2



PROPOSED VICTORIAN ARCHITECTURAL FEATURES

- A - TWO-STOREY BAY, MARKING CORNERS OF DEVELOPMENT
- B - ONE-STOREY BAY, INTERIOR UNIT OF DEVELOPMENT
- C - STREET-FACING GABLE JOINS WITH ROOF EAVES
- D - DORMER WINDOW OPEN GABLE, FULLY WITHIN ROOF SLOPE
- E - SQUARE-HEAD WINDOWS 2-OVER-2, WITH SHUTTERS
- F - SEGMENTAL ARCHES WITHOUT SHUTTERS
- G - PORCH PARTIAL& ASSYMETRICAL, ENDS AT BAY WINDOW
- H - PORCH FULL WIDTH, EXTENDS ACROSS ENTIRE FACADE
- I - GABLE, DECORATIVE VERGEBOARD AT END UNITS

Figure 41– Perspective View of Keele St. Façade, incorporating neighbouring Keffer House within the adjacent development at 9773 Keele St., RN Design & Coolaid Studio, April 2019, annotated by AREA to identify variety of Victorian Architecture Features

7 IMPACTS OF THE PROPOSED DEVELOPMENT

7.1 Demolition of Non-Heritage Buildings

The proposed development seeks to remove the existing single detached houses at 9785 and 9797 Keele Street, and to replace them with newly built townhouse units. As these properties form part of the District, they are subject to the guidelines of the Maple HCD Study and Plan. The Maple HCD Study and Plan anticipated the possibility of demolition for non-heritage properties, as it states (underline for emphasis),

“Generally, the demolition of a Non-Heritage building is not supported if the building is supportive of the overall heritage character of the District.” (Maple HCD Plan, Section 4.3.3., p.20)

Among the four addresses of the two developments by this owner-developer, only the property at 9560 Keele Street was initially subject to a heritage evaluation, as directed by Heritage Planning Staff in May 2014 (Appendix E). However, Heritage Planning Staff subsequently requested heritage evaluation of the buildings on this land assembly of 9785-9797 Keele St. as well.

The houses at 9785 & 9797 Keele Street were subject to the research and evaluation of this CHRIA report (see sections 3 and 4), and were assessed to have insufficient heritage value to be considered as Heritage buildings within the Maple HCD. The houses on this property are Non-Heritage building within the District. The two house properties are the result of subsequent severances to a historic concession lot originally owned by the McDonald family settlers. Built in the 1950s, the houses do not have any associations with a historic figure.

Neither building represents an individual architect's ideas, a formal architectural style, or a landmark status. With these findings, both houses scored low on both the OHA Provincial Criteria, and the City of Vaughan's Built Heritage Evaluation categories that encompass historical, contextual, and architectural values (see section 4). Therefore, because of the absence of heritage criteria, the houses at 9785 & 9797 Keele Street are deemed Non-Heritage buildings and can be appropriately demolished.

The heritage evaluation reports, preceding and comprising this CHRIA, have concluded that both properties at 9785 and 9797 Keele Street are Non-Heritage properties. They incorporate only limited “contributing attributes” to the heritage character of the District such as their building orientation, form and massing, and materials (also see subsection 4.3). These contributing attributes provide opportunities to be “enhanced” by being adopted into the new development. As stated in the Maple HCD Plan Vol. 3, the objectives for Non-Heritage Buildings are (also see Table 10, underline for emphasis),

“...to retain and to enhance complementary characteristics of non-heritage buildings, and to encourage improvements to non-complementary buildings so that they further enhance the heritage character of the District.”

The substitution of these existing non-heritage houses with a new townhouse development provides opportunities for the properties to have an active and contributory role within the Maple HCD.

7.2 Balance of Conservation and Growth

Overall, the development supports conservation and growth within the Maple HCD. Its conservation and design strategies accommodate a modest increase in density that is in line with the objectives and recommendations of the Maple HCD Study and Plan, as well as the City of Vaughan's "Official Plan 2010: A Plan for Transformation", as partially approved by the Ontario Municipal Board on July 23, 2013, December 2, 2013, February 3, 2014 and September 30, 2014; with October 2014 office consolidation ("Vaughan OP"). "Schedule 13 Land Use" of Vaughan's OP designates areas within the Maple HCD as,

- a "Local Centre", for land portions within the boundaries of the Historic Village of Maple, and as
- a "Community Area", for properties to the north and south areas of the Historic Village of Maple.

The subject land assembly forms part of the Maple HCD Community Areas, and are therefore governed by Section "2.2.3 Community Areas" of Vaughan's OP. As such, the subject land assembly are characterized to (with "[]" for added text, and underlines for emphasis):

- 2.2.3.1 provide most of the City's low-rise housing stock, as well as local-serving commercial uses and community facilities...
- 2.2.3.2. [be] considered Stable Areas...with existing development not intended to experience significant physical change.
- 2.2.3.3. [permit] limited intensification...as per the land use designations on Schedule 13 and in accordance with the policies of Chapter 9 of this Plan.

The subject development proposes three-storey semi-detached and townhouse buildings that meet the criteria for low-rise housing stock, stability, and limited intensification for Community Areas. As defined in the Vaughan OP "9.2.2 Land Use Designations", "Low-Rise Residential" uses are governed by the following policies (with "[]" for added text, and underlines for emphasis):

- 9.2.2.1.a ...to consist of buildings in a low-rise form no greater than three storeys,
- 9.2.2.1.b.i ...[to permit] Residential units,
- 9.2.2.1.c.i-ii ...[to permit] Semi-Detached House [and] Townhouse.

Furthermore, the proposed development meets the Vaughan OP 9.1.2.1.a objective, which states that, "in Community Areas, new development will be designed to respect and reinforce the physical character of the established neighbourhood within which it is located." The new development's three-component design strategy, involving siting (6.1), scale and massing (6.2), and street elevation design (6.3) also covered the following elements set out in Vaughan's OP 9.1.2.2:

- a. the local pattern of lots, streets and blocks;
- b. the size and configuration of lots;
- c. the building type of nearby residential properties;
- d. the heights and scale of nearby residential properties;
- e. the setback of buildings from the street;
- f. the pattern of rear and side-yard setbacks; and,
- g. conservation and enhancement of heritage buildings, heritage districts and cultural heritage landscapes.

7.3 Densification for Future Economic Viability

One of the objectives for new developments within the Maple HCD is (underline for emphasis) “to ensure compatible infill construction that will enhance the District's heritage character and complement the area's village-like, human scale of development, while promoting densities sufficient to secure the District's future economic viability” (see 6.2 of CHRIA, and 2.4.5 of Maple HCD Vol.3). The subject development proposal supports growth and development while also promoting heritage-compatible strategies to maintain and to enhance the character-defining elements of the Maple HCD.

Increase in density has been the prevalent direction throughout the Maple HCD. This has resulted in developments that have been deemed, for the most part, as successfully compatible following the City's rigorous planning approval process. The Maple HCD studies as well as its resulting Designation By-Law have created thorough and careful development procedures to ultimately guide the success and compatibility of new projects.

The location of the subject properties within the Maple HCD provides sites that are well-fit for moderate densification. This portion of the Maple HCD contains disparate and separated Heritage Properties, built c. 1860s-1920s, which are spread apart from each other. A majority of the properties were previously vacant lots slated for multi-residential developments since the 1960s. At present, at least 4 townhouse developments are approved or undergoing development applications in the vicinity (Figure 25).

With other matters to be addressed under the Planning Act, the City must consult with its appropriate departments and agencies with regard to adjacent uses (ie. compatibility of the size, shape, and the proposed use of the subject lot with the adjacent uses), access considerations, and availability of services. But overall, the strategy of infilling in an existing urban area and heritage conservation district economizes the use of urban space without disrupting the prevalent pattern of both existing and new developments. As the subject proposal complies with the City's applicable policies and guidelines, it perpetuates a desirable pattern of development, such as recent Maple HCD developments that have already been deemed acceptable by the City and its constituents (Figure 40).

8 HERITAGE IMPACT & MITIGATION STRATEGIES FOR PROPOSED DEVELOPMENT

8.1 Impact on Existing Property

The existing buildings at 9785 and 9797 Keele Street are proposed for demolition. The heritage evaluation of the properties (Sections 3 & 4) concludes that the house structures do not have sufficient contextual, historical, or architectural significance to be among the “heritage properties” within the Maple HCD.

The house structures comprising the subject property lots are not associated with the McDonald or Keffer family settlers. The original McDonald family concession lot was transferred to become the George Keffer farm property. Subsequently, this George Keffer property was subdivided to create the existing property lots at 9785 and 9797 Keele Street. Both 9785 and 9797 Keele Street properties do not have associations with any historical figures or events. The house structures within the property lots are also not associated with any architect or builder, and are not reflective of any formal architectural style.

As an example of 1950s, suburban, housing, the design of both house types reflects only the economic expediency that led to their construction. These types of houses, with their prefabricated templates, helped realize the efforts by homeowners and developers to provide cost-efficient housing. These two house structures are, however, infill structures, and they do not belong to a neighbourhood development that would contribute to the consolidation and establishment of a street “character.”

The heritage designation of the subject properties is only a result of their inclusion within the Maple HCD. The circumstances of the structures’ low heritage value, poor conditions, and their lack of compatibility with the evolving Maple HCD preclude their retention, conservation, or reuse. The structures, by themselves, do not represent the historic period of the District, and are not able to accommodate the pressing demand for the village’s growth and development.

The Maple HCD Study and Plan (Section 4.3.3 of Maple HCD Vol. 3) anticipated the possibility of demolition for non-heritage properties. As it states (underline for emphasis), “generally, the demolition of a Non-Heritage building is not supported, *if* the building is supportive of the overall heritage character of the District.” However, the subject house structures at 9785 and 9797 Keele Street have no heritage value and show intensive alterations and overall neglect. The substitution of these existing non-heritage house structures with a new development of semi-detached and townhouse units is found to be an effective way for the subject properties to acquire an active and contributory role within the Maple Heritage Conservation District (see subsection 3.2. D).

8.2 Mitigation Strategy of Historical Complementary Design

In subsection 4.4 of Maple HCD Vol. 3, new residential buildings are prescribed to “have respect for and be compatible with the heritage character of the District.” The built heritage, found within the Maple HCD, is comprised of a rich design language, translated into several architectural styles, elements, features, and decorations, to which the new development must be “sympathetic.” There is no singular prescription in achieving a compatible and a distinguishable design. However, several design techniques have proven to be effective.

Subsection 4.3.2 of Maple HCD Vol. 3 identified two design approaches for new residential developments: a “Modern Complementary” approach and a “Historical Complementary” approach. The current development proposal adopts the latter approach, which is defined by the Maple HCD Vol. 3 as to “give an appearance of an older building.” This is implemented through the application of consistent materials, details, and ornaments that are found from the prevalent Victorian Gothic architectural style within the Maple HCD. However, even this specific design approach can be elaborated in different ways.

RN Design prepared elevation drawings that took inspiration from Maple HCD’s prevalent Vernacular Victorian architectural style to achieve a streetscape façade that integrates with the surrounding and adjacent heritage buildings. For example, the proposed design incorporated a gable roof structure, which is a prevalent building form within the District (also see Figure 21). It also adopts a dichromatic brick envelope (see subsection 8.2.1 and 8.2.2), which took inspiration from the adjacent and nearby heritage structures. This strategy of applying different brick types on adjacent or new additions to a historic structure could be observed from “respectful” recent developments within the Maple HCD (Figures 40).

The townhouse’s decorative features and its overall design took inspiration from, but do not strictly comply with Victorian styling principles. The proposed design avoids a “hybrid” design that inappropriately mixes foreign historical styles. The adaptation of, and deviation from Victorian styling allowed the proposal to meet the requirements of “compatibility” and “distinguishability.” Distinguishability, a widely-accepted concept in heritage conservation, is generally applied to different forms of new work within a historic context. The concept of distinguishability promotes harmony with sufficient restraint. It is also advocated in subsection 4.4 of the Maple HCD Vol. 3, which stipulates that, “the design of new buildings will be products of their own time.” This meticulous balance provides a subordinate form of “distinguishability” from the adjacent historic Keffer House and other Victorian structures within the Maple HCD (Figures 42-45). The following subsections outline the different design strategies of the proposed townhouses:

8.2.1 Composition of Masonry Brick Wall

The elevation design took inspiration from the dichromatic brick envelope of the adjacent Keffer House structure. The pattern of red-field/buff-accent and buff-field/red accents (see sub-section 6.3) was emulated with the use of other materials, being modern-size bricks and stone accents. This strategy of applying different brick types on adjacent or new additions to a historic structure could be observed from recent developments throughout the Maple HCD (see Figures 42, 44 & 45). This strategy seeks to maintain subtle distinguishability while maintaining historic masonry patterns and accents.

8.2.2 String Course Banding and Quoins

String course banding and quoins in a contrasting (accent) brick colour is found in most of the historic brick buildings of Maple (Figures 42, 44 & 45), including the adjacent Keffer House (Figure 39). The double string courses were incorporated on the base level of each storey and on the gable end of the proposal. This placement of string courses incorporated a somewhat similar height distance between them, thereby creating a unifying and rhythmical banding across the townhouse elevations. The quoins provide a variation in the façade planes and thereby reduce the mass of the townhouse blocks.



Figure 42 – Brick Quoins on Heritage Structure at 9920 Keele Street, (north of subject properties) from Maple HCD Vol.1



Figure 43 – Decorative Wood Trims at the Historic Maple Station, 30 Station Street, from Maple HCD Vol.1



Figure 44 – Reverse Dichromatic Brickwork on the Addition to the Historic Structure at 9901 Keele Street, photo taken by AREA, 2015



Figure 45 – Reverse Dichromatic Brickwork on the Addition to Historic Structure at 9994 Keele Street, photo taken by AREA, 2015

8.2.3 Fenestration Design

The proposed design incorporates four types of window design: (1) bay windows on the projecting gable ends, (2) rectangular windows with two-over-two or six-over-six pane patterns of double-hung sashes, (3) a variation of type '2' with shutters, and (4) dormer windows with, again, two-over-two or six-over-six sashes. Window types in the proposed townhouse units are rectangular or segmentally arched. The detailing is simple with the windows' square-headed shape. The proportions are also mostly taller than they are wide just as the prevalent window sizes throughout the Maple HCD (see Figures 46-47). The bay windows (window type '(1)') incorporate a two-storey variation of a Victorian bay window (Figure 47). These window types are true to the development's overall design approach, and are derived from Maple HCD's character-defining architectural features.

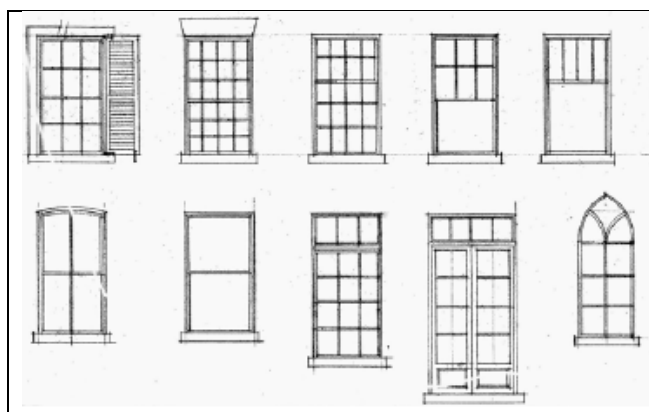


Figure 46 – Illustration of Prevalent Window Design in Maple HCD, mostly with 2:1 ratio from subsection 9.2.4 of the Maple HCD Vol. 3

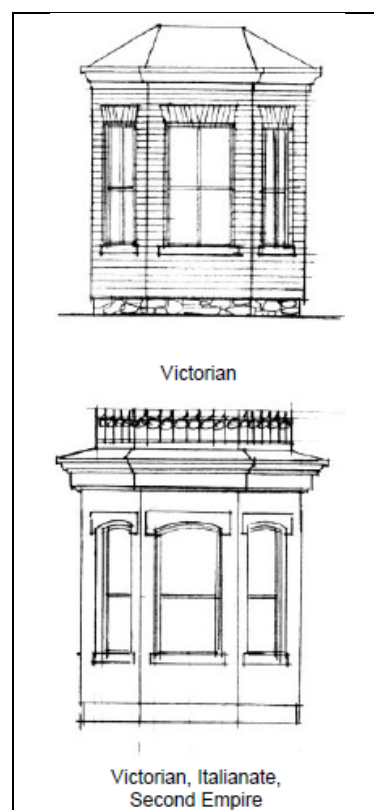


Figure 47 – Common Bay Window Designs in Maple HCD from subsection 9.2.5 of the Maple HCD Vol. 3

The proposed townhouse design therefore is distinguishable but historically complementary. It adapted the form and massing of the adjacent Keffer House while managing to incorporate an inconspicuous play and modification of strict Victorian styling. Yet, the design proposal's incorporated "modifications" remain indigenous to the Maple HCD area, which reflects subsection 4.4 of the Maple HCD Vol.3 that provides ('[]' for added text), "...but [new buildings] should reflect one of the historic architectural styles traditionally found in the District." The proposed townhouse design for example, incorporated decorative timbering that are found among other Maple HCD historic structures (see Figure 43).

8.3 Compatibility of Development within District

The subject development proposal seeks to introduce 16 residential units in replacement of 2 single-family detached house structures. This objective fits the location of the subject properties, which are located outside the central core of the Village of Maple (Figures 4, 13 & 14) at the intersection of Keele St. and Major Mackenzie Dr. Within the immediate proximity, 1860s-1920s house structures are rather dispersed. This resulted in a majority of property lots being treated as sites for new developments since the 1960s. At present, at least 4 townhouse developments are under development applications, approved or underway (Figure 25).

The proposed townhouse development incorporates various design strategies in terms of siting (6.1), scale and massing (6.2), and street elevation design (6.3). The new development proposal is conscientious in terms of building placement, site setbacks, site allowances, building height, and blocking. At street level, it promises to enliven the Keele Street streetscape. The characteristics of the existing Maple HCD context – its “villagescape” – comprised of a variety in setbacks, the mixture of built forms, its pedestrian-friendly scale, abundance of trees, etc. (see 3.2.1), must be consistently conserved. The proposed townhouse development incorporates and follows mitigation strategies that are recommended by the City’s policies and guidelines with regards to the Maple HCD. It is the opinion of this CHRIA that the subject development proposal supports and advances City’s goals and objectives as identified in its Official Plan and the Maple HCD.

9 DESIGN REVISIONS & RECOMMENDATIONS

9.1 Design Consultation

This April 2019 revision of the CHRIA incorporates several updates since the earlier reports of June/July/August 2015 and August 2017. The City Cultural Heritage Coordinator, Katrina Guy, provided Memoranda on June 1 and August 16, 2018 with comments about the proposed design and the original CHRIA. In addition, several discussions and meetings have occurred between the owner accompanied by their planning consultant, Weston Consulting, and City Staff from Planning Department and Urban Design and Cultural Heritage Sections. This revised CHRIA report incorporates the design revisions and other responses to the City Comments.

9.2 Commemorative Measures & Concluding Recommendation

The City's CHRIA Guidelines identifies three types of mitigation options: (i) "Avoidance Mitigation" permits developments to proceed with the retention of the subject buildings in-situ; (ii) "Salvage Mitigation" explores the possibility of building relocation or architectural salvage; while, (iii) "Historical Commemoration" recalls the historical development of the property and the subject buildings through a feature within the new development.

Among the three types of mitigation options, only "(iii)" Historical Commemoration" is suitable for the subject property. The deteriorating conditions of the buildings within the property will not permit their in-situ retention or their relocation within the combined land assembly. But most importantly, their low cultural significance does not warrant their retention or even partial salvage of these modest structures. However, Historical Commemoration – as opposed to physical retention – can be achieved with the following measures: (1) partial salvage, (2) documentation through drawings or photographs, (3) naming of streets and public spaces, or (4) installation of historical plaques. In particular, the historical documentation contained in this report can be incorporated into commemorative measures such as the following:

- the design of landscaping features,
- naming of public parks,
- naming of proposed private streets, and/or
- historical plaque(s) or interpretative panel(s).

This CHRIA considerations must however, be finessed, to avoid misconstruing history. For example, the private lane within the new residential development may be named, for example, "Keffer Street" versus "McDonald Street" since the subject property lots are direct derivations of the George Keffer property, and not the James or John McDonald property. Some mitigation options, such as '(1) partial salvage' and '(2) documentation', are only applicable if the house structures, proposed for demolition, possess unique physical attributes that are worth salvaging. However, the simplicity of the subject house structures will not yield salvageable materials and assemblies, worthy to be displayed or kept for future references. So only the commemorative options of (3) street names, and (4) historical plaques are applicable to these lands.

As a form of Historical Commemoration, research-related information, contained in this CHRIA and other component studies for the subject development, may be incorporated into an information depository. Such records will aid in the planning of the project and other future developments in the area.

9.3 Concluding Recommendation

These and other submissions for various applications will require the City's heritage approval through the Heritage Planning staff, Heritage Vaughan Committee, and ultimately, Council. Therefore, during the development process, the City heritage authority will have the opportunity to review and approve the heritage compatibility of this project.

It is the opinion of this CHRIA that the subject development proposal is acceptable for incorporation within the Village of Maple Heritage Conservation District. It is a fine example of an infill residential development that is developed carefully and sympathetically with its heritage context.

10 APPENDICES

- Appendix A. City of Vaughan, Guidelines for Cultural Heritage Resource Impact Assessment ('GfCHRIA')
- Appendix B. City of Vaughan, Built Heritage Evaluation Form (BHEF)
- Appendix C. City of Vaughan, Vaughan Heritage Inventory, Extract, pp. 1 & 24
- Appendix D. City of Vaughan, Village of Maple Heritage Conservation District, Property Inventory
- Appendix E. Correspondence with Vaughan Heritage Staff, May 12, 2014
- Appendix F. Site Plan, March 15, 2019, RN Design
- Appendix G. Victorian Architecture Features Precedents & Examples
- Appendix H. Qualifications of AREA, and David Eckler

Appendix A. City of Vaughan, Guidelines for Cultural Heritage Resource Impact Assessment ('GfCHRIA')



GUIDELINES FOR CULTURAL HERITAGE RESOURCE IMPACT ASSESSMENT REPORTS

Policy Provisions for Cultural Heritage Resource Impact Assessment Reports

On June 27, 2005, Council approved a document entitled "Strategy for the Maintenance & Preservation of Significant Heritage Buildings". Section 1.4 of the 'Strategy' has the following provision as it relates to Cultural Heritage Resource Impact Assessment requirements:

"Policy provisions requiring Cultural Heritage Resource Impact Assessment reports by heritage property owners shall be included in the City's Official Plan and Official Plan Amendments. Cultural Heritage Resource Impact Assessment (CHRIA) reports will provide an assessment of the heritage site or property and the impact the proposed development will have on the heritage structure. CHRIA reports will also include preservation and mitigation measures for the heritage property."

In addition, Section 4.2.6.4 of OPA 600 policy states, in part, the following:

(i) Block Plans

The City shall require that a comprehensive Cultural Heritage Resource Impact Assessment be prepared by a qualified heritage consultant as supporting material for a Block Plan. The purpose of the Cultural Heritage Resource Impact Assessment is to document and assess existing heritage features including buildings and other structures, sites, landscapes, areas and environments by means of historical research, photographic documentation and architectural assessment and an archaeological resource assessment.

(ii) Cultural Heritage Assessment

A detailed Cultural Heritage Resource Impact Assessment prepared by a qualified cultural heritage consultant may be required for development applications which affect either directly or indirectly, an individual property or a group of properties identified in the Inventory, archaeological sites or other significant heritage features.

As a result of the above policy statements, a Cultural Heritage Resource Impact Assessment may be requested by the City of Vaughan as part of the block plan development process for OPA 600 lands.

Buildings identified in the City's "*Listing of Buildings of Architectural and Historical Value*" or listed in the "*City of Vaughan Heritage Inventory*" may be subject to review in a Cultural Heritage Resource Impact Assessment.

A Cultural Heritage Resource Impact Assessment should not be confused with an archaeological resource assessment. To better differentiate the two, a cultural heritage assessment will identify, evaluate and make recommendations on *built heritage resources and cultural landscapes*.

***Guidelines for Cultural Heritage Resource Impact Assessment Reports
Updated September 2012***

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Conversely, an archaeological resource assessment identifies, evaluates and makes recommendations on *archaeological resources*.

Purpose

The purpose of undertaking a Cultural Heritage Resource Impact Assessment is to identify and evaluate cultural heritage resources in a given area (i.e. real property) to determine the impact that may result from a specific undertaking or development of the subject property. As a result of this assessment process by a qualified consultant, the following is to be determined:

1. Whether a building is significant and should be preserved and incorporated within the proposed development. If the building is not considered significant, valid reasons on why it is not should be presented in the Impact Assessment report.
2. Preservation option (as found below) for the significant building and how it will be preserved or incorporated in a development (whether commercial or residential).

Requirements of a Cultural Heritage Resource Impact Assessment

The requirement of a Cultural Heritage Resource Impact Assessment shall be identified and requested by Cultural Services staff in its review of development applications as circulated by the Vaughan Planning Department for comment. Notification of the requirement to undertake a Cultural Heritage Resource Impact Assessment shall be given to a property owner and/or his/her representative as early in the development process as possible. Cultural Services staff will identify the known cultural heritage resources on a property that are of interest or concern.

In conjunction to the requirements set out in these guidelines, please refer to Ontario Heritage Toolkit, InfoSheet #5, as it assists in the understanding of the Provincial Policy Statement, 2005 policies related to the conservation planning of cultural heritage and archaeological resources.

The following items are considered the minimum required components of a Cultural Heritage Resource Impact Assessment report:

1. The hiring of a qualified heritage consultant to prepare the Cultural Heritage Resource Impact Assessment report. It is recommended that the consultant be a member of C.A.H.P. (Canadian Association of Heritage Professionals).
2. A concise history of the property and its evolution to date.
3. A history and architectural evaluation of the built cultural heritage resources found on the property.
4. The documentation of all cultural heritage resources on the property by way of photographs (interior & exterior) and /or measured drawings, and by mapping the context and setting of the built heritage.
5. An outline of the development proposal for the lands in question and the potential impact the proposed development will have on identified cultural heritage resources.
6. A comprehensive examination of the following preservation/mitigation options for cultural heritage resources. Recommendations that result from this examination should be based

***Guidelines for Cultural Heritage Resource Impact Assessment Reports
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on the architectural and historical significance of the resources and their importance to the City of Vaughan's history, community, cultural landscape or streetscape. The options to be explored include (but are not limited to):

Avoidance Mitigation

Avoidance mitigation may allow development to proceed while retaining the cultural heritage resources in situ and intact. Avoidance strategies for heritage resources typically would require provisions for maintaining the integrity of the cultural heritage resource and to ensure it does not become structurally unsound or otherwise compromised. Feasible options for the adaptive re-use of built heritage structure or cultural heritage resources should be clearly outlined.

Where preservation of the entire structure is not feasible, consideration may be given to the preservation of the heritage structure/resource in part, such as the main portion of a building without its rear, wing or ell addition. The preservation of facades only, while not a preferred option, may be considered.

Salvage Mitigation

In situations where cultural heritage resources are evaluated as being of minor significance or the preservation of the heritage resource in its original location is not considered feasible on reasonable and justifiable grounds, the relocation of a structure or (as a last resort) the salvaging of its architectural components may be considered.

Historical Commemoration

While this option does not preserve the cultural heritage of a property/structure, historical commemoration by way of interpretive plaques, the incorporation of reproduced heritage architectural features in new development, or erecting a monument-like structure commemorating the history of the property, may be considered.

Review/Approval Process

Four copies of the Cultural Heritage Resource Impact Assessment shall be distributed to the City of Vaughan: 2 copies to the Vaughan Planning Department and 2 copies to the Cultural Services Department (one copy shall be stored for research purposes in the City of Vaughan Archives).

Staff will determine whether the minimum requirements of the Impact Assessment have been met and review the conclusions and recommendations outlined in the subject report. City staff will meet with the owner/applicant to discuss the Impact Assessment report and recommendations contained therein.

Heritage Vaughan Committee, a statutory advisory committee to Vaughan Council, will also review all Impact Assessment reports. Heritage Vaughan Committee may make recommendations to Vaughan Council with regards to the recommendations contained in the subject reports.

The preparation and submission of a Cultural Heritage Resource Impact Assessment report may be a required condition of approval for development applications and draft plan of subdivision applications.

***Guidelines for Cultural Heritage Resource Impact Assessment Reports
Updated September 2012***

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Any questions or comments relating to these guidelines may be directed to:

Cecilia Nin Hernandez, B.E.D.S, M.Arch
Cultural Heritage Coordinator
Cultural Services Division, Department of Recreation and Culture
2141 Major Mackenzie Drive, Vaughan, ON., L6A 1T1
Phone: (905) 832-8585, ext. 8115
Fax: (905) 832-8550
cecilia.nin@vaughan.ca

Daniel Rende, M.Pl.
Cultural Heritage Coordinator
Cultural Services Division, Department of Recreation and Culture
2141 Major Mackenzie Drive, Vaughan, ON., L6A 1T1
Phone: (905) 832-8585, ext. 8112
Fax: (905) 832-8550
daniel.rende@vaughan.ca

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Updated September 2012

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Appendix B. City of Vaughan, Built Heritage Evaluation Form (BHEF)

BUILT HERITAGE EVALUATION FORM

BUILDING/STRUCTURE ADDRESS:

COMMUNITY:

LOT: CON:

COMMON NAME OF BUILDING/STRUCTURE (IF KNOWN):

ARCHITECTURE (Maximum 80 points)			
			TOTAL ARCHITECTURE:
STYLE	EVALUATION CRITERIA	GRADING	COMMENTS
Good, notable, rare, unique, or early example of a particular architectural style or type. Exterior architectural style only should be evaluated. (i.e. change in roofline, skylights, additions, or removal of features, etc. that have changed the style of the building.)	E-Excellent to very good or extremely early example of its style.	E – 20	
	VG-Good example of its style with little to no changes to the structure.	VG – 15	
	G- Good to fair example of its style (e.g. style evident in structure, however changes have occurred to building).	G- 8	
	F/P- Style is not evident or considered a good example.	F/P – 0	
CONSTRUCTION	EVALUATION CRITERIA	GRADING	COMMENTS
Good, notable, rare, unique, or early example of a particular material or method of construction. (i.e.) log construction, pre-1850, stone, board on board construction, etc.)	E-Excellent or early example of its construction method.	E – 10	
	VG- Good or early example of its construction method.	VG – 8	
	G/F- Good to fair example of its construction method.	G/F- 5	
	P- Construction method is not significant in nature nor is it of particular interest.	P – 0	
AGE	EVALUATION CRITERIA	GRADING	COMMENTS
Comparatively old in the context of the City of Vaughan's architectural history.	E- Built between dates 1790-1820.	E – 5	
	VG- Built between dates 1821-1910.	VG – 3	
	G- Built between dates 1911-1939.	G- 2	
	F/P- Built since 1940.	F/P – 0	
INTERIOR	EVALUATION CRITERIA	GRADING	COMMENTS
Integrity of interior arrangement, finish, craftsmanship, and/or detail are particularly attractive or unique and/or still exist.	E- Excellent interior (80-100% intact).	E – 5	
	VG- Very good interior (70-79% intact).	VG – 3	
	G- Good interior (50-69% intact).	G- 2	
	F/P- Fair or poor (0-49% intact).	F/P – 0	

ALTERATIONS	EVALUATION CRITERIA	GRADING	COMMENTS
Building has undergone minor exterior alterations, and retains most of its original materials and design features. Checklist includes: Original Exterior Siding 30% Windows/doors 30% Verandahs/trim 30% Foundation/location 10% Structural Plan (no modern or sympathetic additions) 10%	E- Exterior of building is unchanged. (90-100% intact)	E - 20	
	G- Exterior of building has changed somewhat, but character retained. (61-89% intact)	G- 15	
	F- Exterior of building has changed somewhat and original character compromised. (40-60% intact)	F- 8	
	P- Original exterior character destroyed. (0-30% intact)	P - 0	

CONDITION	EVALUATION CRITERIA	GRADING	COMMENTS
Exterior/interior of building is in good structural condition (i.e. evidence of decay in exterior siding, roof, or interior basement, wall surface, flooring, or ceiling, suggesting structure to be unsound.) Checklist: Exterior Siding/Gutters (cracks, spalling) Roof/Interior Ceiling/Gutters Flooring, unstable, depressions Interior Wall surface, cracks, etc Basement (leaks mold, dry or wet rot on beams)	G- Good structural condition. (No evidence of decay)	G- 20	
	S- Somewhat good structural condition. (Minor/little evidence of decay)	S - 15	
	F- Fair structural condition (Some (i.e. 2 from adjacent list) evidence of decay).	F- 10	
	P- Poor structural condition. (Significant/considerable evidence of decay.)	P- 0	

HISTORICAL SIGNIFICANCE **(Maximum 5 points)**

TOTAL HISTORY:

HISTORICAL SIGNIFICANCE	EVALUATION CRITERIA	GRADING	COMMENTS
Structure is associated with the life or activities of a person, group, organization or event significant to the history of Vaughan, or illustrative of the community's cultural social political, economic or industrial history.	E- Individual, group, event or site of primary significance to the surrounding community. (Political official, prominent community member, religious leader, significant site/landmark in history of Vaughan.)	E- 5	
	VG- Individual, group, event or site of some significance to the surrounding community. (Owner /family was long-standing member/s of community.)	VG- 3	
	M- Individual, group, event or site of minor or little significance to the surrounding community. (No historical background on structure or individual that built structure or family.)	M-2	
	F/P- Site, structure, has no significance to Vaughan's history.	F/P- 0	

ENVIRONMENT
(Maximum 15 points)

**TOTAL
ENVIRONMENT:**

ENVIRONMENT/STREETSCAPE/COMMUNITY	EVALUATION CRITERIA	GRADING	COMMENTS
Structure contributes to the continuity or character of the street, community, or area.	E- Of particular importance in establishing the dominant/historic character of the area, community, or streetscape.	E – 15 VG –10 G –8 F/P – 0	
Heritage buildings in a rural areas (i.e. former farm buildings), not yet developed or part of a Block Plan development, that have a good architectural rating should be rated for its community and/or contextual significance based on the criteria defined.	VG- Of importance in establishing or maintaining the dominant/historic character of the area, landscape, streetscape, or significant to the community for its architectural value (i.e. received a 79+ rating under the architectural evaluation portion of this form). G- Compatible with the dominant character of the area or streetscape or considered of some significance to the rural architectural history of the area/community (i.e. building is not part of historic streetscape, but an architecturally good building, based on a high evaluation under the architectural evaluation section of this form/64-79 total.) F/P- Incompatible with the dominant character of the area, streetscape and of no particular significance architecturally to the community, based on its architectural evaluation in the first section of this form/0-64 total.		

GRADING:

TOTAL

KEY TO GRADING

80-100 = GROUP A –VERY SIGNIFICANT

65-79=GROUP B- SIGNIFICANT

40-64 =GROUP C- MODEST SIGNIFICANCE

0-39= GROUP D – LITTLE OR NO SIGNIFICANCE

Appendix C. City of Vaughan, Vaughan Heritage Inventory, Extract, pp. 1 & 24



City of Vaughan Heritage Inventory

The City of Vaughan Heritage Inventory includes:

- **all individually designated properties**
(Buildings or structures designated under Part IV of the Ontario Heritage Act.)
- **all properties within a Heritage Conservation District**
(Buildings or structures designated under Part V of the Ontario Heritage Act.)
- **all properties in the *Listing of Buildings of Architectural and Historical Value***
(The City of Vaughan's Register of Property of Cultural Heritage Value as per Part IV, Subsection 27 of the Ontario Heritage Act (approved by Council on June 27, 2005.)
- **all properties of interest to Cultural Services Division**
(After further review or research, these properties may be determined to have cultural heritage significance.)

Address	Properties are arranged alphabetically by street name and then street number
Bldg	Multiple buildings or structures within the same municipal address are identified by a letter
LSHS	Building or structure included in the <i>Listing of Buildings of Architectural and Historical Value</i> . <i>Approved by Council in 2005, commonly known as Register of Property of Cultural Heritage Value</i>
Part IV	Building or structure designated under Part IV of the Ontario Heritage Act
Part V	Building or structure is within a Heritage Conservation District and, therefore, designated under Part V of the Ontario Heritage Act
HCD	(KN) Kleinburg-Nashville Heritage Conservation District (T) Thornhill Heritage Conservation District (M) Maple Heritage Conservation District (W) Woodbridge Heritage Conservation District

Vaughan Heritage Inventory

	Property Address	Name	Architectural Style	Year Built	Registered			HCD
					in LSHS	Part IV	Part V	
400	9519 Keele Street						✓	M
401	9560 Keele Street						✓	M
402	9570 Keele Street						✓	M
403	9575 Keele Street						✓	M
404	9580 Keele Street						✓	M
405	9589 Keele Street						✓	M
406	9593 Keele Street						✓	M
407	9597 Keele Street						✓	M
408	9600 Keele Street						✓	M
409	9611 Keele Street						✓	M
410	9631 Keele Street						✓	M
411	9635 Keele Street						✓	M
412	9643 Keele Street						✓	M
413	9649 Keele Street						✓	M
414	9652 Keele Street						✓	M
415	9654 Keele Street						✓	M
416	9655 Keele Street						✓	M
417	9656 Keele Street						✓	M
418	9664 Keele Street						✓	M

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Appendix D. City of Vaughan, Village of Maple Heritage Conservation District, Property Inventory

Village of Maple, City of Vaughan

Inventory

Keele Street (east side)



9797 Keele Street

- 1½ storey (rendered) Cape Cod house with cantilevered rectangular bay window (c. 1940).
- **Description** – Modest pitched-roof bungalow has been substantially altered over the years, with render assumed to cover original exterior wall surface, which is assumed to have been red brick, as at (rebuilt) single-vent central chimney. Projecting, central bay window was probably clad in wooden siding, as remains at north and south gables, and would have been a decorative feature. Windows have been replaced and original window types, probably with smaller, multiple-pane upper sashes over taller, single-pane lower sashes, are now gone.
- **History** – 1968: “the home of Agnes Witherspoon” (source unknown).
- **Comments** – A once-attractive house which is the lone representative of its type in Maple. Small house is unfortunately much compromised by later alterations, though restoration would not be difficult; and an addition could be easily accommodated at rear of house. Garage is a later addition, and without heritage value. Very large lot has large deciduous tree at NW corner, and tall conifer at SE corner.

Nicholas A. Holman MA, OAQ

November 2005

Appendix E. Correspondence with Vaughan Heritage Staff, May 12, 2014

From: Rende, Daniel <Daniel.Rende@vaughan.ca>
Sent: May 12, 2014 4:52 PM
To: 'Julia Pierdon'; deckler@areaarchitects.ca; Ryan Guetter; Paul Lorusso
Cc: Nin Hernandez, Cecilia; Palermo, Angela
Subject: RE: Keele Street Heritage call
Attachments: Pages from Maple HCD Inventory.pdf; Pages from Maple HCD Inventory-2.pdf; Copy of CHRIASept 2012.pdf

Hi all,

Please find attached extracts from the Heritage Inventory, which is Volume 1 of the Plan, for 9560, 9570, and 9797 Keele Street. I was not able to find the page for 9795 Keele.

9560 Keele street is the building that requires an HIA, referred to as a Cultural Heritage Resource Impact Assessment by Vaughan staff. I have attached the requirements for a CHRIA.

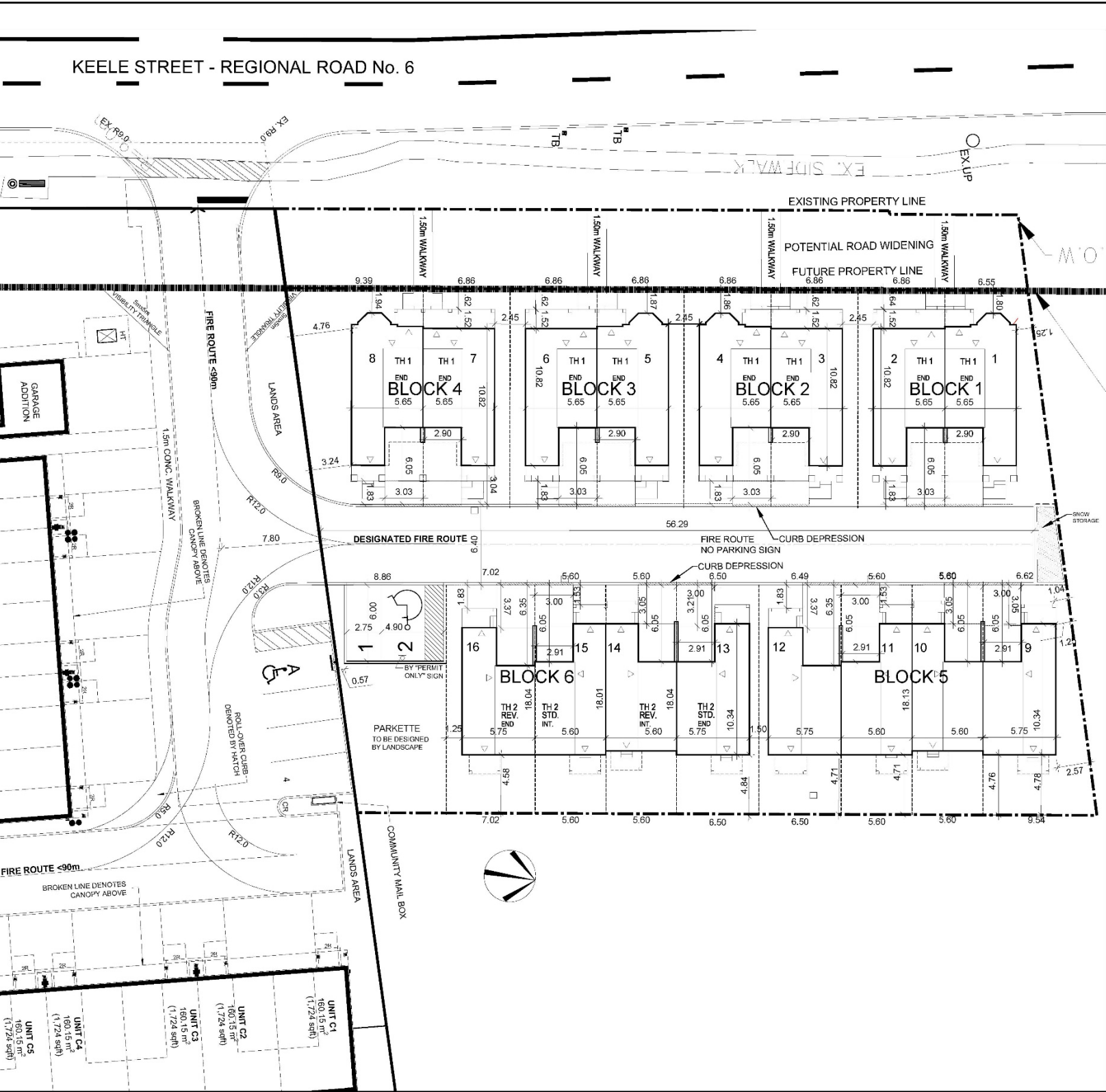
I do not have an electronic version of Volume 2 of the Maple HCD Guidelines, but I will send one if I manage to find or upload an electronic version.

Please contact me with any questions.

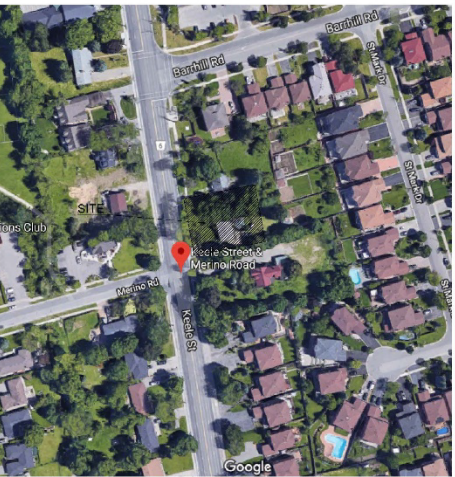
Regards,

Daniel Rende, M.Pl.
Cultural Heritage Coordinator
City of Vaughan
905-832-8585 x8112
Daniel.Rende@Vaughan.ca

Appendix F. Site Plan, March 15, 2019, RN Design



KEY PLAN N.T.S



Site Statistics			
Address: 9785, 9797 Keele Street, Vaughan, Ontario			
2. Site Area	Area (Sq. m.)	Area (Acres)	
Total Site Area	2523.35	0.21	
3. Zone	Area (Sq. m.)	Percentage (%)	
Residential	1578.05	62.54	
Landscaping/Open Space	725.13	28.73	
Lot Coverage (B) Building, Porches, Decks, Balconies, Pools and other structures	1007.78	40.33	
Lot Coverage (C) Landscaping	243.35	9.67	
4. Units per Block (UPB)			
Block 1	2	10.82	
Block 2	2	10.82	
Block 3	2	10.82	
Block 4	2	10.82	
Block 5	2	10.82	
Block 6	2	10.82	
Grand Total	12	65.00	
5. Gross Floor Area (GFA)			
Block 1	654.18		
Block 2	654.18		
Block 3	654.18		
Block 4	654.18		
Block 5	654.18		
Block 6	654.18		
Total	3925.92		
6. Floor Space Index (FSI)			
Block 1	1.89		
Block 2	1.89		
Block 3	1.89		
Block 4	1.89		
Block 5	1.89		
Block 6	1.89		
Total	11.34		
7. Building Height (Maximum)			
Block 1	12 m		
Block 2	12 m		
Block 3	12 m		
Block 4	12 m		
Block 5	12 m		
Block 6	12 m		
Total	12 m		
8. Amenity Area			
TH-1 (Terrace)	32.00		
TH-2 (Terrace)	7.00		
TH-3 (Deck)	2.72		
Common Area	118.00		
9. Building Height			
Block 1	4.54		
Block 2	4.54		
Block 3	4.54		
Block 4	4.54		
Block 5	4.54		
Block 6	4.54		
10. Setbacks (Minimum)			
North	1.00		
South	0.00		
East	4.54		
West (Abutting Keele St.)	1.74		
11. Parking Space			
Number of Resident's Parking	Required: 30, Provided: 30		
Number of Visitor's Parking	Required: 1, Provided: 1		
Number of Barrier Free Parking	Required: 1, Provided: 1		

THESE DRAWINGS ARE NOT TO BE SCALED.
ALL DIMENSIONS SHALL BE VERIFIED BY CONSTRUCTION FROM THE
COMPARISON OF ANY WORK. ANY DISCREPANCIES MUST BE
REPORTED IMMEDIATELY TO RN DESIGN LTD.

PROJECT COMMENTS:

NO.	DESCRIPTION	DATE	ISSUED	CHK
1	PRELIMINARY SITE PLAN FOR REVIEW	JUNE 13/18	MS	MS
2	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
3	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
4	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
5	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
6	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
7	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
8	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
9	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
10	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
11	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
12	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
13	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
14	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
15	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
16	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
17	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
18	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
19	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
20	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
21	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
22	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
23	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
24	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
25	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
26	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
27	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
28	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
29	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
30	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS

CLIENT

LAURIER HARBOUR (KEELE) INC.

PROJECT LOCATION






9785, 9797 KEELE STREET
VAUGHAN, ONTARIO

DRAWING

SITE PLAN

DATE	SCALE
JUNE 13-18	1:150
DRAWN BY	CHECKED BY
BJ	MS
PROJECT NUMBER	DRAWING NUMBER
17005	SP100

Appendix G. Victorian Architecture Features Precedents & Examples

VICTORIAN ARCHITECTURE FEATURES	MAPLE HCD PRECEDENTS	ONTARIO EXAMPLES
A - TWO-STOREY BAY	 <p>9773 KEELE STREET</p>	 <p>TORONTO, ONTARIO IMAGE SOURCE: URBANEER.COM</p>
B - ONE-STOREY BAY	 <p>1 JACKSON STREET</p>	 <p>LYNDEN, ONTARIO IMAGE SOURCE: ONTARIOARCHITECTURE.COM</p>
C - STREET-FACING GABLE BELOW ROOF RIDGE	 <p>10,125 KEELE STREET</p>	 <p>BARRIE, ONTARIO IMAGE SOURCE: ONTARIOARCHITECTURE.COM</p>
D - DORMER WINDOW OPEN GABLE	 <p>10,101 KEELE STREET</p>	 <p>ELLORA, ONTARIO IMAGE SOURCE: ONTARIOARCHITECTURE.COM</p>
E - SQUARE-HEAD WINDOWS 2 OVER 2	 <p>9801 KEELE STREET</p>	 <p>PORT DALHOUSIE, ONTARIO IMAGE SOURCE: ONTARIOARCHITECTURE.COM</p>

VICTORIAN ARCHITECTURE FEATURES	MAPLE HCD PRECEDENTS	ONTARIO EXAMPLES
F- SEMI-CIRCULAR & SEGMENTAL ARCHES	 2,339 MAJOR MACKENZIE	 TORONTO, ONTARIO IMAGE SOURCE: ONTARIOARCHITECTURE.COM
G- PORCH PARTIAL & ASYMMETRICAL	 9920 KEELE STREET	 BROCKVILLE, ONTARIO IMAGE SOURCE: ONTARIOARCHITECTURE.COM
H- PORCH FULL WIDTH	 9715 KEELE STREET	 BROCKVILLE, ONTARIO IMAGE SOURCE: ONTARIOARCHITECTURE.COM
I- GABLE DECORATIVE VERGE BOARD	 9715 KEELE STREET	 BARRIE, ONTARIO IMAGE SOURCE: ONTARIOARCHITECTURE.COM

Appendix H. Qualifications of *AREA* and David Eckler



FIRM PROFILE | HERITAGE & MUSEUM WORK

AREA is a full service firm, based in Toronto and operating across Canada, which specializes in the restoration and adaptive re-use of historic buildings, urban design for heritage streetscapes and approvals under the Ontario Heritage Act. The firm has a history extending over 30 years of practice, and is managed by 2 principals and 8 technical staff – including intern architects, interior designers and architectural technologists – with experience in the documentation and restoration of historic buildings and sites. Although we are qualified for heritage and museum projects, the members of our firm have also undertaken a wide range of institutional and commercial projects often involving the integration of historic components into new developments.

AREA and its staff are members of various heritage associations and advisory boards across Canada. David Eckler, B.E.S., B.Arch., OAA, MRAIC is an active member in many heritage associations including the Architectural Conservancy of Ontario Advisory Board. He is a former Vice-Chair of Heritage Toronto, which advised Toronto City Council on heritage matters as a LACAC under the Heritage Act. Bernard Rasch, B.Arch., PPOAA, FRAIC, ARIBA has served on a number of heritage committees and boards including the Markham District Historical Society and City of York Historical Committee and the Metro Board of Management for The Guild from 1984 to 1998 where he served in many positions including Chair & Vice-Chair of the Board.

Historical Façade Improvement Guidelines & Heritage Districts

- Stouffville Main Street Revitalization, 1998, DEA was presenter at workshop
- Yonge Street Commercial Façade Improvement Program, 1996, received City approval of grant
- Woodstock Façade Improvement Program, 1995, DEA initiated program for City
- Hazelton-Yorkville Area Heritage Conservation District Study, City-sponsored study
- Fergus Downtown Community Masterplan & Design Guidelines

Historic Museums, Institutional & Cultural Buildings

- Officers' Quarters (1830), Military & Naval Establishment, Discovery Harbour, Penetanguishene
- Spence Half-Way House Restoration (c. 1850), Muskoka Pioneer Village, Huntsville
- Sharon Temple Compound (1821), Sharon, York Region
- Heliconian Hall (first Olivet Sunday Schoolhouse, circa 1876), (Yorkville)
- Cedar Ridge Studio Gallery (1918), 225 Confederation Drive, (Scarborough)
- Aurora Historical Society Museum (1886 school), 22 Church Street, Aurora
- The Niagara Institute (early 20th.c), 9 Weatherstone Crt., Niagara on the Lake
- St. Lawrence Hall (1840) – renovations of town hall to accommodate National Ballet School

Historic House Restorations

- Jacob Ross House Restoration (1852), 108 Stayner Ave.
- William Wonch House Restoration (1840), 2777 Woodbine Ave., Markham
- Robert Milroy House Restoration (c. 1833), 7111 Reesor Rd., Markham
- McDougall Farmhouse (1893) Heritage Assessment, James Snow Parkway, Milton, ON
- Devonian House Restoration & Addition (circa 1923), 144 John St. E., Niagara on the Lake
- Savage House & Blacksmith Shop (c.1840), 1480 Derry Rd. E., Mississauga

Converted Historic Residences

- Old Post Inn (c. 1830), 367 Kingston Road East, Ajax
- Valley Halla Villa (Jackson Residence, 1922), Toronto Zoo, Rouge Valley, Scarborough
- Armour Heights Officer's Mess (1913, 'Strathrobyn'), Canadian Forces College, 215 Yonge Blvd.
- Bellevue Daycare Centre (1887), 95 Bellevue Ave.
- Gerrard & Bay Historic Houses (1860-1890), 68-84 Gerrard St. W.
- Toronto French School Restoration (Sifton Estate, 1923), 294 - 318 Lawrence Ave. E.



EDUCATION

University of Waterloo
B.Arch (1985)
B.E.S. (1982)

MEMBERSHIPS

Ontario Association of Architects
[Former Councillor & Chair Awards Committee]

Royal Architectural Institute of Canada

Canadian Standards Association (CSA)

Architectural Conservancy of Ontario Advisory Board

Society for the Study of Architecture in Canada

Heritage Canada Foundation

Ontario Historical Society

CAREER SUMMARY

AREA, Architects Rasch Eckler Associates Ltd.
President
2001 to Present

David Eckler Architect
1991 – 2001

Page & Steele Architects
1989 – 1991

Arthur Erickson Architects
1986 – 1989

DAVID ECKLER BES, B.Arch., OAA, MRAIC
AREA, Architects Rasch Eckler Associates Ltd.
President & Principal – Senior Heritage Architect

David Eckler is the firm's principal and is responsible for the design, construction drawings, specifications and construction administration of all heritage projects in the office. Mr. Eckler has over 25 years experience in the conservation, restoration and adaptive reuse of heritage structures for government, non-profit agencies and private sector owners and developers. Mr. Eckler directs the Concept Design, Design Development and Contract Documents phases of heritage projects and authors many of the firm's heritage assessment reports.

Mr. Eckler established a specialization in heritage conservation beginning in 1992 with his previous firm *David Eckler Architect (DEA)* and continuing in his current practice, *AREA Architects*. His architectural heritage services include feasibility studies, preservation planning, infill projects within historic districts, adaptive reuse and building restoration. David is an active member in many architectural and heritage associations including the *Architectural Conservancy of Ontario Advisory Board*. He is a past member of the *Canadian Association of Professional Heritage Consultants* and is a former Vice-Chair of *Heritage Toronto*, which advised Toronto City Council on heritage matters under the Heritage Act and as an advisory board for the city's museums.

Mr. Eckler has particular experience in the restoration of heritage properties within public parks and cultural landscapes. An example of a heritage attraction in a park setting is the restoration of the Officers' Quarters within the *Discovery Harbour* museum in Penetanguishene. He has most recently worked on the restoration of the historic site of the *1910 Allan Gardens Conservatory*.

RELEVANT EXPERIENCE: Toronto location unless indicated

Heritage Adaptive Re-use

- Goldring Student Centre [Wymilwood, 1954] – 150 Charles St. W., Toronto
- Warwick Office Building [1905] – 401-409 King St. W.
- Church of Christ, Scientist [1928], Condominium Redevelopment, 70 High Park
- Eglinton Hunt Club [1929] – Condominiums, 1355 Kingston Rd.
- Hutton House [1853] – Community Centre, Ardmore Park, St. Marys
- Bellevue Daycare Centre [1887] – 95 Bellevue Avenue

Restoration of Institutional Historic Buildings

- Allan Gardens Conservatory Complex [1910] – 160 Gerrard St. E.
- Aurora Historical Society Museum [Church Street School, 1886]
- Toronto French School (Sifton Estate, 1924) – 306 Lawrence Ave E
- Armour Heights Officers' Mess [Strathrobyn' 1913] – 215 Yonge Blvd.
- Medical Arts Building Restoration [circa 1929]
- Officers' Barracks [1830] – Discovery Harbour, Penetanguishene
- Heliconian Hall (first Olivet Church, 1876) – 35 Hazelton Ave.

Heritage Planning, Parks & Streetscape Design

- Cookstown Heritage Conservation District – Innisfil, ON.
- Old Pickering Village Planning & Heritage Study, Ajax
- Yorkville-Hazelton Avenue Heritage Conservation District
- Limehouse Kilns Heritage Masterplan, Halton Hills
- Confederation Commemorative Park, Charlottetown, PEI
- Gerrard & Bay Historic Houses (1860-1890)



AIR PHOTO
9785, 9797 KEELE STREET &
PARCEL KNOWN AS PCL176-1 SEC 65M2407,
BLK 176 PL 65M2407
CITY OF VAUGHAN



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T: 905.844.8749 F: 905.738.6637
Toronto: 127 Berkeley St.
Toronto, Ontario M5A 2K1
T: 416.640.9917 F: 905.738.6637

REVISIONS LIST	

File Number:	6728	Drawing Number:	
Date Drawn:	22 JUNE 2015		
Drawn By:	SM		
Planner:	RG		
Scale:	NTS		
CAD:	6728/air photo.dgn		





ATTACHMENT 4






























BLOCK 1



ATTACHMENT 5

BLOCK 2

THESE DRAWINGS ARE NOT TO BE SCALED:
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO
COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE
REPORTED DIRECTLY TO SRN ARCHITECTS INC.

<u>LEGEND</u>	
	SMOKE ALARMA (A)
	WATERPROOF OUTLET OUTLET
	VENTS AND RIMAKES
	HOSE BIB
	DRAINAGE
	COLD/COLD WATER VENT (A)
	STORE VENT
	FREE PLACE VENT
	DRYER VENT
	D.J. DOUBLE JOINT
	P.T. PRESSURE TREATED LUMBER
	G.R. GRIP RIDGE
	A.F.F. ANCHOR FASTENER FLOOR
	BFMF BEAM BY FLOOR MANIFOLD
	'DO' REPEAT SAME, JUST SIZE
	CARBON MONOXIDE ALARMA (CAN)
	EXTERIOR LIGHT/WATER MOUNTED
	HOODED METER
	GAS METER
	FLOOR DRAIN
	COLD BEARING
	FLAT HATCH
	2 STORY RAMP
	UNDER SIDE
	FG FIXED GLAZING
	GB GLASS BLOCK
	BC BLACK GLASS
	FL FLUSH
	DROPPED

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 8395 JANE STREET, SUITE 203
 VAUGHAN, ONTARIO. L4K 5Y2
 T: 905-738-3177 | F: 905-738-5449

DATE APR 11/16	SCALE 1/8"=1'-0"
DRAWN BY SD	CHECKED BY SD
PROJECT NUMBER 17005	DRAWING NUMBER SPA 305

WEST ELEVATION - BLOCK 5

NORTH ELEVATION - BLOCK 5

SOUTH ELEVATION - BLOCK 5

EAST ELEVATION - BLOCK 5

ATTACHMENT 7

THESE DRAWINGS ARE NOT TO BE SCALED:
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO SRH ARCHITECTS INC.

PROJECT CONSULTANTS:

LEGEND	
	SMOKE ALARM (S)
	WATERPROOF DUPLEX OUTLET
	VENTS AND INTAKES
	HOSE BIB
	EXHAUST FAN
	COLD CELLAR VENT (C)
	STOVE VENT
	FIRE PLACE VENT
	DRYER VENT
	DOUBLE JOIST
	PRESSURE TREATED
	G.T.
	A.F.F.
	BBFM
	DO
	CARBON MONOXIDE ALARM (CM) (C)
	EXT. LIGHT FIXTURE (WALL MOUNTED)
	HYDRO METER
	GAS METER
	FLOOR DRAIN
	SOLID BEARING
	POINT LOAD
	FLAT ARCH
	2 STORY WALL
	UNDER SIDE
	FG
	CB
	BG
	FL
	DR

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR SPA	11-APR-16	SD	SD
2	ISSUED FOR SPA	24-AUG-17	NM	NM
3	ISSUED FOR VAUGHAN HERITAGE	13-MAR-19	NM	NM

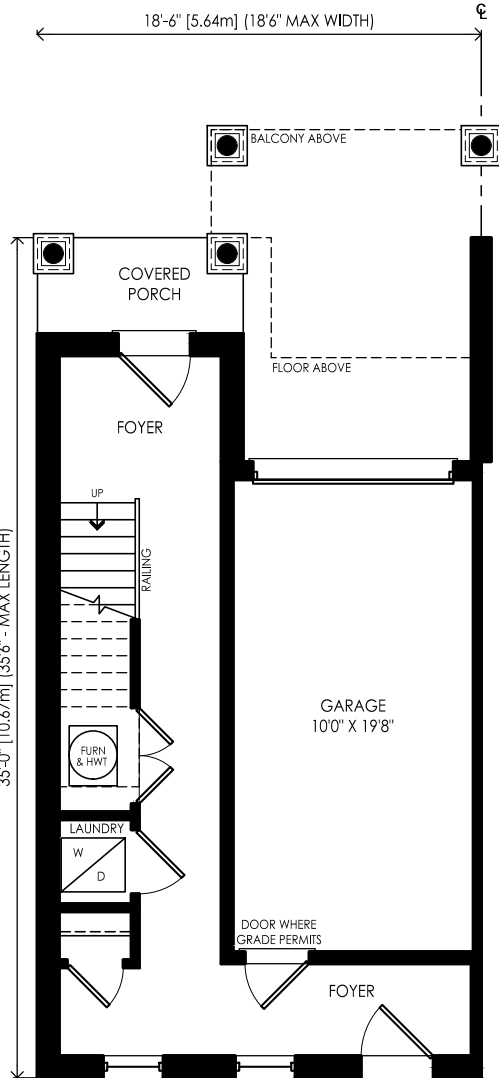
RN DESIGN LTD.
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T:905-738-3177 | F:905-738-5449

CLIENT
LAURIER HARBOUR (KEELE) INC.

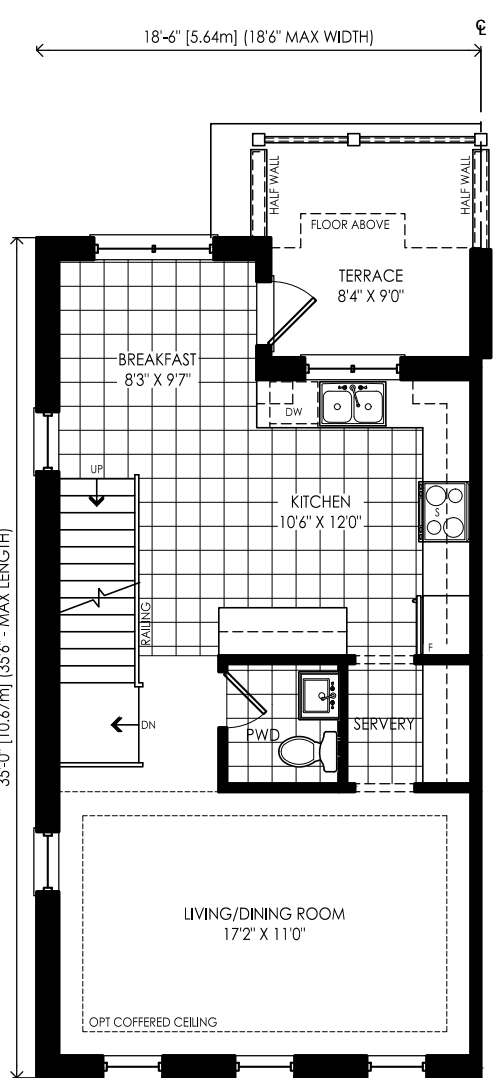
PROJECT/LOCATION
**9785, 9797 KEELE STREET
VAUGHAN, ONTARIO**

DRAWING
FLOOR PLANS

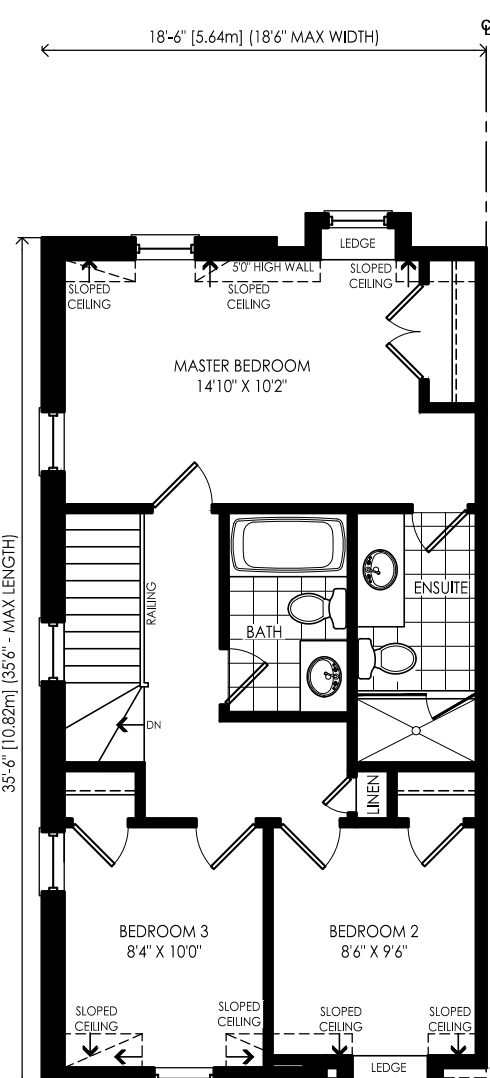
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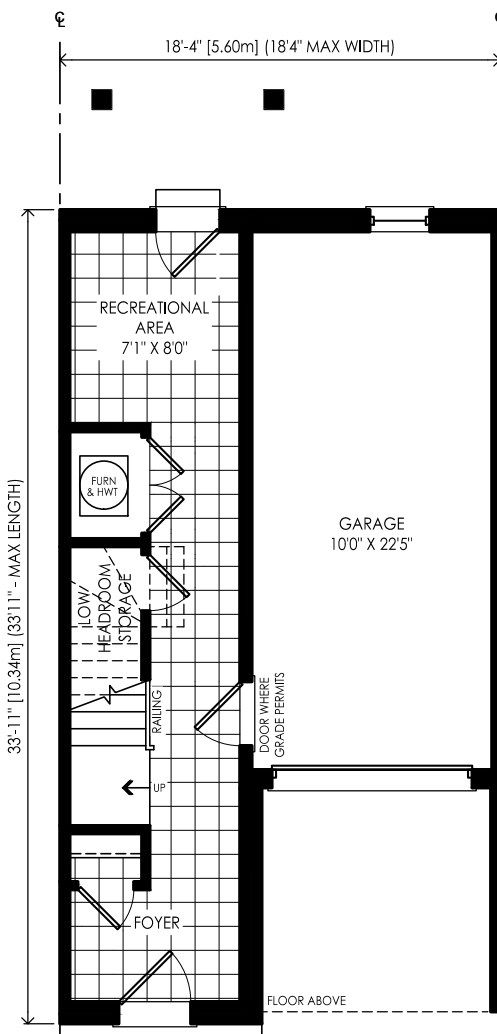
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MAIN FLOOR PLAN ELEV 'A'
(EXTERIOR END)
Floor Area: 333.3
Open To Below: 0.0
Total Area (incl. excl.): 333.3
Coverage (incl. excl.): 662.1
Coverage (without floor): 629.2



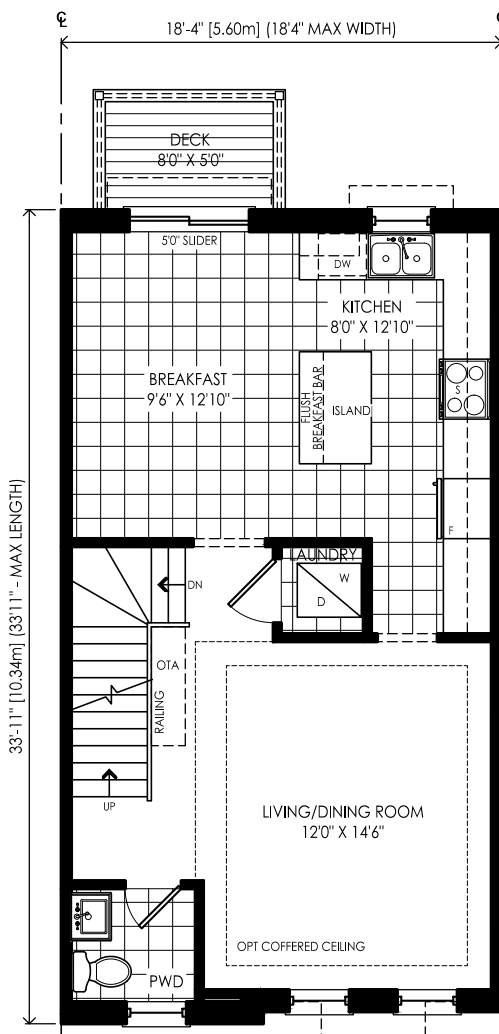
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SECOND FLOOR PLAN ELEV 'A'
(EXTERIOR END)
Floor Area: 629.1
Open To Below: 0.0
Total Area (incl. excl.): 629.1



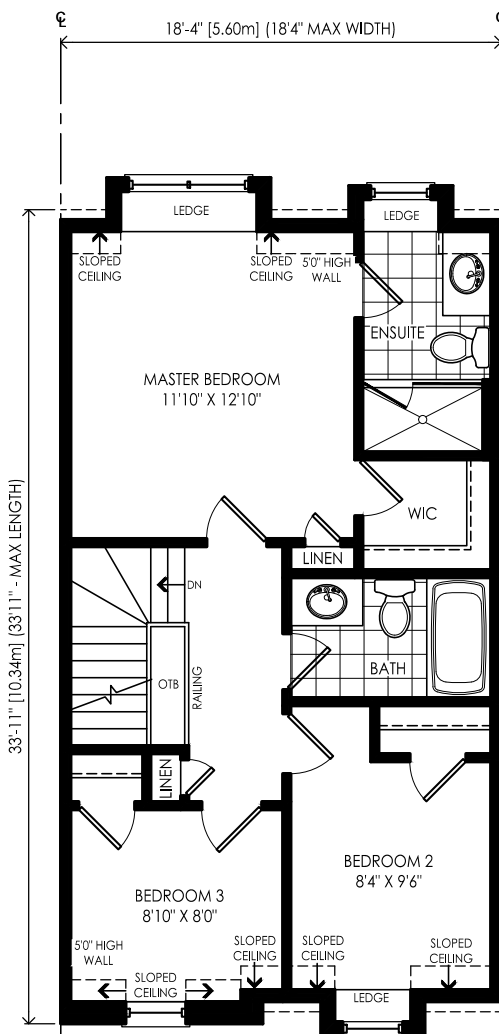
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THIRD FLOOR PLAN ELEV 'A'
(EXTERIOR END)
Floor Area: 699.3
Open To Below: 0.0
Total Area (incl. excl.): 699.3



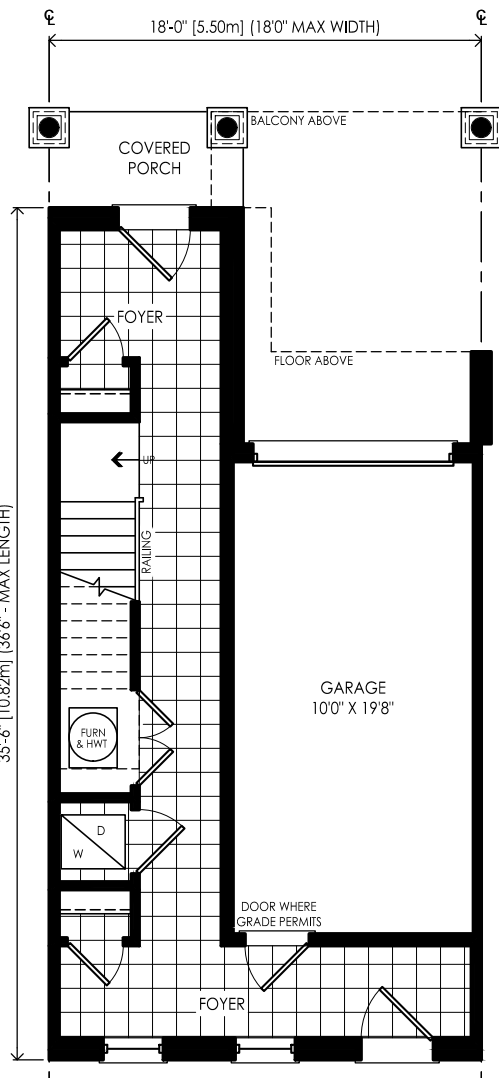
TH-3
MAIN FLOOR PLAN ELEV 'A' (INT)
Floor Area: 275.7
Open To Below: 0.0
Total Area (incl. excl.): 275.7
Coverage (incl. excl.): 658.5
Coverage (without floor): 616.8



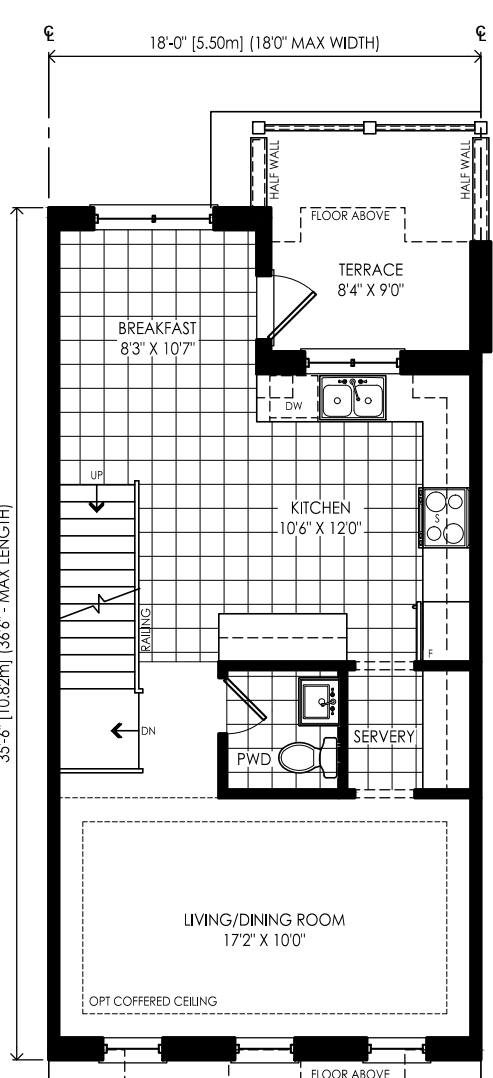
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Floor Area: 616.8
Open To Below: 0.0
Total Area (incl. excl.): 616.8



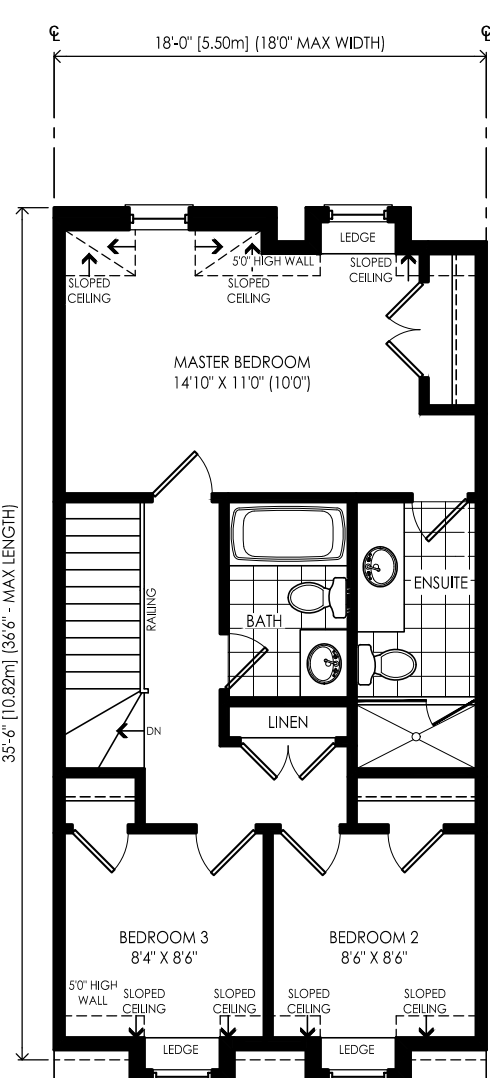
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Floor Area: 629.3
Open To Below: 7.0
Total Area (incl. excl.): 622.3



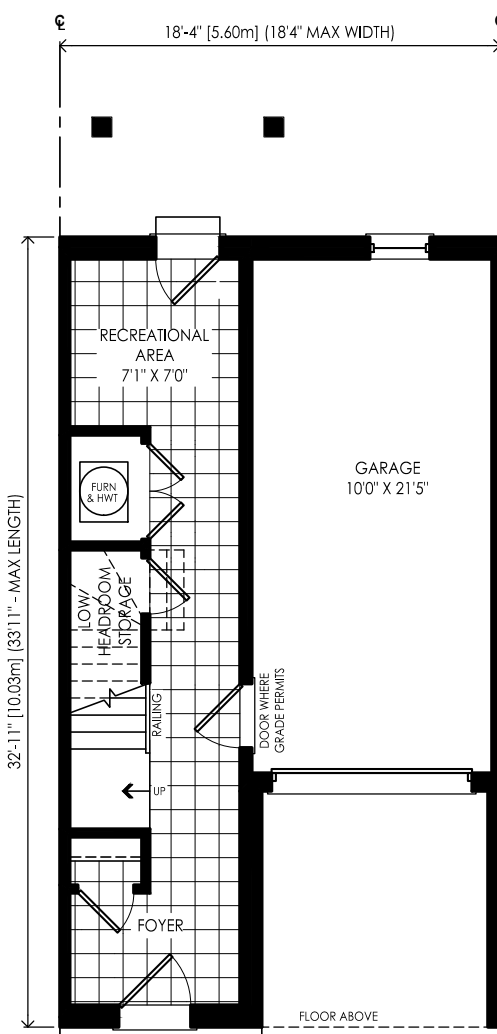
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MAIN FLOOR PLAN ELEV 'B' (INT)
Floor Area: 330.8
Open To Below: 0.0
Total Area (incl. excl.): 330.8
Coverage (incl. excl.): 708.7
Coverage (without floor): 586.4



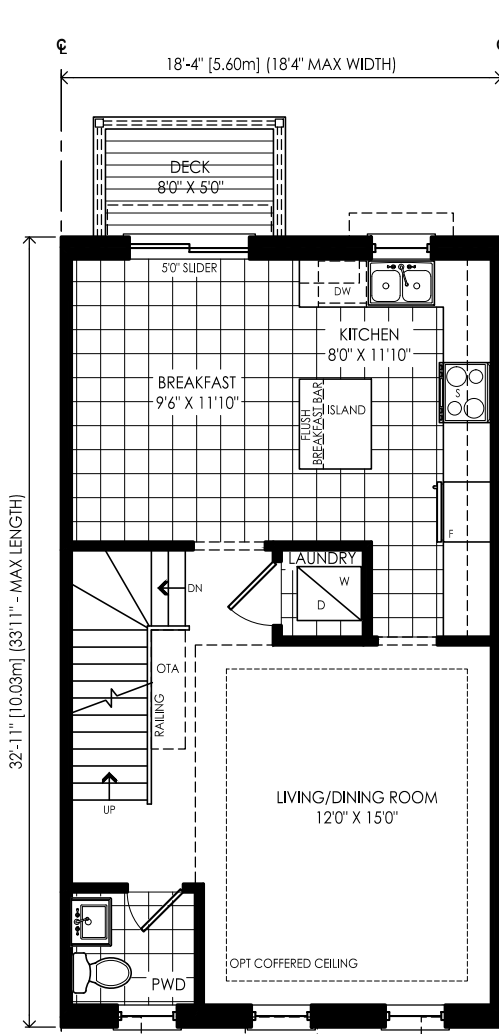
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SECOND FLOOR PLAN ELEV 'B' (INT)
Floor Area: 386.5
Open To Below: 0.0
Total Area (incl. excl.): 386.5



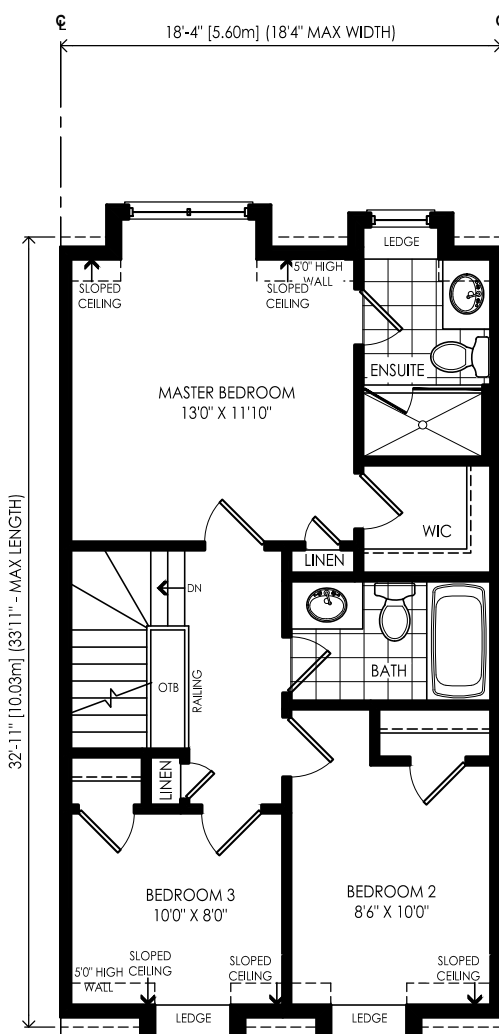
TH-2
THIRD FLOOR PLAN ELEV 'B' (INT)
Floor Area: 637.5
Open To Below: 0.0
Total Area (incl. excl.): 637.5



TH-3
MAIN FLOOR PLAN ELEV 'B' (INT)
Floor Area: 267.7
Open To Below: 0.0
Total Area (incl. excl.): 267.7
Coverage (incl. excl.): 654.0
Coverage (without floor): 603.5



TH-3
SECOND FLOOR PLAN ELEV 'B' (INT)
Floor Area: 603.5
Open To Below: 0.0
Total Area (incl. excl.): 603.5



TH-3
THIRD FLOOR PLAN ELEV 'B' (INT)
Floor Area: 616.8
Open To Below: 7.0
Total Area (incl. excl.): 611.6





BLOCK 1



BLOCK 2



BLOCK 3



BLOCK 4

WEST ELEVATION - KEELE
STREETSCAPE



TREE INVENTORY & PRESERVATION PLAN
1:250

TREE INVENTORY

Tree No.	Tree Species	Diameter at Breast Height (cm)	Canopy (m)	Recommended Action	Health	Structure	Comments	Location		
								Subject Site Tree	Boundary Tree	Municipal Tree
1	Gleditsia triacanthos	37,46	10	RC**	M	M	2L, IB and grafted, PL, WS, branch stubs			X
2	Pinus sylvestris	30	6	P	M	M	PL			X
3	Gleditsia triacanthos	51	6	RC**	M	M	10°L(N) and UB, PL, WS, Crack to 2m			X
4	Gleditsia triacanthos	42	6	RC**	M	M	PL, med DB			X
5	Gleditsia triacanthos	40,56	8	RC**	MH	MH	2L, med DB			X
6	Gleditsia triacanthos	36	4	RC**	M	M	PL(base - 4m), 30°L(E)			X
7	Gleditsia triacanthos	24,36	6	RC**	M	M	2L, 1 leader broken, @2.5, 1 leader SU +UB(N)			X
8	Gleditsia triacanthos	62	10	RC**	H	H	large DB			X
9	Picea pungens	56	7	P	M	M	2L, IB			X
10	Gleditsia triacanthos	28	5	RC**	M	M	20oL(S), WS			X
11	Acer platanoides	20	6	P	M	M	UB(S), slight SU			X
12	Acer negundo	26	4	RC	M	ML	30°L(W), WS	X		
13	Ulmus pumila	30	4	RC	ML	M	topped, WS			
14	Acer negundo	23,24	4	RC	M	ML	2L, IB, 1 leader 25°L(E), 1 leader broken	X		
15	Ulmus pumila	30	5	P	M	M	med DB, WS		X	
16	Ulmus pumila	28,29	5	RC	M	ML	many BB, 2L, IB	X		
17	Acer platanoides	~15	4	P	M	M	SU		X	
18	Pinus nigra	~30	6	P	M	M	diploidea		X	
19	Pinus nigra	~35	6	P	M	M	diploidea		X	
20	Acer negundo						NO LONGER PRESENT	X		
21	Acer platanoides	24	5	RC	H	H	grown into fence			
22	Malus sp.	14,15, 22	10	RC	M	M		X		
23	Acer negundo	14,17	5	RC	M	ML	1 broken top, 1 leader 30°L(E)	X		
24	Acer negundo	35,37	8	RC	M	ML	ML, WS, broken top, BB all limbs	X		
25	Picea pungens 'glauca'	57	11	RC	H	H		X		
26	Acer platanoides	70	13	RC	H	H	crack to union, 10%TD (base with rot), G(root), med-large DB	X		
27	Acer platanoides	31	11	RC	H	H		X		
28	Acer platanoides	33,35	8	RC	H	M	2L, IB%	X		
29	Acer platanoides	26	8	RC	M	M	UB(N), graft	X		
30	Acer platanoides	22	8	RC	M	M	UB(N), graft	X		
31	Pinus	30	4	R	L	L	DEAD	X		
32	Pinus	24	4	R	L	L	DEAD	X		
33	Acer platanoides	36	9	RC	M	M		X		
34	Acer platanoides	32	9	RC	M	M		X		
35	Acer platanoides	43	9	RC	M	ML	curved trunk, small hole (PL), large BB + DB	X		
36	Acer platanoides	33	9	RC	M	M	cracked with 10%TD	X		
37	Acer platanoides	45	10	RC	M	ML	ripped off limb	X		
38	Acer platanoides	17,33	7	RC	ML	ML	UB(S), 40%D, broken branch balancing, 2L, IB	X		
39	Acer platanoides	36	9	RC	M	M	UB(S), med DB	X		
40	Acer negundo	41	7	RC	M	ML	FFB, UB(S), PL(base)	X		
41	Acer negundo	46	8	RC	ML	ML	45°L(W), ripped limbs, PL	X		
42	Acer platanoides	28	7	RC	M	M		X		
43	Acer platanoides	20	2	R	L	L	Topped	X		
44	Acer platanoides	27	8	RC	M	M	UB(S)	X		
45	Acer negundo	47	9	RC	M	L	45oL(N)	X		
46	Acer platanoides	36	8	RC	H	MH	UB(S)	X		
47	Acer negundo	48	10	RC	M	L	45°L(N)	X		
48	Thuja occidentalis	13,14,14 15,22	3	RC	M	M		X		
49	Picea abies	65	9	RC	H	H	G(wire)	X		
50	Acer platanoides	5x15	6	RC*	MH	ML	2L, PL (leader resprouted), UB(W)		X	
51	Ulmus pumila	14,15, 7x15	6	RC*	M	ML	Resprout from stump, ZZ, 15°L(N)		X	
52	Ulmus pumila	16	5	RC*	M	M	15°L(S)		X	
53	Ulmus pumila	14,15,22	6	RC*	M	ML	2 limbs topped, ML		X	
54	Ulmus pumila	24	6	RC*	M	M	2L, IB, ZZ at base, UB(N)		X	
55	Ulmus pumila	14,16	7	RC*	ML	L	2L, broken tops		X	
56	Acer platanoides	34	7	RC*	H	H	grafting with branch		X	
57	Acer platanoides	16,18,19 22,22	8	RC*	MH	M	ML, IB		X	
58	Acer platanoides	22	7	RC*	MH	M	UB(S), 10°L(S)		X	
59	Acer platanoides	16	7	RC*	MH	M			X	

Trees less than 15cmØ caliper, and large shrubs may exist on the site. It is the contractors responsibility to determine the extent of possible removals by field review prior to submission of quotations for removals work.

TREE PROTECTION RECOMMENDATIONS:

- Install hoarding for subsequent municipal review/approval.
- Hoarding may be moved temporarily to provide access for tree removal only. These trees should be felled away from protected areas to avoid pulling and breaking of roots of trees to remain.
- Pruning, if required, should be done prior to construction and in accordance with current arboricultural practices.
- Storage of any materials, fill, vehicles/equipment, and disposal of liquids is not permitted within 1m of protected areas.
- Excavation in close proximity to protected areas are to be undertaken with a certified arborist present.
- Roots encountered due to excavation are to be cut with a clean sharp blade. Tearing and ripping of roots is not permitted.
- Hydrovac'ing is recommended as the preferred method for excavation, within 1m of protected areas.
- Exposed roots are to be covered immediately with mulch or topsoil and watered thoroughly. A light coloured tarpaulin may also be used to prevent root desiccation.
- Deep root fertilize (3:1:1) following backfilling.
- Trees should be re-assessed periodically in order to maintain an up to date understanding of health and structure.

York Region Notes:

- All trees located on the regional road allowance to be preserved shall conform to the following requirements
- All trees preservation shall be in accordance with the York Region Street Tree and Forest Preservation Guidelines
 - York Region NHF shall be notified when tree protection measures have been installed
 - All tree protection fencing shall be installed prior to construction and must remain in good repair for the duration of construction
 - At the sole discretion of YR NHF any existing trees that die or exhibit a decline in health prior to final acceptance shall be replaced pr compensation shall be provided

TREE INVENTORY LEGEND

Biological Health
H (High) - No apparent diseases or symptoms, moderate to high vigour.
M (Medium) - Minor diseases and/or symptoms, moderate vigour.
L (Low) - Major disease and/or symptoms, poor vigour.

Structural Condition
H (High) - No defects, well-developed crown.
M (Medium) - Minor structural defects.
L (Low) - Major structural defects.

Recommended Action
P - Preserve
R - Remove for poor condition
RC - Remove for Construction
RC* - Remove with Neighbours Approval
RC** - Remove with Town's Approval
T - Transplant

Comments
B Borer
BF Backfilled
CS Compacted soil
DB Dead branches
G Girdling
HA Hazard
IB Included bark
LS Lean showing direction (i.e. LS=lean south)
ZL 2 leaders or codominant stems
MB Multibranched node
MS/ML Multistem
PL Pruned limbs
SU Suppressed crown
TB Torn/broken branch
TD Trunk damage
TH Top heavy
UB Unbalanced crown (N,S,E,W indicates weighted side of crown)
V Vine growing in tree
WB Witches broom growth
WP Woodpecker damage
WS Watersprouts
ZZ Zigzag trunk
_KD % crown is dead

LEGEND

- Property Line
- Heavy Duty Plywood Tree Protection (Fencing)
- Existing Vegetation Grouping to be Removed
- Existing tree to be preserved
- Existing tree to be removed
- Existing tree to be removed Dead, girdled or dangerous.

LIMITING CONDITIONS:

This tree inventory was derived from data gathered on the site using accepted arboricultural practices. This includes a visual examination of all above ground parts of the tree for structural defects and signs of health and vigour. All examination took place from the ground plane and no trees were cored, probed or climbed. There was also no detailed inspection of the root crown where excavation would have been required.

This inventory describes the healthy, structural stability and identifies potential hazards of the trees to a reasonable extent. Where dead branches or other are identified in the notes it is the owners responsibility to take action. This inventory does not provide or imply a guarantee that these trees or branches will remain standing intact. The stability of any tree or branches of a tree cannot be predicted with absolute certainty under all circumstances.

There is, likewise, no guarantee of survival for those trees to be preserved during construction but which are subject to injury. Tree preservation guidelines that are provided in this report are generally suitable for the tree as determined by the visual assessment. However, there is no guarantee that these guidelines will be followed throughout construction unless an arborist is retained for complete supervision of the site at all times. Even with complete supervision, roots in an urban environment are unpredictable. Guidelines, that suppose an even distribution of roots may not be effective in cases where roots have clustered in small areas.

The assessment in this inventory is valid only at the time of inspection.



Nick Taylor
ISA Certified Arborist
ON-2068A
Baker Turner Inc.

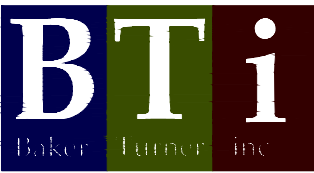
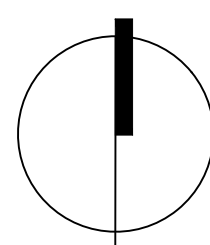
Jon Woodside
ISA Certified Arborist
ON-1439A
Baker Turner Inc.

REVISIONS

- 17 Aug 2019 Issued for SPA
- 14 May 2019 Issued for Review
- 30 Aug 2017 Revised for Site Plan Approval Submission
- 01 Mar 2015 Issued for Coordination
- 30 Jan, 2015 Issued for Client Review

DATE DESCRIPTION

NOTE: Contractor is to check and verify all dimensions and conditions on the project, and is to immediately report any discrepancies to the landscape architect before proceeding with the work.



Landscape Architecture | Site Design

Suite 300
8501 Mississauga Road
Brampton Ontario L6Y 5G8

Tel: (905) 453-9398
Fax: (905) 453-9376
email: tba@bakerturner.com

Project Title

Keele St. Townhouses
9785, 9797 Keele Street
Vaughan, ON

TREE INVENTORY & PRESERVATION PLAN

Date Issued
November, 2014

Job Number Drawn By
BTI-1211 JW, NT, MY

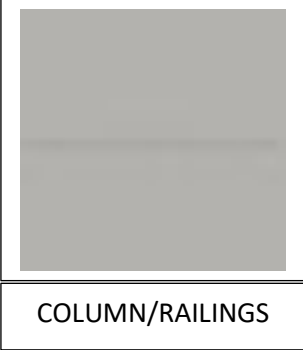
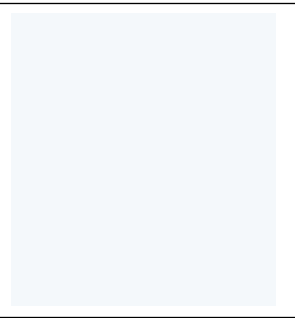
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Sheet Number File Number
T.1 of 2

LAURIER HOMES

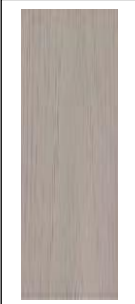
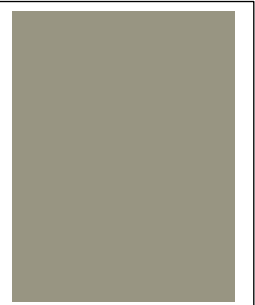
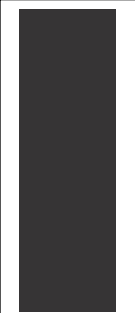
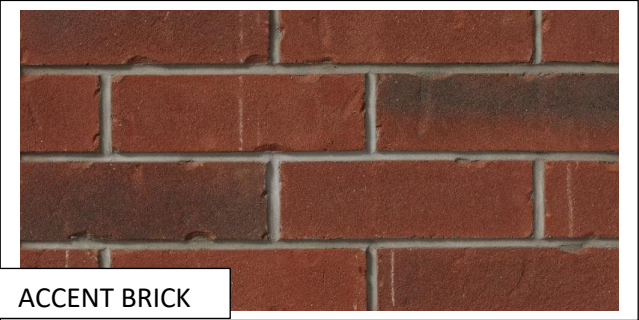
9785 Keele Street, Vaughan
SPA Exterior Colour Package
RN JOB# 17005
Prepared: August 24, 2017
Revised: February 26, 2019 -

EXTERIOR COLOUR SELECTIONS	MANUFACTURER	PACKAGE 1
Roof	CERTAINTED LANDMARK	Moire Black
Metal Roof (where applicable)	COLOUR STEELS (or equivalent)	Black
Main Brick	MERIDIAN BRICK	Old Markham
Accent Brick (quoins & headers)	MERIDIAN BRICK	Guildwood
Shutter	KAYCAN	Black (02)
Aluminum Soffit/Fascia/Downspouts	KAYCAN (or equivalent)	White SG
Columns/Railings/Decorative Trim	PARA PAINTS	Courtyard P5220-44
Front Door	PARA PAINTS	Walkin' In the Rain P5204-85
Garage Door	PARA PAINTS	Stoneware Tint 3 P2064-02
Windows	JELDWEN (or equivalent)	White



Notes:
1) All flashing to match shingle

LAURIER HOMES 9785 Keele Street, Vaughan SPA Exterior Colour Package RN JOB# 17005 Prepared: August 24, 2017 Revised: February 26, 2019 -		
EXTERIOR COLOUR SELECTIONS	MANUFACTURER	PACKAGE 2
Roof	CERTAINTED LANDMARK	Driftwood
Metal Roof (where applicable)	COLOUR STEELS (or equivalent)	Dark Brown
Main Brick	MERIDIAN BRICK	Guildwood
Accent Brick (quoins & headers)	MERIDIAN BRICK	Old Markham
Shutter	KAYCAN	Clay (08)
Aluminum Soffit/Fascia/Downspouts	KAYCAN (or equivalent)	Khaki
Columns/Railings/Decorative Trim	PARA PAINTS	Stoneware Tint I P2062-1
Front Door	PARA PAINTS	Blackfoot Trail P2109-05
Garage Door	PARA PAINTS	Stoneware Tint 3 P2064-02
Windows	JELDWEN (or equivalent)	Claystone



Notes:
 1) All flashing to match shingle

Committee of the Whole (1) Report

DATE: Tuesday, November 05, 2019

WARD(S): 4

TITLE: RELOCATION OF ONE DESIGNATED PART IV HOUSE (58 FANNING CIRCLE) AND A LISTED HOUSE (39 KEATLEY DRIVE) TO 10090 BATHURST STREET, VICINITY OF BATHURST STREET AND MAJOR MACKENZIE DRIVE WEST

FROM:

Wendy Law, Deputy City Manager, Administrative Services and City Solicitor

ACTION: DECISION

Purpose

To forward a recommendation from the Heritage Vaughan Committee for the proposed relocation and restoration of the George Munshaw House (Designated under By-law 403-87 as Amended by By-law 103-2016) located at 58 Fanning Mills Circle, and the relocation of the Basingthwaite House (Listed under Section 27 of the *Ontario Heritage Act*) currently located at 39 Keatley Drive (formerly 10244 Bathurst) to a new location known as 10090 Bathurst Street.

Report Highlights

- The Owner is proposing to relocate 2 heritage structures to a new location at 10090 Bathurst Street
- One structure is known as the “George Munshaw House” (Designated Part IV under By-law 403-87, as amended by by-law 146-2016)
- One structure is known as the “Basingthwaite House” and is Listed under Section 27 of the *Ontario Heritage Act*.
- Heritage Vaughan review and Council approval is required under the *Ontario Heritage Act*
- Staff recommends approval of the proposal as it conforms with the policies of Vaughan Official Plan 2010 regarding the relocation of heritage structures.

Recommendations

The Deputy City Manager, Administrative Services and City Solicitor, on behalf of Heritage Vaughan forwards the following recommendation from its meeting of October 16, 2019 (Item 3, Report No. 4), for consideration:

- 1) That the recommendation contained in the following report of the Deputy City Manager, Planning and Growth Management, dated October 16, 2019, be approved.

Recommendation and Report of the Deputy City Manager, Planning and Growth Management, dated October 16, 2019:

1. THAT Heritage Vaughan recommend Council approve the proposed relocation and restoration of the George Munshaw House located at 58 Fanning Mills Circle to 10090 Bathurst Street under Section 34 of *Ontario Heritage Act*, subject to the following conditions:
 - a) The Owner shall enter into a Heritage Easement Agreement under Section 37 of the *Ontario Heritage Act* with the City of Vaughan for the preservation / conservation of cultural heritage value;
 - b) The Owner shall provide a Letter of Undertaking with financial securities calculated to the cost of relocation and restoration of the George Munshaw House;
 - c) The Owner shall provide the City with an updated legal description of the new location to facilitate the amendment of the designation by-law;
 - d) The George Munshaw House shall be relocated, stabilized and footings, foundation and site services be installed prior to the relocation and restoration of the Bassingthwaite House;
 - e) Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning and Manager of Urban Design and Cultural Heritage;
 - f) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application; and
 - g) The Owner shall submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Vaughan Development Planning Department.

2. THAT Heritage Vaughan recommend Council approve the proposed relocation of the Bassingthwaite House located at 39 Keatley Drive to 10090 Bathurst Street of *Ontario Heritage Act*, subject to the following conditions:
- a) The Owner shall enter into a Heritage Easement Agreement under Section 37 of the OHA with the City of Vaughan for the preservation of the conservation of cultural heritage value;
 - b) That the Owner provide a Letter of Undertaking with financial securities calculated to the cost of relocation and restoration of the Bassingthwaite House;
 - c) The Owner shall provide the City with an updated Statement of Cultural Heritage Value in order to facilitate the inclusion of the Bassingthwaite House into the amendment of the designation by-law;
 - d) Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning and Manager of Urban Design and Cultural Heritage;
 - e) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application; and
 - f) The Owner shall submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Vaughan Development Planning Department.

Background

Both the George Munshaw House and the Bassingthwaite House were originally located within Draft Plan of Subdivision file 19T-03V13. In 2005, several structures in the subject area were approved for demolition with the exception of the George Munshaw House (designated under by-law 403-87) which was located at 980 Major Mackenzie Drive West and the structure known as the Bassingthwaite House located at 10244 Bathurst Street. The two houses were to be integrated into the future subdivision due to their strong cultural heritage value.

The following is an extract from the August 24, 2005, Council approved recommendation:

“That the Bassingthwaite House (at 10244 Bathurst Street) be preserved and integrated into the subject Draft Plan of Subdivision to the satisfaction of Cultural Services staff.

That the owner continue to have the George Munshaw House (the small building at 980 Major Mackenzie Drive) preserved and eventually integrated into the subject Draft Plan of Subdivision to the satisfaction of Cultural Services staff.”

The George Munshaw House

The George Munshaw House was built circa 1825-1850, with vertical plank sheathing as a frame support and represented the transition period from post and beam construction to balloon frame construction. Originally located on Concession 2, Lot 44 West Half, it was moved to 980 Major Mackenzie Drive West in 1984 and in 1987 was designated under Part IV of the *Ontario Heritage Act* ('OHA') due to its historical and architectural value.

In May 2015, the Owner proposed the relocation of the George Munshaw House to its current location (Lot 104 of Phase 2 of Draft Plan of Subdivision file 19T-03V13) on Major Mackenzie Drive West, west of Bathurst Street. This proposal was recommended for approval at the 13 May 2015 Heritage Vaughan meeting and was approved by Council on June 23, 2015. Subsequently, the George Munshaw House was relocated in September of 2016 to its current location municipally known as 58 Fanning Mills Circle. The relocation was not entirely completed as the house has remained on stages and has been kept on supports with no new foundation.

As part of the proposal, a current condition survey was completed and the house was found to be in relatively good condition as outlined in the submitted Cultural Heritage Resource Impact Assessment (CHRIA). It is imperative that the house be stabilized as soon as possible in the proposed new location however, to prevent further deterioration.

The Bassingthwaite House

According to the initial research provided in the Archeological Services Inc., March 2005 report entitled "Cultural Heritage Impact Assessment for Helmhorst Investment Limited," The Bassingthwaite House is a two-storey structure constructed in approximately 1860, which was renovated and enlarged in the 1980s with a two-storey rear addition that "was constructed to the south elevation." The time period of this later addition is confirmed through the review of aerial photos from this period.

The Bassingthwaite House was identified in 2005 as containing significant cultural heritage value and Listed under Section 27 of the *Ontario Heritage Act*. At the early stages of the application process it was identified as one of the buildings to be retained and integrated into Draft Plan of Subdivision file 19T-03V13. The house remains in its original place, although its municipal address was changed from 10244 Bathurst Street to 59 Keatley Drive. In 2012, demolition clearances were given to demolish the collection of outbuildings (a garage and 3 barns) located on the original property. In

2014 a Letter of Undertaking was issued for the structure's restoration, but conservation work has yet to begin. The dwelling is currently unoccupied.

10090 Bathurst Street

The proposed new location for both houses is 10090 Bathurst Street. This property located on the west side of Bathurst Street, just north of Major Mackenzie Drive West. This property was the location of the Patterson School Secondary School No.19, built in 1870 and decommissioned in 1964. Upon its decommission it was sold and readapted into a private home on the site. As the site was never Listed or Designated by the City of Vaughan, it was not identified as a heritage property and was demolished in 2018.

Previous Reports/Authority

Heritage Vaughan August 24, 2005

Heritage Vaughan Committee – April 23, 2014

Heritage Vaughan Committee May 13, 2015

Analysis and Options

Ontario Heritage Act

Under the *Ontario Heritage Act*, the relocation and restoration of the George Munshaw House must follow the process outlined in the following Sections of the OHA;

Section 33 – the alteration of a designated property, both in the removal of the structure and its restoration and renovation.

Section 30 – the amendment of the designation by-law to update and amend the new legal description of the property.

Section 34 – the relocation of the structure is to be treated as a demolition of the structure, with the subsequent repeal of the previous designation (i.e. Fanning Mills Circle).

The ongoing preservation of the cultural heritage value of the Munshaw House will be ensured by the City entering into an easement agreement with the Owners under Section 37 of the OHA, for the conservation of property of cultural heritage value. This covenant is to be entered into after Council approves the proposed works presented in this report.

The Bassingthwaite House is not designated under Part IV and therefore its relocation and restoration does not require a heritage permit. However, as the intent is relocate the house to what will have become a designated Part IV property consisting of the George Munshaw House, it too will therefore be covered under Part IV protection upon relocation, and its restoration should be considered in the context of conserving its cultural heritage value. To this end, there will be another Section 37 heritage easement

agreement needed, to identify and conserve the additional cultural heritage value of the Bassingthwaite House.

All new development must conform to the Cultural Heritage policies and guidelines within the *City of Vaughan Official Plan 2010* ('VOP 2010').

Section 6.1 of VOP 2010 promotes an active and engaged approach to the recognition and conservation of cultural heritage resources and their integration into future development.

Section 6.2.2.4 of VOP 2010 states that Designated heritage properties shall be conserved in accordance with good heritage conservation practice, and that the City may permit alterations or additions to designated heritage properties when those properties and their heritage attributes are conserved in accordance with good heritage conservation practice.

Section 6.2.2.7(c) of VOP 2010 allows for the alternative to relocate a designated heritage property to another site within the same development if all options for on-site retention have been explored. Conservation in-situ of the same use or through adaptive reuse are the preferred first and second options, while relocation to another site within the same development is the third option.

Staff supports the relocation and retention of the George Munshaw House given that the house was previously moved in 1984 from its original site in modern-day Richmond Hill and that the proposed relocation within the new proposed subdivision provides a viable continued residential use and siting that is sympathetic to its character defining elements. It will also provide for the stabilization and restoration of the structure. The proposed new location will be visible along Bathurst Street and not far from its original location on the east side of Bathurst.

The initial intent was for Bassingthwaite House to be retained in-situ but it was determined that the proposed location will improve the setting of the Bassingthwaite House by providing it with a naturalized setting. The original orientation of the Bassingthwaite House, facing east towards Bathurst Street, can be maintained. This will improve the visual prominence of the resource. Depending on its use, it may also facilitate greater accessibility to and appreciation by the public.

The Owner has submitted a combined Cultural Heritage Resource Impact Assessment (CHRIA) and Conservation Plans for both locations. Cultural Heritage staff has reviewed these reports and find that they meet the City of Vaughan Guidelines. The documents do not set out a sequence of when the buildings are to be moved, but recognizes that if the George Munshaw House is to be saved, relocating it to a location where it can be restored and rehabilitated is a priority.

By contrast, the relocation of the Bassingthwaite House is not as urgent, and Cultural Heritage staff recommends that it be stabilized in place until the Munshaw House has been relocated with a new foundation, footings and site services have been installed. Once the George Munshaw House has been stabilized at the new location, the Bassingthwaite House may be prepared for relocation.

Cultural Heritage staff notes that the Toronto and Region Conservation Authority ('TRCA') regulates the construction, reconstruction or placement of a building or structure of any kind on the proposed site as it is under Ontario Regulation 166/06. Based on a preliminary review of the site plan, the TRCA has no concern with the proposed locations of the buildings and the intent that the programming of the buildings will be completed after the move, through the related *Planning Act* approvals.

For the time being the use of property will be maintained as residential, with one of the buildings identified as a dwelling unit and the other as an accessory structure. Any future changes in use will require a Zoning By-law amendment. Furthermore, once the designation is updated, any proposed alterations to the property will require an application to alter a structure under Section 33 of the *OHA*.

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The Urban Design and Cultural Heritage Division of the Development Planning Department is satisfied the proposed relocation and restoration proposals conforms to the policies and guidelines within the Vaughan 2010 Official Plan. Accordingly, staff can support Council approval of the proposed relocation of the Part IV designated George Munshaw House located at 59 Fanning Mills Circle, and the relocation of the Bassingthwaite House (Listed under Section 27) currently located at 59 Keatley Drive (formerly 10244 Bathurst) to a new location known as 10090 Bathurst Street, as shown on Attachment 1.

For more information, please contact: Katrina Guy, Cultural Heritage Coordinator, ext. 8115

Attachments

1. Context Plan
2. Aerial Plan
3. Existing Site Plan for Fanning Mills Circle
4. Existing Site Plan for 39 Keatley Drive
5. By-law 403-87 as amended by bylaw 146-2016
6. Cultural Heritage Resource Impact Assessment
7. *Conservation Plan for the George Munshaw House*
8. *Conservation Plan for the Bassingthwaite House*
9. Proposed Site Plan for 10090 Bathurst Street

Prepared by

Nick Borcescu, Senior Heritage Planner, ext. 8191

Reviewed by

Rob Bayley, Manager of Urban Design/Cultural Services, Development Planning
Mauro Peverini, Director of Development Planning

DRAFT PLAN 19T-03V13 REVISED APR. 14, 2010

DRAFT PLAN OF SUBDIVISION
PART OF LOTS 21 & 22, CONCESSION 2
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
SCALE 1:1500

SECTION 51, PLANNING ACT,
ADDITIONAL INFORMATION

- A. AS SHOWN ON DRAFT PLAN
- B. AS SHOWN ON DRAFT PLAN
- C. AS SHOWN ON DRAFT PLAN
- D. AS SHOWN ON DRAFT PLAN
- E. AS SHOWN ON DRAFT PLAN
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- Z. AS SHOWN ON DRAFT PLAN

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LAND TO BE SUBDIVIDED ARE CORRECTLY SHOWN.

DATE: 2003

OWNER'S CERTIFICATE

I, THE UNDERSIGNED, DO HEREBY CERTIFY THAT THE DRAFT PLAN OF SUBDIVISION IS A TRUE AND CORRECT COPY OF THE DRAFT PLAN OF SUBDIVISION AS APPROVED BY THE CITY OF VAUGHAN.

OWNER: HELMHORST INVESTMENTS LTD.

DATE: 2003

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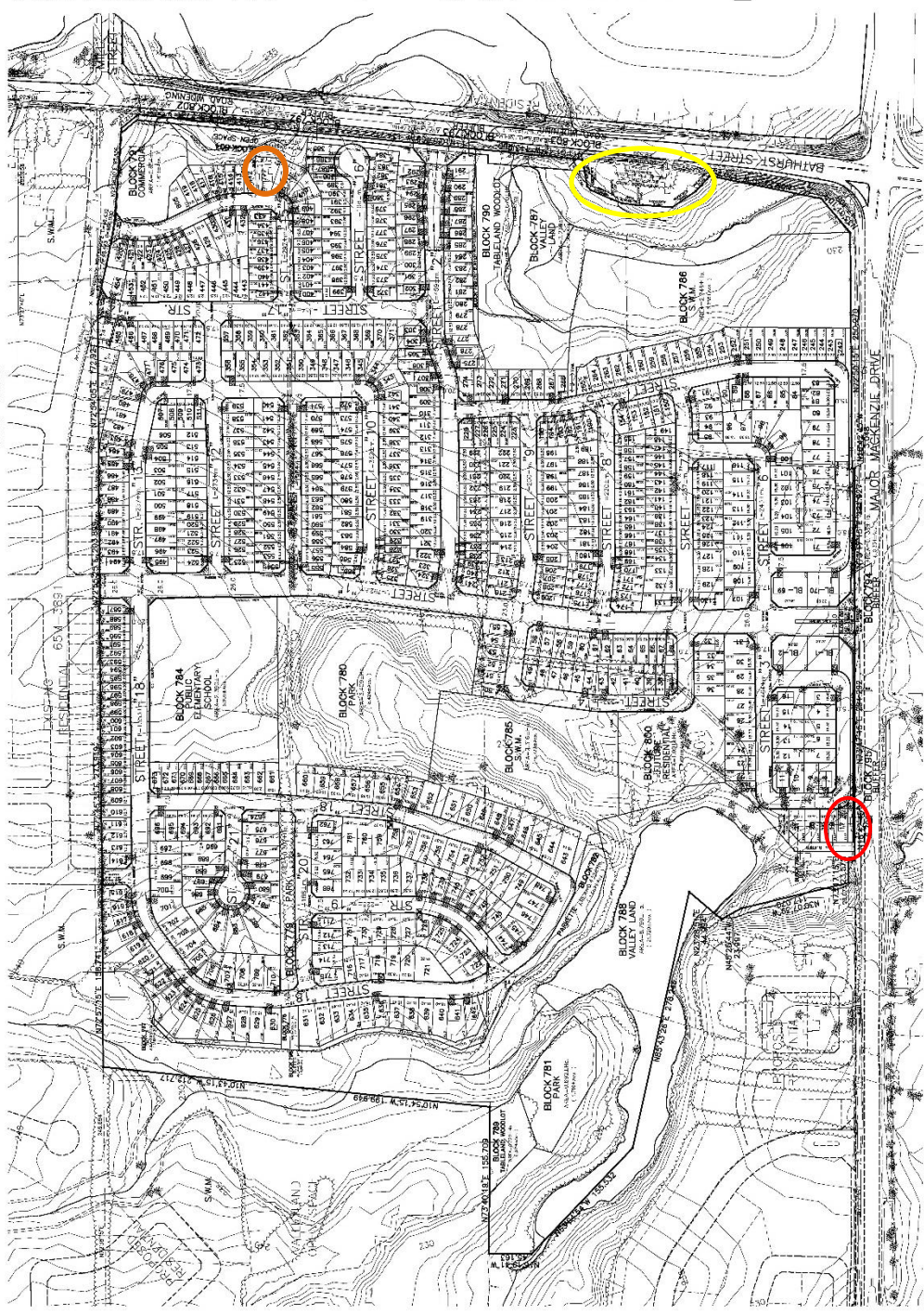
DATE: 2003

OWNER: HELMHORST INVESTMENTS LTD.

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DATE: 2003



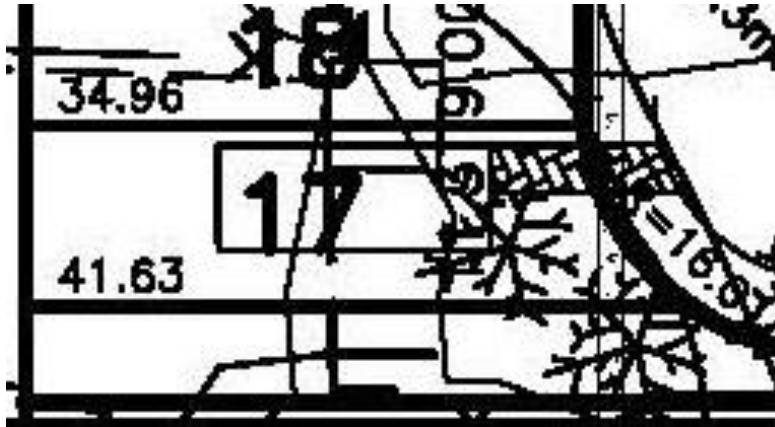
- Red: 58 Fanning Mills Circle (George Munshaw)
- Orange: 39 Keatley Drive (Bassingthwaite)
- Yellow: 10090 Bathurst Street (Proposed Location)

Location of Subject Property



Red: 58 Fanning Mills Circle (George Munshaw)
 Orange: 39 Keatley Drive (Basingthwaite)
 Yellow: 10090 Bathurst Street (Proposed Location)

58 Fanning Mills Circle (Excerpted from Draft Plan)

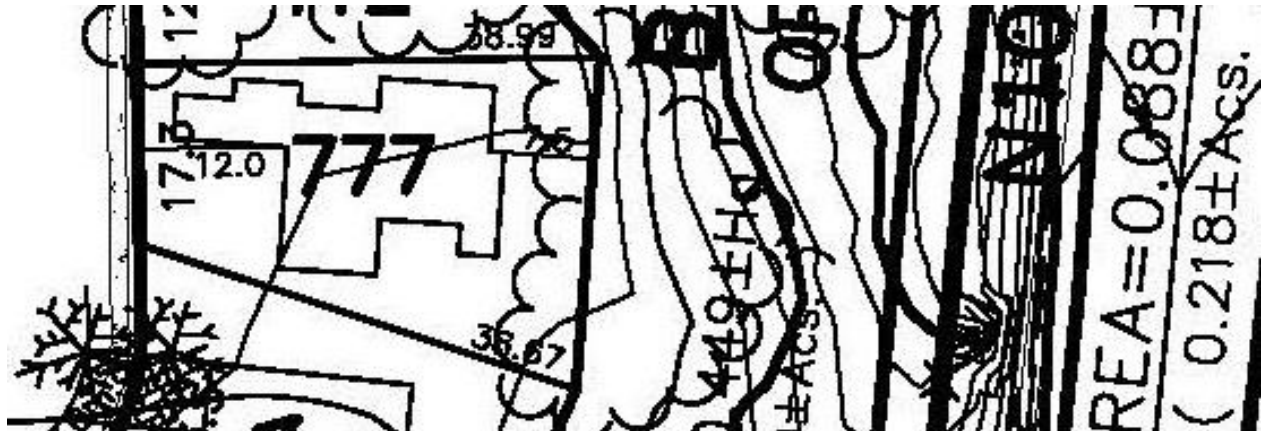


58 Fanning Mills Circle from Western
Elevation (Fanning Mills Circle)



58 Fanning Mills Circle (2014) from
Southern Elevation facing onto Major
Mackenzie Drive West)

39 Keatley Drive (Excerpted from Draft Plan)



39 Keatley Drive from Eastern Elevation
(Keatley Drive)



38 Keatley Drive (Western Elevation facing
onto Bathurst Street)

THE CITY OF VAUGHAN

BY-LAW

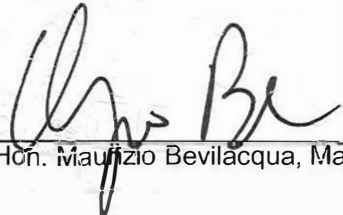
BY-LAW NUMBER 146-2016

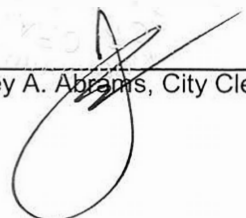
A By-law to amend By-law 403-87 as amended by By-law 167-2014, a by-law to designate the George Munshaw House, Lot 104, Plan 65M-4491, in the City of Vaughan, Regional Municipality of York, as being of architectural and historical value under Section 29 of the *Ontario Heritage Act*, R.S.O.1990.

The Council of the Corporation of the City of Vaughan enacts as follows:

1. That By-law 403-87 as amended by By-law 167-2014, a by-law designating the George Munshaw House, under Part IV of the Ontario Heritage Act, be amended by deleting Schedule "A", Description of Lands, and replacing it with the attached Schedule "A".
2. That the Clerk is hereby authorized to cause a copy of this amending By-law to be served on the Owner and the Ontario Heritage Trust.
3. That the City Solicitor is hereby authorized to cause a copy of the amending by-law to be registered against the property description in Schedule "A" in the proper Land Registry Office.
4. By-law 167-2014 is repealed.

Enacted by City of Vaughan Council this 20th day of September, 2016.


Hon. Maurizio Bevilacqua, Mayor


Jeffrey A. Abrams, City Clerk

Authorized by Item 25 of Report No. 26
Committee of the Whole
Adopted by Vaughan City Council on
June 23, 2015;

and

Authorized by Item 38.1 of Report No. 26
Committee of the Whole
Adopted by Vaughan City Council on
June 23, 2015.

SCHEDULE "A" TO BY-LAW 403-87

Description of Lands

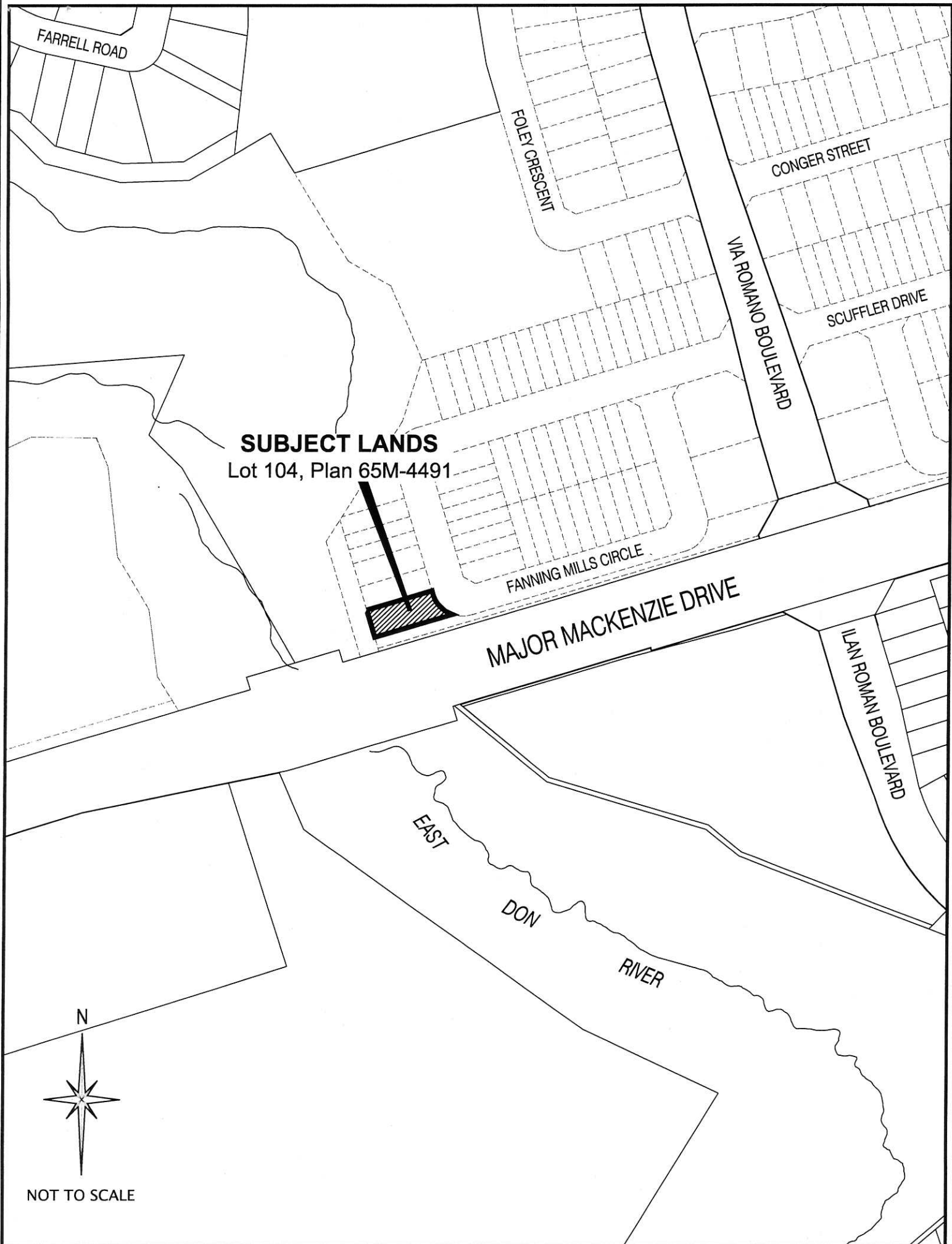
Lot 104, Plan 65M-4491, City of Vaughan, Regional Municipality of York, being all of PIN 03341-7280

SUMMARY TO BY-LAW 146-2016

This by-law is an administrative revision to the locational description contained within Heritage Designation By-law 403-87 as amended by By-law 167-2014 under Part IV, Section 29 of the Ontario Heritage Act. This is to reflect the relocation of the George Munshaw House as approved by Council on June 23, 2015.


This by-law amendment is pursuant to Section 30.1 of the Ontario Heritage Act.

By-law 167-2014 previously revised the legal description, therefore this bylaw will replace and repeal By-law 167-2014.



LOCATION MAP TO BY-LAW 146 - 2016

FILE No. N/A
LOCATION: Part of Lots 21 & 22, Concession 2
APPLICANT: GEORGE MUNSHAW HOUSE
CITY OF VAUGHAN


SUBJECT LANDS

THE CORPORATION OF THE TOWN OF VAUGHAN

BY-LAW NUMBER 403-87

A By-law to designate the George Munshaw House located on the property known municipally as 980 Major Mackenzie Drive, Patterson, in the Town of Vaughan, Regional Municipality of York as being of architectural value or interest.

WHEREAS Section 29 of the Ontario Heritage Act, R.S.O. 1980, authorizes the Council of a municipality to enact by-laws to designate real property, including all buildings and structures thereon, to be of architectural and/or historic value or interest; and,

WHEREAS the Council of the Corporation of the Town of Vaughan has caused to be served on the owners of the lands and premises known as the George Munshaw House, 980 Major Mackenzie Drive, Patterson, being Part of Lot 21, Concession 2, in the Town of Vaughan, in the Regional Municipality of York, more particularly described in Schedule "A" attached hereto; and upon the Ontario Heritage Foundation, notice of intention to designate the aforesaid real property and has caused such notice of intention to be published in a newspaper having general circulation in the municipality once for each of three consecutive weeks; and,

WHEREAS no notice of objection to the proposed designation has been served on the Clerk of the Municipality:

NOW THEREFORE the Council of the Corporation of the Town of Vaughan ENACTS AS FOLLOWS:

1. There is designated as being of architectural value or interest the building known as the George Munshaw House, situated at 980 Major Mackenzie Drive, Patterson, being Part of Lot 21, Concession 2, in the Town of Vaughan, in the Regional Municipality of York, more particularly described in Schedule "A" attached hereto.
2. The reasons for designation are set out in Schedule "B" attached hereto.

3. The Town Solicitor is hereby authorized to cause a copy of this By-law to be registered against the property described in Schedule "A", attached hereto, in the proper land registry office.
4. The Town Clerk is hereby authorized to cause a copy of this By-law to be served on the Owner of the aforesaid property and on the Ontario Heritage Foundation and to cause notice of the passing of this by-law to be published in the same newspaper in which notice of intention to so designate was published once of each of three consecutive weeks.

READ a FIRST and SECOND time this 16th day of November, 1987.



L. D. Jackson, Mayor



R. A. Panizza, Town Clerk

READ a THIRD time and finally passed this 16th day of November, 1987.



L. D. Jackson, Mayor

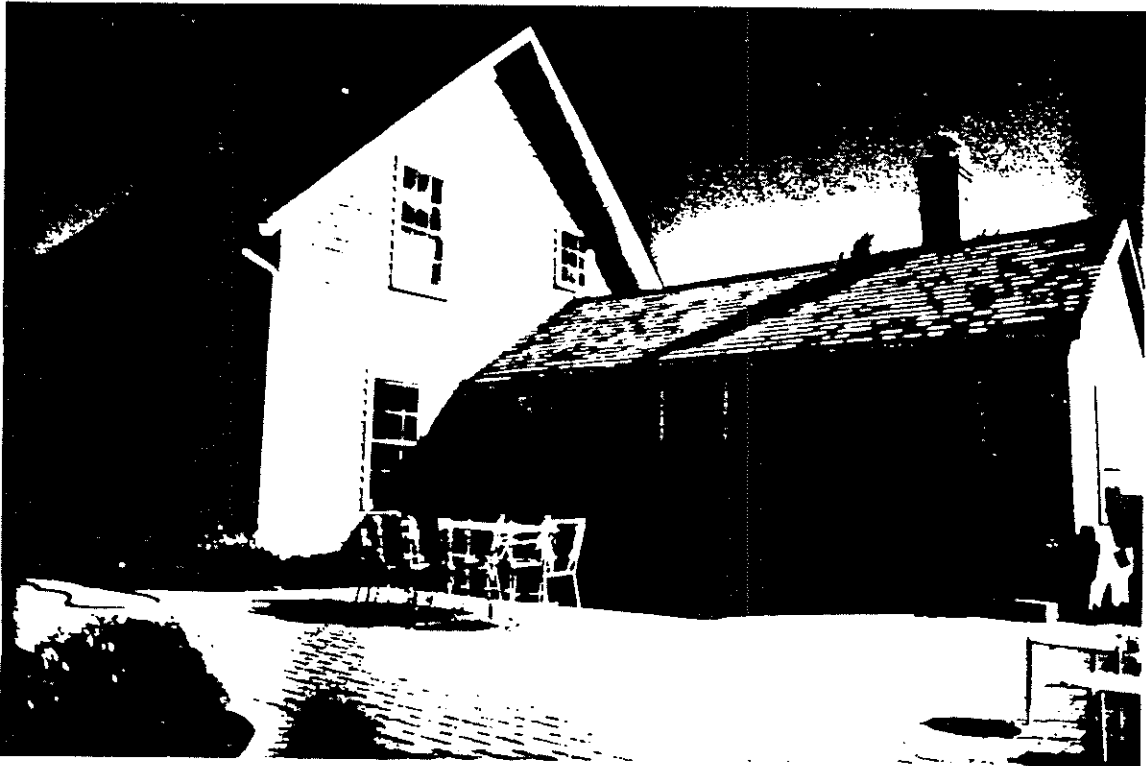


R. A. Panizza, Town Clerk

DESCRIPTION OF LANDS

All and singular that certain parcel or tract of land and premises situate, lying and being in the Town of Vaughan, in the Regional Municipality of York in the province of Ontario and being composed of Part Lots 21 and 22, Concession 2, being Part 2 on Reference Plan 65R-5977, said Plan being deposited in the Registry Office for the Registry Division of York Region (No. 65).

GEORGE MUNSHAW HOUSE



980 Major Mackenzie Drive
Part Lots 21 and 22, Concession 2
Maple

Angela Pacchiarotti
August 1987

THE GEORGE MUNSHAW HOUSE

Property: The George Munshaw House

Address: 980 Major Mackenzie Drive
Part of Lots 21 and 22,
Concession 2,
Maple, Town of Vaughan

Previous Location: Lot 44, Concession 1
N.W. 1/2

Original Owner: George Munshaw

Construction Date: c.1825-1850

Reason for
Designation:

Designation is recommended for the George Munshaw House for its architectural significance in that it is representative of the transitional period from early post and beam construction to balloon frame construction (1825-1850). Its construction is also unique as it has no posts supporting its frame, but has vertical plank sheathing as the frame support.

It is believed that George Munshaw Sr. constructed the house situated on his property, Lot 44, Concession 1. The building was relocated to its present site in 1985. George Munshaw Sr.'s father, Balsor Munshaw was one of the first founding settlers of what is today Markham.

HISTORICAL SIGNIFICANCE

The Munshaw (Munschauer) family was one of the first families to settle in what is today Richmond Hill. Balsor Munshaw responded to Governor Simcoe's advertisement in the Pennsylvania papers in February 1792 to settle in Upper Canada. Leaving Chester County, Pennsylvania in 1792, Balsor Munshaw arrived in Toronto around 1793.

Balsor was one of the first settlers to make his way up Yonge Street and find an adequate place to settle his family and establish himself as a farmer. It is said that so rough was the track along Yonge Street, that he found it necessary to take his canvas top wagon apart and drag the wagon wheels and other equipment up the steep hills by means of strong ropes.

Most of the land along Yonge Street was referred to as the "Black Ash Swamp", as it was impossible for farming. Balsor Munshaw continued his journey up Yonge Street until he reached the Elgin Mills area where he settled on Lot 51, Concession 1. Balsor built on the property a log cabin and cleared the area around his home. In the summer of 1794, Balsor's fifth child was born. A daughter named Susan, she is believed to be the first white child born in the Township of Vaughan.

Balsor moved to the southeast corner of Yonge Street and Langstaff Road, Lot 35, Concession 1, Markham Township, in 1795. He built a log house on his property (which later became a school house in 1811) and farmed his newly acquired land.

The Munshaw family continued to grow in size with the birth of four more children. There was a total of 9 children: John (b.1779), George (b.1785), Jacob (b.1788), Elizabeth (b.1790), Susan (b.1792), Nancy (b.1795), Aaron (b.1796), William (b.1797), and Sarah (b.1798).

Balsor's second son, George, married Hannah Marie Harvey in 1822. Hannah Marie was born in Ireland in 1801. Both Hannah and George were Methodist in religion.

In 1815, George Munshaw bought the north half of Lot 44, Concession 1, from Orrin Nale for £125.

The 1861 census shows that the Munshaw's lived in a one storey plank house on Lot 44, Concession 1. The agricultural census of 1851 indicates George was a farmer like his father, having 62 acres of his 104 acre property under cultivation.

George and Hannah had seven children: Jacob (b.1822), Benjamin, Susan, Thomas (b.1830), George (b.1832), William (b.1836) and Catherine.

George Munshaw Jr. inherited from his father, the west 40 acres of the north half of Lot 44, Concession 1, the original location of the Munshaw House.

George Munshaw Jr. was a bachelor and lived, according to the 1871 Census, on Lot 44, Concession 1, with his other brother Thomas, also a bachelor, and his mother Hannah. Hannah Munshaw died c. 1896. Thomas Munshaw died on May 19, 1916 at the age of 86. George Munshaw died of "old age" a year later on July 31, 1917, at the age of 85.

ARCHITECTURAL ASSESSMENT

The Munshaw House is a one and a half storey vertical plank structure with a medium pitch gable roof. There is a one storey addition also of vertical plank construction, located to the south.

The house originally had a stone mortar foundation. This was replaced when the house was relocated to its present site in 1984. The exterior of the house is covered with horizontal clapboard.

The main entrance is located on the gable wall of the north elevation. The structural opening is flat in shape with a panel of lights on both sides. Two plain trim, sashed windows with a 6/6 pane arrangement are located on the first storey of the facade. Two similar windows are located on the facade's upper storey.

Two plain trim, sashed windows with a 6/6 pane arrangement are located on the first storey of the west elevation. Two similar windows with 6/6 pane arrangement are situated on the first storey of the east elevation. A shed dormer is centrally located on the structure's east elevation. A sashed window with a 3/6 pane arrangement is located in the dormer.

The south elevation of the main structure has a plain trim sashed window with a 6/6 pane arrangement. A similar window lies just above on the second storey opposite a casement window with a 9 pane arrangement.

The rear addition has two entrances located on opposite ends of the west elevation. A plain trim sashed window with a 6/6 pane arrangement is situated between the two doorways.

The east elevation of the addition has a sashed window with a 3/6 pane arrangement. The addition's south elevation has a sashed window with a 6/6 pane arrangement.

The roof is covered with cedar shingles. A chimney is centrally located along the roofline of the main structure. There is a second chimney at the rear of the addition. The roof has extended eaves with a plain fascia and soffit.

The frame of the house is unique in that it has vertical plank sheathing as the frame support. The structure resembles post and beam construction except that the posts are replaced by vertical planks. This type of construction was used between 1825 - 1850 during the transition from early post and beam construction to balloon framing.¹ The method of construction used to build the Munshaw House resembles balloon framing, in that the vertical supports press beside the horizontal supports and not underneath them. The horizontal beams are held up by spikes driven through the planks. This method of construction was more economical than post and beam, as it eliminated the posts and the complicated joinery.

Designation is recommended for the Munshaw House for its architectural significance in that it is representative of the transitional period from early post and beam construction to balloon frame construction (1825-1850). Its construction is also unique as it has no posts supporting its frame, but has vertical plank sheathing as the frame support.

It is believed that George Munshaw Sr. constructed the house situated on his then property, Lot 44, Concesion 1. George Munshaw Sr.'s father, Balsor Munshaw was one of the first founding settlers of what is today Richmond Hill.

¹Note: A similar frame construction to the Munshaw House is a house at Moulinette, Ontario, near the Quebec border dated 1825. The Moulinette house was demolished to make way for the St. Lawrence Seaway. For details see John I. Rempel, Building with Wood, (Toronto: University of Toronto Press, 1967) p. 124.

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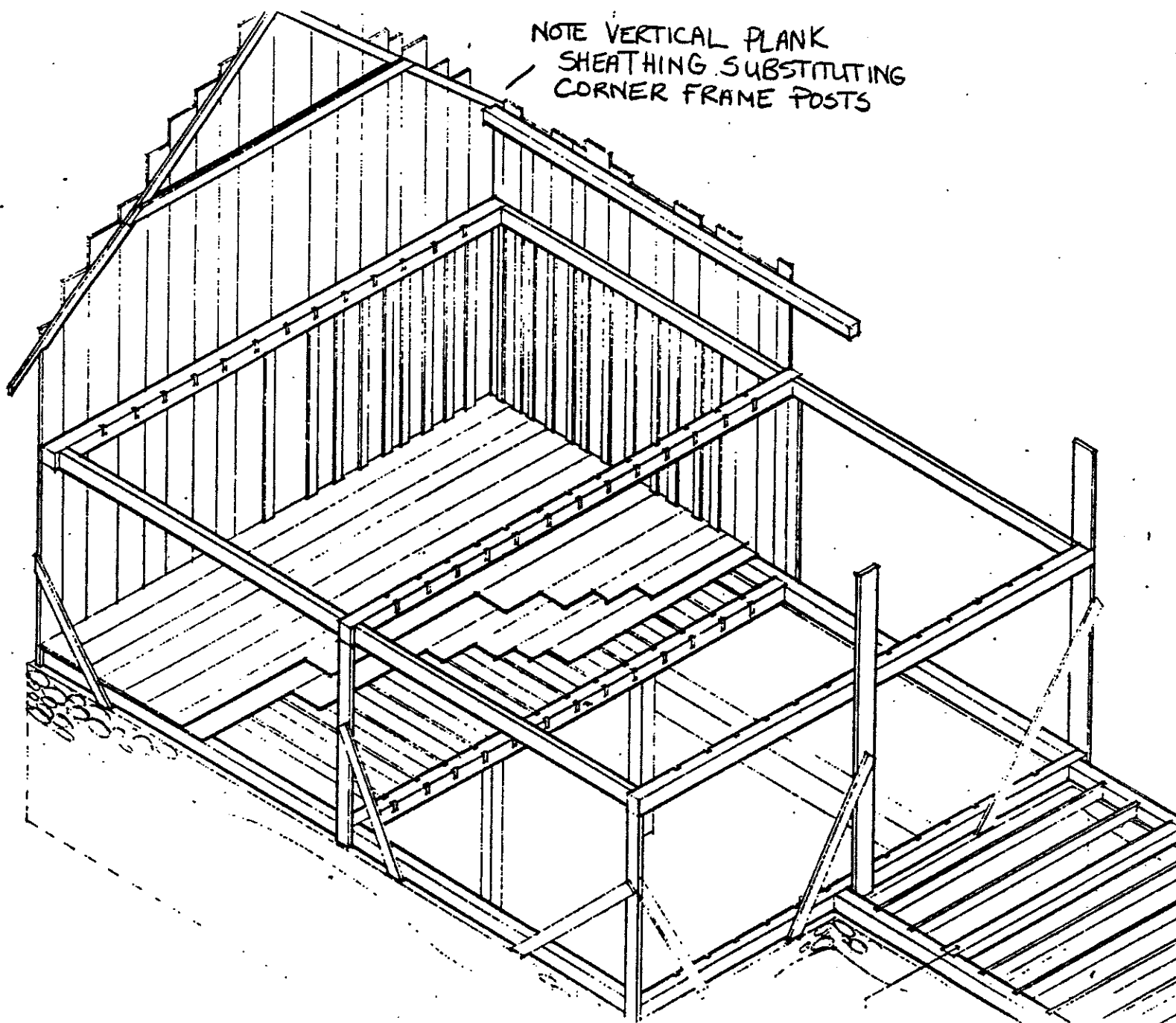
1851, 1861, 1871, 1881, Censuses

Land Registry Records for Lot 44, Concession 1

Taylor, William R. "Some Notes on Balsor Munshaw and His Family, and the County of York in its Infancy", unpublished.

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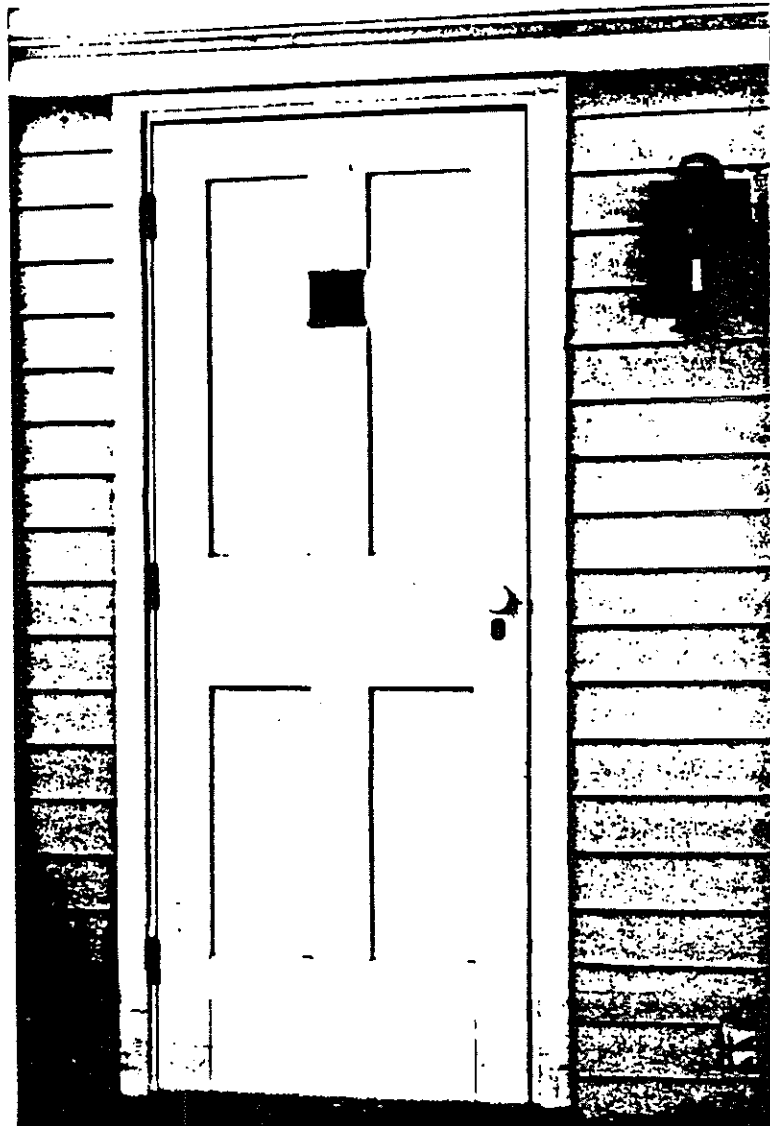
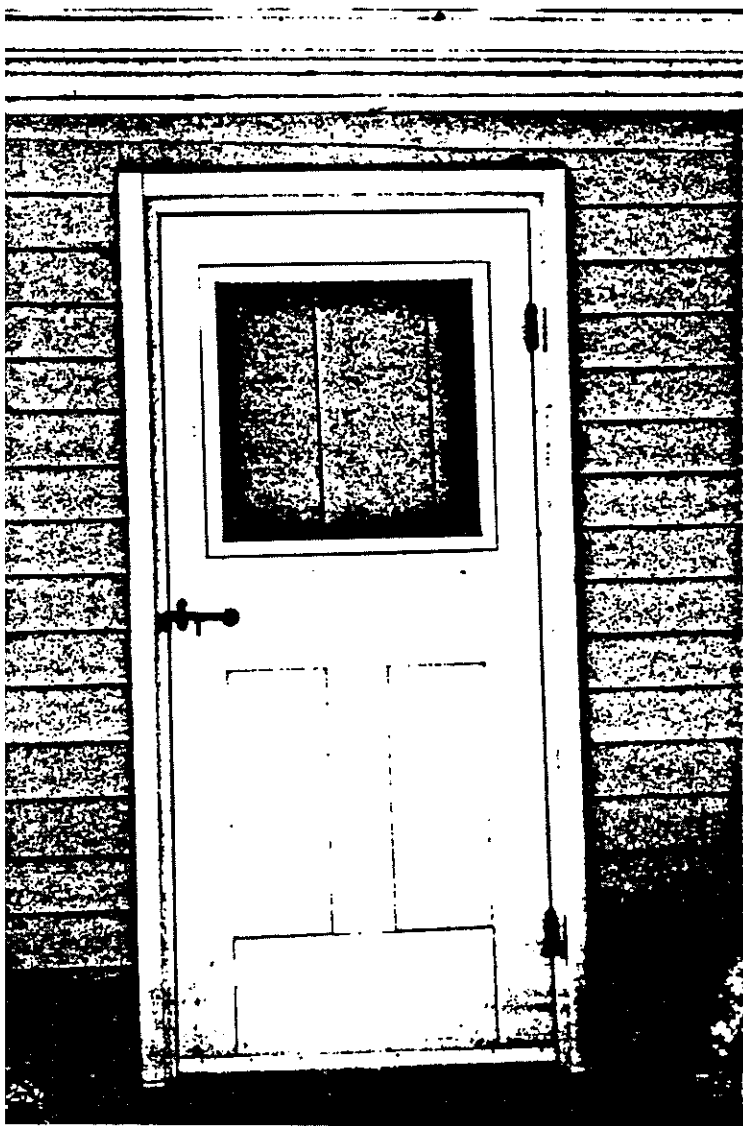


FRAME CONSTRUCTION OF GEORGE MUNSHAW HOUSE

Pentland and Baker, Architects

George Munsaw House
980 Major Mackenzie Drive





CULTURAL HERITAGE RESOURCE IMPACT ASSESSMENT

980 MAJOR MACKENZIE DRIVE WEST AND 10244 BATHURST STREET, VAUGHAN

Issued: October 30, 2014 (Revised: April 12, 2016, **September 11, 2019**)



L O N G Y A R D

PREPARED FOR:

Longyard Properties Inc.
30 Floral Parkway, Suite 300
Concord, ON, L4K 4R1

PREPARED BY:

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625 Church Street, Suite 600
Toronto, Ontario M4Y 2G1

Project: 13-106-01

Prepared By: **PE/SL/JQ/GM/AC/ZC**

ERA

Cover Image: Left- Munshaw House, right: Bassingthwaite House (ERA, 2019)

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EXECUTIVE SUMMARY

This Cultural Heritage Resource Impact Assessment (CHRIA) was prepared by ERA Architects Inc. (“ERA”) in support of the development application for the site legally known as Part of Lots 21 and 22, Concession 2 in the City of Vaughan (the “Subject Site”).

The initial CHRIA, dated October 30, 2014 (Revised: April 12, 2016,) has since been approved along with the Longyard draft plan of subdivision (Refer to Appendix 5), which is now approaching full build-out.

The purpose of this revision to the CHRIA is to assess the impacts of updated conservation strategies proposed for two heritage buildings within the Subject Site.

The two heritage buildings within the Subject Site are identified on the City of Vaughan Heritage Inventory.

1. The George Munshaw House is a one-and-a-half-storey structure with a one-storey rear addition built c.1825-1850. The House is the only structure out of a collection of Munshaw structures (see list on page 7) that has been relocated (see page 10). The house now sits on temporary footings on Lot 104 of the Subject Site, along Fanning Mills Circle. It was relocated here from 980 Major Mackenzie Drive West where it had been initially relocated to from its original location

at Lot 44 Concession 2 in 1984. The house is designated under Part IV of the Ontario Heritage Act.

2. The Bassingthwaite House, is a two-storey structure constructed in 1860. The house currently sits in its original location, which has been integrated into the lotting fabric of the Subject Site as lot 35 along Keatley Drive. Despite later alterations, the house is a good example of mid 19th-century residential architecture. The house is listed on the City of Vaughan Heritage Inventory as a building of architectural and historical value.

The Subject Site has been redeveloped as a new subdivision containing 14 residential blocks and a total of approximately 838 dwellings.

A number of mitigation options were considered during the development of the subdivision plan. These options can be found in Sections 4.1 and 4.2 of this report.

The proposed conservation approach is to relocate and conserve both the George Munshaw House and the Bassingthwaite House. The proposed relocation would situate both houses adjacent to one another along Bathurst Street on an existing residential lot enveloped by a naturalized open space. This proposed relocation area is adjacent to the southeastern extent of the Subject Site.

Future conservation work, involving the repair and upgrade of the heritage resources, and adaptive reuse is proposed for both the Munshaw House and Bassingthwaite House. In the interim, before the houses are programmed, Bassingthwaite House will be used as a residence with the Munshaw House as its accessory structure. Potential proposed alterations and/or additions to the buildings are to be determined in coordination with the ultimate owner and the City of Vaughan.

The retention and adaptive reuse of these existing heritage resources represents an appropriate conservation strategy that will provide both houses with a context, scale and visual prominence that is presently lacking.

Further details regarding future conservation work and programming of the heritage resources will be provided to the City of Vaughan as required.

1 INTRODUCTION

1.1 Scope of the Report

The purpose of this CHRIA is to “assess and describe the significance of a heritage resource and its heritage attributes,” “identify the impacts of the proposed development or alteration on the heritage resource” and “recommend a conservation approach to best conserve the heritage resource and to avoid or mitigate negative impacts to the heritage resource within the context of the proposed development” (City of Vaughan Guidelines for Cultural CHRIA Reports, February 2017).

This CHRIA follows a previous submission, dated October 30, 2014 (and revised April 12, 2016) prepared by ERA, which sought the relocation and adaptive reuse of the George Munshaw House and the adaptive reuse of the Basingthwaite House in situ. The proposal has since been modified to include the relocation and adaptive reuse of both the Basingthwaite House and the Munshaw House adjacent to one another along Bathurst Street on an existing residential lot enveloped by naturalized open space, adjacent to the Subject Site’s southeastern extent. In the interim, before the houses are programmed, Basingthwaite House will be used as a residence with the Munshaw House as its accessory structure. Exterior and interior conservation work beyond the relocation and stabilization of both structures will undertaken in future.

1.2 Present Owner Contact

c/o Michael Pozzebon
Longyard Properties Inc.
30 Floral Parkway, Suite 300
Concord, ON, L4K 4R1

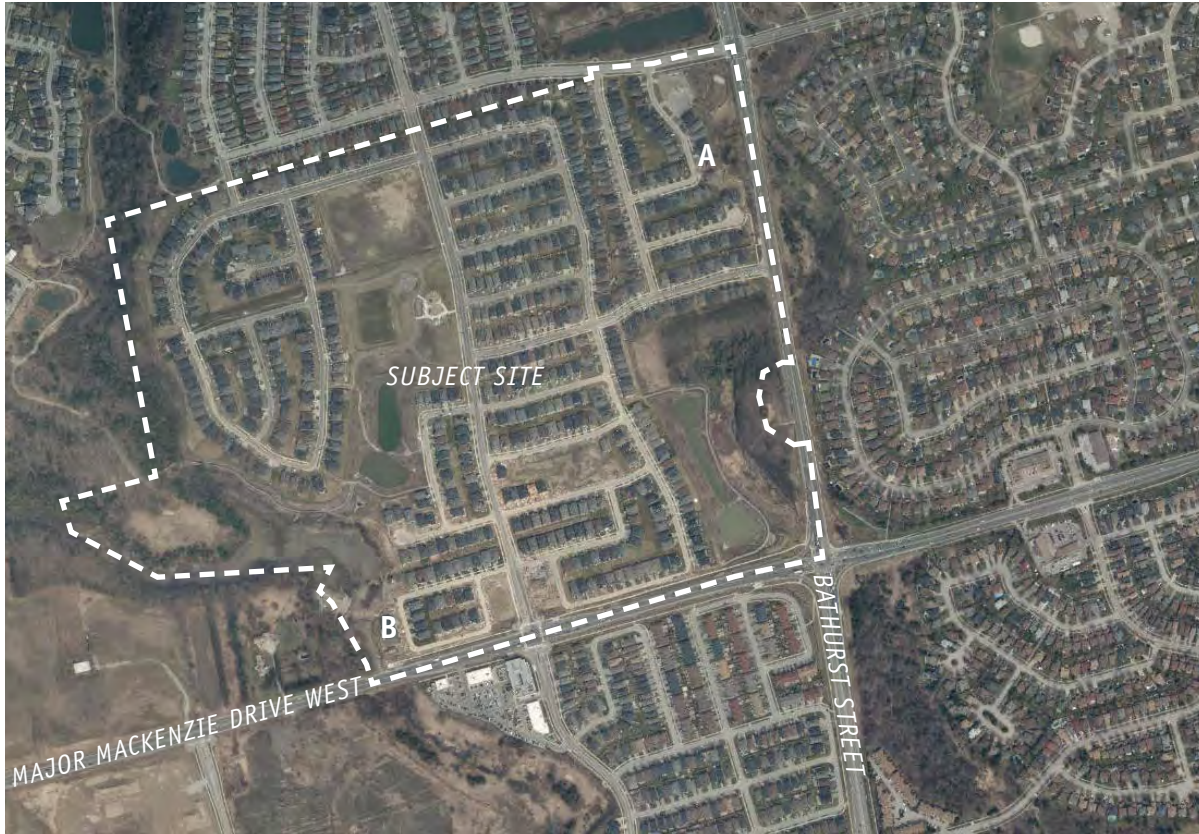
1.3 Site Location and General Description

The Subject Site is located north west of the intersection of Bathurst Street and Major Mackenzie Drive West, on part of Lots 21 and 22, Concession 2, in the City of Vaughan.

The George Munshaw House at 980 Major Mackenzie Drive West is located on the north side of Major Mackenzie Drive West, approximately 500 metres west of Bathurst Street.

The Basingthwaite House at 10244 Bathurst Street sits on the west side of Bathurst Street, approximately 850 metres north of Major Mackenzie Drive West.

Currently, the Subject Site is comprised of a new residential community surrounded by residential subdivisions.



1. Current location of 980 Major Mackenzie Drive West and 10244 Bathurst Street (York Region Aerial Map, 2018. Annotated by ERA, 2019).

- A - 10244 Bathurst Street, Bassingthwaite House
B - 980 Major Mackenzie Drive West, Munshaw House



2. 980 Major Mackenzie Drive West (ERA, 2019).



3. 10244 Bathurst Street (ERA, 2019).

1.4 Heritage Status and Site Description

The George Munshaw House at 980 Major Mackenzie Drive West is designated under Part IV of the Ontario Heritage Act by City of Vaughan By-law No. 403-87 for its architectural significance (see appendix 4 for By-law).

The reasons for designation, found in schedule “B” of By-law 403-87, are reproduced below:

Designation is recommended for the George Munshaw House for its architectural significance in that it is representative of the transitional period from early post and beam construction to balloon frame construction (1825-1850). Its construction is also unique as it has no posts supporting its frame, but has vertical plank sheathing as the frame support.

It is believed that George Munshaw Sr. constructed the house situated on his property, Lot 44 Concession 1. The building was relocated to its present site in 1985. George Munshaw Sr.’s father, Balsor Munshaw, was one of the first founding settlers of what is today Markham.

When the designation By-law was prepared, Munshaw House had been moved once from its original location. The building has now been

relocated multiple times and presently sits on lot 104 along Fanning Mills Circle (refer to Figure 10).

The Bassingthwaite House at 10244 Bathurst Street is included in the Listing of Buildings of Architectural and Historical Value on the Vaughan Heritage Inventory. The inventory identifies the building as an 1860s Georgian brick house with an addition built in the 1980s. The Bassingthwaite House is not designated under Part IV of the Ontario Heritage Act.

1.5 Adjacent Heritage Properties

The Province of Ontario’s 2014 Provincial Policy Statement (PPS) supports heritage conservation as part of land-use planning and provides that significant built heritage resources shall be conserved (policy 2.6.1). “Significant built heritage resources” are defined in the PPS 2014 as resources that have been determined to have cultural heritage value or interest.

The PPS 2014 policy 2.6.3 states that:

Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

The Subject Site is not adjacent to any protected heritage properties.

2 BACKGROUND RESEARCH AND ANALYSIS

2.1 History of the Subject Site

The Subject Site was formerly the location of the Patterson Brothers agricultural implement factory and the corresponding small village that developed around it. Starting in the early 1850s, the Patterson business operated on these lands, until it relocated to Woodstock Ontario in 1885.

Founding:

The farm was established by brothers Peter, Alfred and Robert Patterson after immigrating to Ontario [then called Canada West] from Wyoming County in northern New York in the 1840s.

In the early 1850s, they began producing equipment for the local farmers.

In 1855, the Pattersons purchased one hundred acres of land on the north side of Major Mackenzie Drive West [then called Vaughan Sideroad], west of Bathurst Street and established a mill

on the **Subject Site**. A series of buildings to accommodate their growing business, the Patterson Works, were later constructed.

Town of Patterson and the Patterson Works:

As the Patterson Works developed through the early 1860s, a “company town” was built up around the works. According to historian Robert M. Stamp:

Patterson Brothers was able to run a patronizing yet benevolent operation for their “family” of workers, many of whom lived in company-owned cottages or boarding houses in the company town of Patterson or “The Patch” along Vaughan Sideroad.

Research in the March 2005 *Archeological Services Inc.* report titled “Cultural Heritage Impact Assessment for Helmhorst Investment Limited” notes that:

Over the period of its history the Subject Site contained a number of modest frame homes for company employees, a boarding house, a church (1871), school (1872), post office, telegraph office and store [Archeological Services, page 18] (figure 4).



4. Advertisement for Patterson & Brothers Works, n.d. (Source: Stamp, Robert M., *Early Days in Richmond Hill*).

The Village of Patterson is illustrated in an advertisement of the period (Figure 4) and in the county map of Vaughan produced by Ralph Smith & Co in 1878 (see figure 10).

Decline and Relocation:

By the 1880s, the success of the Patterson factory declined due to competition from other implement farms, as well as the lack of a connection to a rail line.

In 1886, Richmond Hill village council offered the Pattersons a \$10,000 bonus.

Despite a late-coming counter offer presented by the village of Richmond Hill, the brothers decommissioned the factory and moved to western Ontario.

2.2 History and Evaluation of built cultural heritage resources

2.2.1 *George Munshaw House, History*

The George Munshaw House is a one-and-a-half-storey structure **with a one-storey rear addition** constructed circa 1825-1850.

The Munshaw House was moved to 980 Major Mackenzie Drive West from its original location in Richmond Hill at Lot 44 Concession 2 in 1984. It has since been moved to its present location at Lot 104 of the Subject Site, along Fanning Mills Circle where it sits on temporary footings.

Original Location:

The Ralph Smith & Co. county map of Vaughan, from 1878, shows a building on Lot 44 Concession 2, a property labelled “G. Munshaw”. It can be inferred that this was the original location of the George Munshaw house (see figure 10).

The Munshaw Family:

The house was built for George Munshaw Sr., the son of Balsar Munshaw, one of the early settlers on Yonge Street near Richmond Hill.

The “History of Toronto and County of York” published in 1885 by Blackett Robinson, states that George Munshaw’s parents, Balsar and Katharine Munshaw, and their children “were the first family to settle upon a farm on Yonge Street” [Robinson, p27].

Historian Robert M. Stamp writes that “...several of their children would later play important roles



5. Current condition of the George Munshaw House (ERA, 2019).

in the development of the community” [Stamp, Chapter 3, The European Settlers Arrive].

Information in this section is based on the site history provided in “Cultural Heritage Impact Assessment for Helmhorst Investment Limited” Archeological Services Inc., March 2005.

Archeological Services Inc., also suggested the house may have been constructed by George Munshaw’s eldest son, Jacob. ERA has not been able to verify this account.

Munshaw Buildings:

A number of buildings associated with the Munshaw name are considered heritage buildings (see list to the right). The legacy of the family is represented in several buildings, and is not limited to the George Munshaw House.

Architecture:

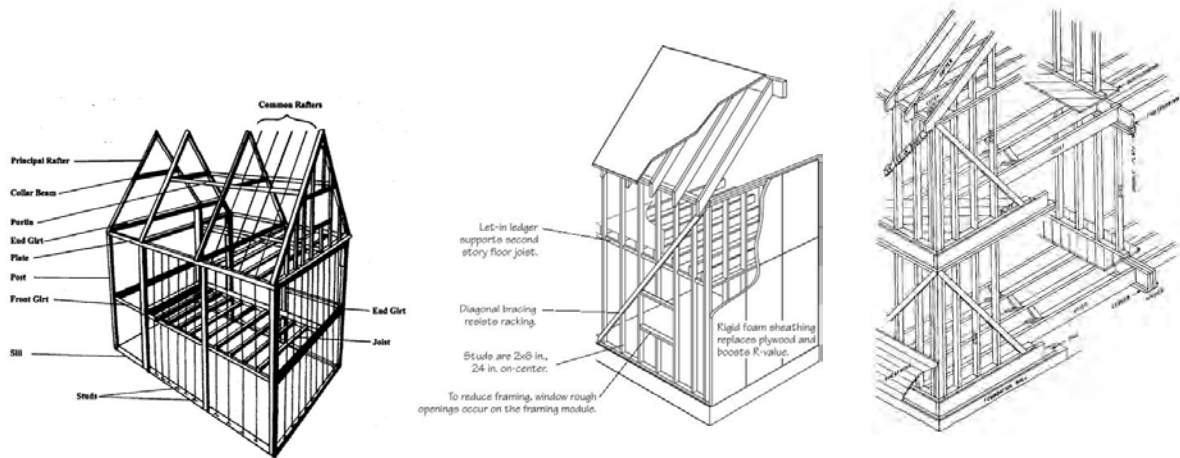
The George Munshaw House has been characterized as an early example of balloon-frame construction representing a departure from the earlier post-and-beam construction (see figure 7).

According to research provided in an earlier heritage assessment of the **Subject Site** provided by Archeological Services Inc., March 2005, and titled “Cultural Heritage Impact Assessment for Helmhorst Investment Limited,” the house is considered unique” as it has no posts supporting its frame, but rather employs vertical plank sheathing as the frame support” (page 25).

Munshaw Buildings	
Building	Location and Status
Wixom Munshaw House	Wixom, Michigan. Built circa 1833
Munshaw House Inn	Flesherton, ON Built circa 1860 Stage coach inn built in stages starting in 1849 and finishing in 1864. (virtualmuseums.ca, South Grey Museum & Historical Library)
Thomas Munshaw House	16 Centre Street West, Richmond Hill. Built circa 1872. Included on Richmond Hill’s Inventory of Buildings of Architectural and Historic Importance.
John Munshaw House	8779 Yonge Street, Richmond Hill Built circa 1855, Demolished 1992 Associated with John Munshaw Included on Richmond Hill’s Inventory of Buildings of Architectural and Historic Importance.
Lambert Munshaw House	8783 Yonge Street, Richmond Hill Built circa 1860, Demolished 1988 Included on Richmond Hill’s Inventory of Buildings of Architectural and Historic Importance.
Balsar and Katherine Munshaw House	10 Ruggles Av. south east corner of Hwy 7 and Yonge St. Built c.1809 Listed by the Town of Markham

List compiled by ERA.

The evolution of house framing construction methods in Ontario



6. Timber post & beam frame diagram

7. Balloon frame diagram

8. Platform frame diagram

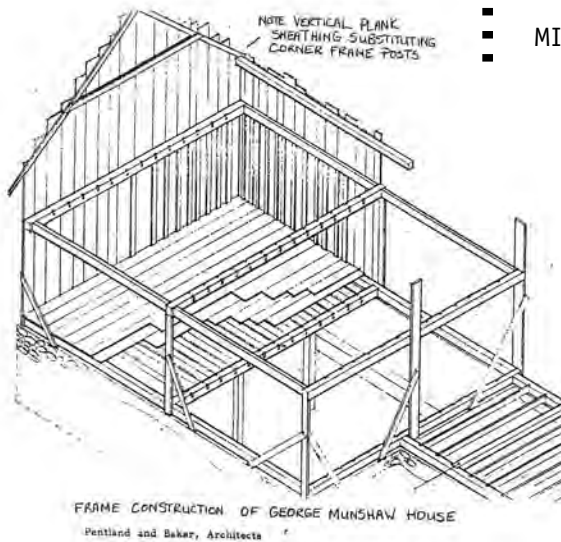
PRE 19TH CENTURY

LATER 19TH CENTURY

20TH CENTURY

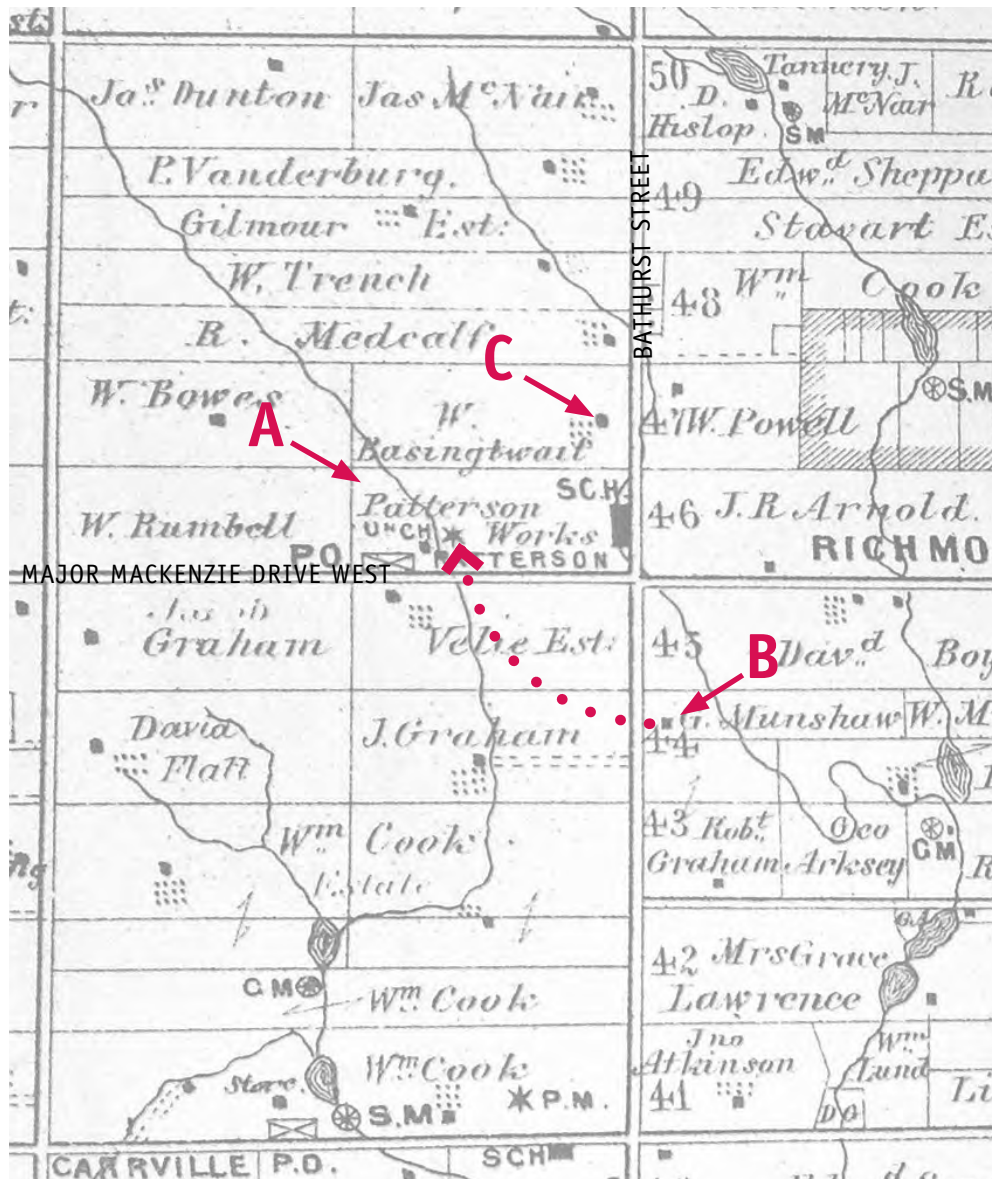
TODAY

MID 19TH CENTURY (FRAME CONSTRUCTION)



9. Frame construction of the George Munshaw House

Location of the Patterson Works, George Munshaw House and the Bassingthwaite House, 1878



10. Site in 1878, from "Vaughan" Ralph Smith & Co., printed in Historic Atlas of York County Ontario, Illustrated, Miles & Co." (Annotated by ERA, 2019).

- A - Patterson Works/Patterson Village site, now the site of the Longyard Subdivision.
- B - Original Location of the George Munshaw House, now located at 980 Major Mackenzie Drive West. Present location shown by the dotted line.
- C - Historic and current location of the Bassingthwaite House at 10244 Bathurst Street.



11. Illustrated historical atlas of the County of York (1878) showing location of Bassingthwaite Farmstead and House (Annotated by ERA, 2019).

2.2.4 *Bassingthwaite House, History*

The Bassingthwaite House is a two-storey structure constructed in approximately 1860. Although this date seems appropriate based on the appearance of the house, ERA has not yet been able to confirm this.

William Bassingthwaite immigrated to Canada with his parents, Edward and Mary, and siblings Edward and Elizabeth in 1832. Shortly after arriving in 1834, the Bassingthwaites purchased a farm in Reach Township.

In 1835, William married Margaret Atkinson, and in 1843 they established a farm on Lot 22 of the Township of Vaughan. At this time, the lot and surrounding lands were undeveloped, overgrown by bush and unserviced by roads. In addition to farming, Bassingthwaite was believed to have no less than thirty-five beehives on the property. Bassingthwaite was a member of the Methodist Church and active in establishing the area, with City of Vaughan Archives further indicating a “Mr Bassingthwaite” helped to establish the Patterson School, just south of the property. William and Margaret had six children and remained on Site until his William’s death in 1903.



12. Aerial photograph showing the original Bassingthwaite Farmstead and House, and its orientation toward Bathurst Street (York Region, 2019).

Research provided in *Archeological Services Inc., March 2005, and titled "Cultural Heritage Impact Assessment for Helmhorst Investment Limited,"* states that the house was renovated and enlarged in the 1980s. A two storey rear addition was constructed to the south elevation.

The *Archeological Services* report notes that a book on historic mouldings of York County, by George Duncan, sees "the Bassingthwaite House as a good example of 1850s style interior wood work and trim" (p 34).

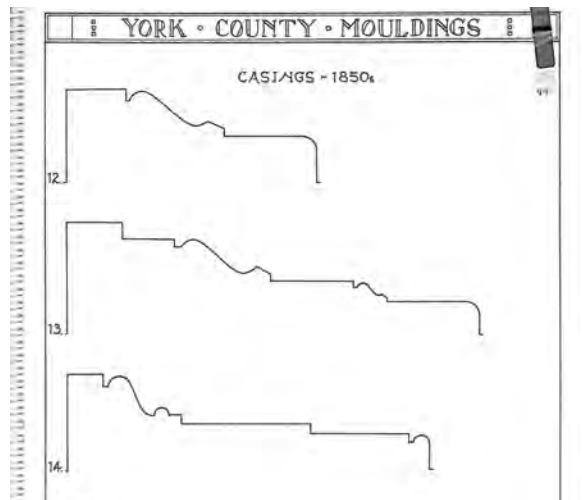
A single storey brick and stone structure, identified by the *Archeological Services* report as a smokehouse, is located at the rear of the house (see figure 14).



13. Bassingthwaite House - exterior (ERA, 2019).



14. Single storey brick and stone smokehouse (ERA, 2019).



15. Excerpt from George Duncan's book

2.3 Documentation of cultural heritage resources

A detailed photographic documentation of the buildings at 980 Major Mackenzie Drive West and 10244 Bathurst Street, which was updated in 2019, is included in Appendix 3 of this report.

2.4 Current Condition

A general overview of the conditions of the Bassingthwaite and George Munshaw Houses was conducted by ERA Architects Inc. in July 2019. This involved walking around the site, observing and assessing the exterior and viewing accessible interior spaces. Note, it was not possible to view the interior of the Munshaw House as the structure was boarded up and elevated on temporary wooden cribbing.

Each house is reviewed in the following pages.

DEFINITION OF TERMS

The building components were graded using the following assessment system:

Excellent: *Superior aging performance. Functioning as intended; no deterioration observed.*

Good: *Normal Result. Functioning as intended; normal deterioration observed; no maintenance anticipated within the next five years.*

Fair: *Functioning as intended. Normal deterioration and minor distress observed; maintenance will be required within the next three to five years to maintain functionality.*

Poor: *Not functioning as intended; significant deterioration and distress observed; maintenance and some repair required within the next year to restore functionality.*

Defective: *Not functioning as intended; significant deterioration and major distress observed, possible damage to support structure; may present a risk; must be dealt with immediately.*

George Munshaw House, 980 Major Mackenzie Drive West

ERA performed a visual inspection of the property on July 25, 2019. All inspections were carried out from grade. Inspections were limited to visible exterior envelope features such as the masonry, woodwork, windows and doors, flashings and rainwater management systems (eavestroughs and downspouts). The interior was inaccessible during the inspection. No close up “hands on” inspections were carried out using scaffolding or a lift, and the roof areas on all the buildings were not accessible at the time of the inspection.

Overall, the Munshaw house is in fair to poor condition with areas of defective condition. It is currently sitting on temporary structure - steel beams and wood cribs. The area at the seam of the two storey and one storey structure appears to be in poor condition and is bowing in this location. This section should be repaired and levelled as soon as possible to prevent further deterioration to the structure.



16. East elevation (ERA, 2019).




17. North elevation (ERA, 2019).



18. South elevation with view of cedar shingled roof and easternmost chimney (ERA, 2019).



19. West and south elevations (ERA, 2019).

 Rear addition

The wood siding appears to be in poor to fair condition with some areas of rot and deterioration and paint flaking and peeling. There also appears to be some defective areas at the base of the one-storey section where there is missing wood siding.

The exterior wood work appears to be in fair condition with some areas of the roof fascia and soffit boards showing paint flaking and peeling.

The eavestroughs and downspouts appear to be in fair condition with some areas of warping. The eavestroughs and downspouts on the north side of the one-storey section are missing.

The cedar shingle roof appears to be in poor condition with areas of missing shingles, deterioration and warping. The roof flashing appears to be in fair condition.

The brick chimneys appear to be in fair condition with some environmental staining at the peaks.

All the existing doors and windows are boarded up from the exterior, and so these items could not be reviewed.

Bassingthwaite House, 10244 Bathurst Street

ERA performed a visual inspection of the property on July 25, 2019. All inspections were carried out from grade. Inspections were limited to visible exterior envelope features such as the masonry, woodwork, windows and doors, flashings and rainwater management systems (eavestroughs and downspouts). The interior inspection was carried out from the second floor to the cellar (basement). No close up “hands on” inspections were carried out using scaffolding or a lift, and the roof areas on all the buildings were not accessible at the time of the inspection.

Overall, the Bassingthwaite house is in fair to poor condition with areas of defective condition.

Brick Masonry: The brick façade has been painted in a beige colour and appears to be in fair to poor condition with areas have paint flaking, mortar loss, brick deterioration, brick delamination, environmental staining and obsolete metal fasteners. There also appears to be mortar cracks above window and door lintels, below window sills and at the base of the structure.



20. West elevation of the structure including the stone smoke house (ERA, 2019).



21. North chimney (ERA, 2019).



22. 1980s addition (left) viewed from the southwest (ERA, 2019).



23. North Elevation brickwork and shutters (ERA, 2019).



24. Main wood door (ERA, 2019).

Openings: All the window and door openings have been boarded up with plywood on the exterior except the basement windows, and so the windows were reviewed only from the interior. The wood windows in the original Bassingthwaite House appears to be historic and in fair condition. The remainder of the windows at the one- and two-storey later additions are vinyl windows and appear to be in fair to poor condition. The main wood door and wood surround appears to be in fair condition with areas of paint flaking.

Exterior Wood: The exterior wood elements have been painted in white and appear to be in fair to poor condition. The wood sills at the original Bassingthwaite House appear to be in fair condition with some areas of paint flaking, with the exception of one sill on the ground floor south elevation which appears to be in poor condition showing signs of wood deterioration and paint flaking.



25. Soffiting and moulding on south elevation (ERA, 2019).

The main and side wood porches appear to be in fair condition with areas of paint flaking and some wood deterioration at the base of the columns.

The wood siding on the one storey addition appears to be in fair to poor condition with areas of paint flaking, damaged and deteriorated wood.

The wood soffits, facias and eaves appear to be in fair to poor condition with some areas of paint flaking and peeling, wood rot, deterioration and delamination.

The remaining wood window shutters appear to be in fair condition with areas of paint flaking. The north elevation has all the window shutters installed, the south elevation is missing one window shutter, and the east elevation is missing three window shutters with one uninstalled and in defective condition.

Roof, Flashing and Rain Management System: Generally, the roof, flashing and asphalt shingles are in fair condition, with the exception of a defective area in the north west side of the two-storey house where there is a three foot by four foot hole in the roof which exposes the interior to the elements. This hole should be repaired as soon as possible so that further deterioration to the roof and interior structure can be avoided.



26. Main wood porch (ERA, 2019).

The rain management system is in fair to poor condition with damaged and warped areas on the main porch and the one-storey building's eavestroughs, missing downspouts and downspout diverters.

Interior: Generally, the basement interior appears to be in fair condition. The majority of the exterior walls are covered in drywall except the north wall which shows the exposed stone rubble foundation. The stone foundation wall (west wall of original footprint of the Basingthwaite House) is exposed and appears to be in fair condition. A multi-wythe interior brick wall spanning east to west in the original footprint of the Basingthwaite House appears to be in fair condition. A section of wood floor joists and wood floor boards are exposed in the north side of the original Basingthwaite House footprint and appears to be in fair condition.



27. Stone rubble foundation (ERA, 2019).



28. View from foyer (ERA, 2019).



30. View of dining room, with evidence of mould on the ceiling and wall from defective roofing area (ERA, 2019).



29. View of living room (ERA, 2019).

Generally, the ground floor interior appears to be in fair condition with an isolated area of poor condition in the north west side of the two-storey house below the hole in the roof where there appears to be mould and water damage in the ceiling and wall. The original Bassingthwaite House interior appears to retain its original wood flooring, wood door and window trim, baseboards, wainscoting and ceiling trim, which appears to be in fair condition. The walls in the original Bassingthwaite House interior appears to be in fair condition with areas of paint flaking and peeling. The later addition interior walls are covered in drywall and tile (in the kitchen), which appears to be in fair condition.

Generally, the second floor interior appears to be in fair condition with areas of paint flaking and peeling from the walls and an interior door. There appears to be a defective area in the north west side of the two-storey house where there is a three foot by four foot hole in the roof that exposes the interior to the elements, which has damaged the ceiling, walls and floor in that area. This hole should be repaired as soon as possible so that further deterioration to the interior elements can be avoided.

One-storey Stone Smoke House: The one-storey stone smoke house appears to be in defective condition. The south and west stone walls have multiple vertical cracks along the entire wall and the north façade has mortar loss on the majority of the wall. The roof is in defective condition with rotted roof rafters, roof boards and shingles exposing the interior to the elements.



31. Upstairs hallway (ERA, 2019).



32. Evidence of defective roofing in southwest corner of the house (ERA, 2019).



33. Smokehouse structure requires rebuilding and repointing of walls(ERA, 2019).

3 OUTLINE OF THE DEVELOPMENT PROPOSAL

3.1 Description of Development Proposal

The redevelopment of the 189 acre Subject Site comprises a new subdivision containing 14 blocks of residential dwellings, including detached, semi-detached, and townhouse dwellings.

The draft plan of subdivision (refer to the April 14, 2010 Draft Plan of Subdivision prepared by KLM Planning Partners Inc., in Appendix 5) has since been approved and is now approaching full build-out. The plan proposed:

- » A total of approximately 838 units;
- » Eleven acres of parkland;
- » A public elementary school block;
- » A commercial block;
- » Stormwater management areas;
- » Natural areas of valley lands and woodlots; and
- » Twenty new interior roads to subdivide the Subject Site.

4 EXAMINATION OF CONSERVATION/MITIGATION OPTIONS

The City of Vaughan's Guidelines for Cultural Heritage Resource Impact Assessment Reports (2017) (Appendix 1) requires that **conservation** or mitigation options be considered, which include but are not limited to:

- » Avoidance Mitigation: Avoidance mitigation may allow development to proceed while retaining the cultural heritage resources in situ and intact. Avoidance strategies for heritage resources typically would require provisions for maintaining the integrity of the cultural heritage resource and to ensure it does not become structurally unsound or otherwise compromised. Feasible options for the adaptive reuse of built heritage structure or cultural heritage resources should be clearly outlined.
- Where conservation of the entire structure is not feasible, consideration may be given to the conservation of the heritage structure/resource in part, such as the main portion of a building without its rear, wing or ell addition.
- » Salvage Mitigation: In situations where cultural heritage resources are evaluated as being of minor significance or the preservation of the heritage resource in its original location is not considered feasible on reasonable and justifiable grounds, the relocation of a structure or (as a last resort) the salvaging of its architectural components may be considered.
 - » Historical Commemoration: While this option does not preserve the cultural heritage of a property/structure, historical commemoration by way of interpretive plaques, the incorporation of reproduced heritage architectural features in new development, or erecting a monument-like structure commemorating the history of the property, may be considered. **This option may be accompanied by the recording of the structure through photographs and measured drawings.**

[Reference: City of Vaughan's Guidelines for Cultural Heritage Resource Impact Assessment Reports, 2017].

4.1 980 Major Mackenzie Drive West, George Munshaw House, Assessment of Options

Three types of **conservation**/mitigation strategies were explored for the George Munshaw House.

A) Avoidance Mitigation - Rehabilitation of George Munshaw House in situ

The current location and position of the George Munshaw House on the Subject Site **is within lot 104 of the Subject Site along Fanning Mills Circle**. The Munshaw House **was moved here from its previous 1984 location**, as it **did** not fit into the configuration of streets and blocks within the draft plan of subdivision. **The rationale for its current location was to integrate** the house into the regular pattern of development, to allow for the most efficient plan.

The current location is the result of two previous relocations (refer to figure 10). Its current context, backing onto a natural heritage system and adjacent to larger scale single-detached houses is not ideal, as it does not reflect the historic rural character of the house.



35. George Munshaw House (east elevation) (ERA, 2019).



36. George Munshaw House (south elevation) on Lot 104 on Fanning Mills Circle (in pink), adjacent to newly constructed homes on the Subject Site (Google, 2018).

B) Salvage Mitigation - Relocation of George Munshaw House

Potential sites for relocation include: (1) Public Elementary School block within the Subject Site, (2) Off-site at Little Don Park, (3) on parkland within the Subject Site and (4) on a residential lot enveloped by naturalized open space adjacent to the Subject Site.

Location 1: Relocation within the Subject Site to the block allocated for public elementary school use would allow the building to be publicly accessible and community uses could be accommodated. This option would require consent from the local school board.



37. Location 1 | Relocation to nearby school site, shown in blue (York Region, 2018. Annotated by ERA, 2019).

Location 2: Relocation of the building away from the Subject Site to Little Don Park, near the south east corner of Major Mackenzie Drive West and Bathurst Street would return the house close to its original location. Relocation here would also allow for the house to be sited in a visible, publicly accessible site. This option would require the consent and cooperation of the City of Vaughan Parks Department.



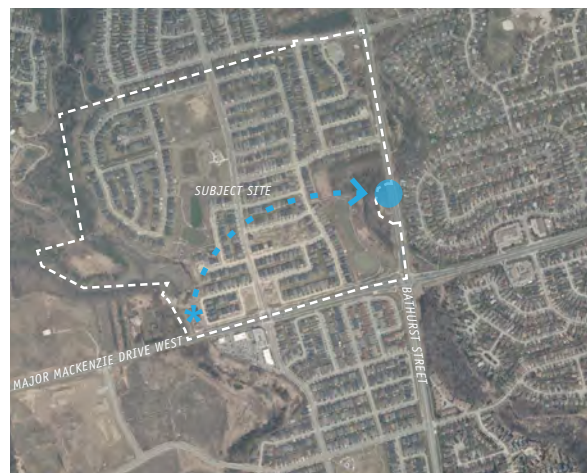
38. Location 2 | Relocation to Little Don Park, shown in blue (York Region, 2018. Annotated by ERA, 2019).

Location 3: Relocation within the proposed parkland offers the opportunity to position the house in a new location that allows for the development to occur and the building to become a community asset. This would require that the Parks Department make an exception as structures made from combustible materials are not permitted in parks.



39. Location 3 | Relocation to and integration into the proposed parkland as a potential new community building (York Region, 2018. Annotated by ERA, 2019).

Location 4: Relocation to an existing residential lot enveloped by naturalized open space adjacent to the southeast corner of the Subject Site. This would move the house closer to its original location along Bathurst Street, and provide a more appropriate landscaped setting, context and scale. This would require that the City and TRCA approve the siting plans.

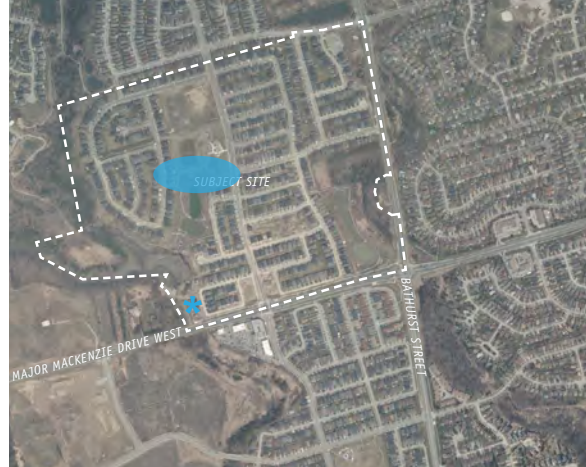


40. Location 4 | Relocation to and integration into a residential lot enveloped by a naturalized open space along Bathurst and adjacent to the Subject Site (York Region, 2018. Annotated by ERA, 2019).

C) Historical Commemoration

The demolition of the Munshaw House could be mitigated by providing a public amenity in the form of a shade structure in a new public park that is a model of the original house.

The balloon frame construction, arguably the most significant heritage attribute of the structure, is not visible when looking at the house since it is concealed within the frame of the house. In historically commemorating this house, the construction method can be revealed and made publicly visible.



41. Proposed commemoration zone, shown in blue (York Region, 2018. Annotated by ERA, 2019).

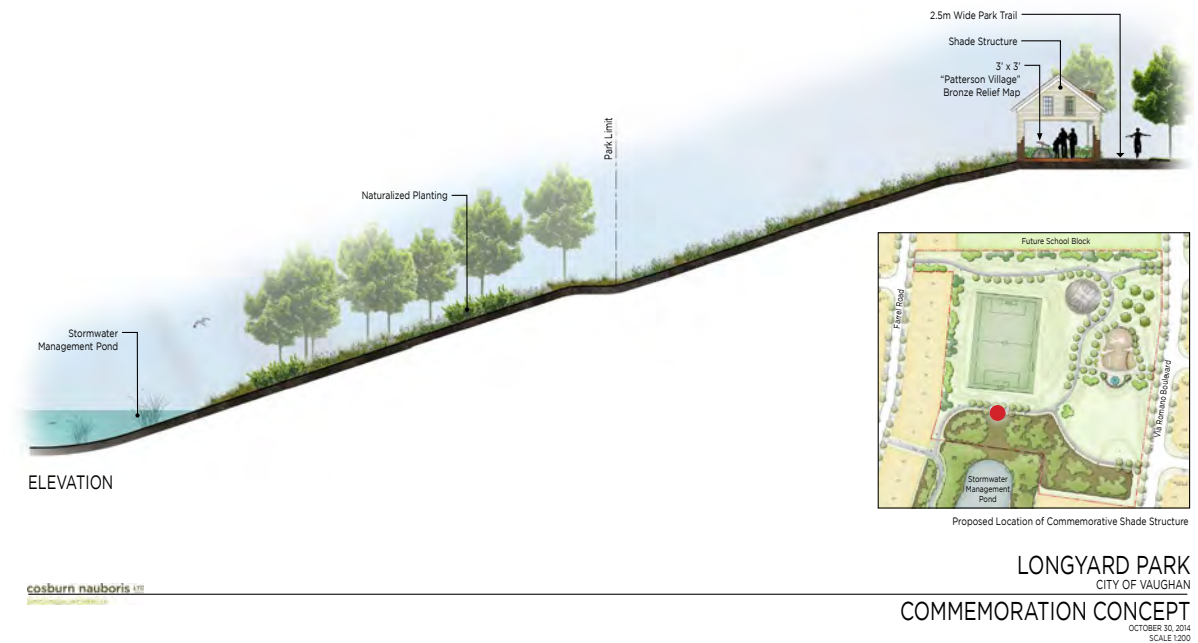
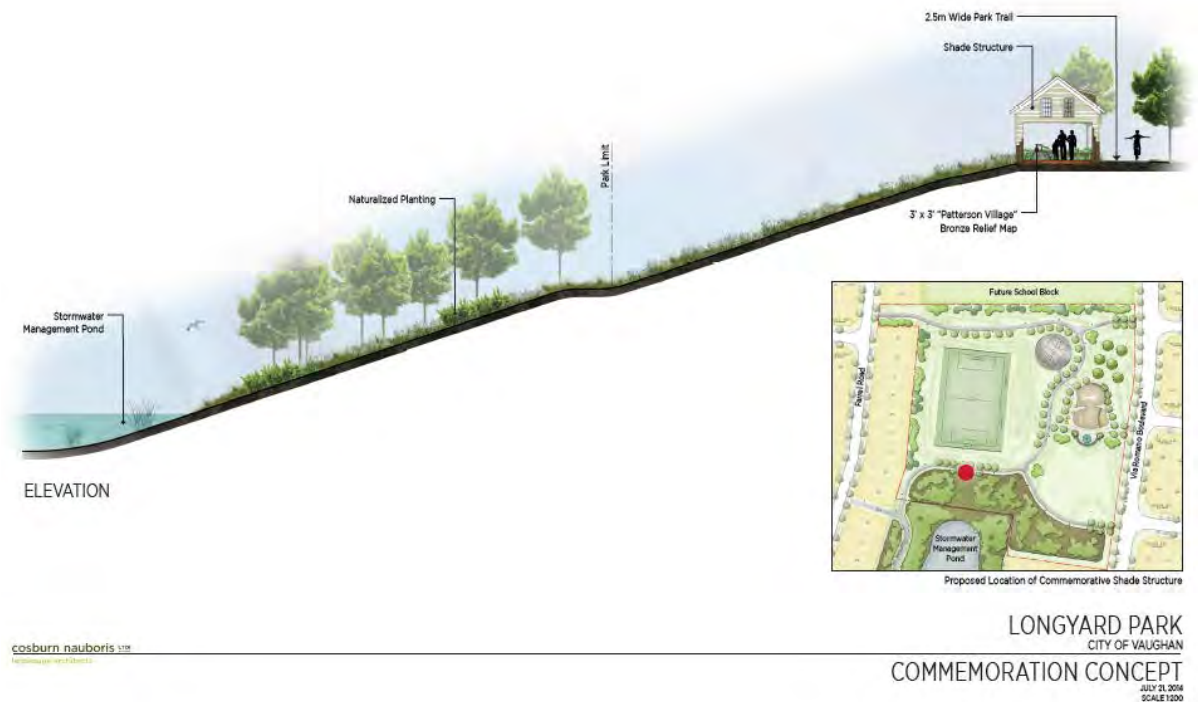
Figure 42, shows what the commemorative shade structure and other commemorative elements may look like.

The proposed design includes open walls with unobstructed views of 360 degrees due to the vertical supports (not posts) that mimic the framing method used in the Munshaw House. The historically referenced metal structure will use a wood texture finish. The significance of the special construction method will be described inside.

A plaque would be included to speak to the history of the Munshaw family and to describe the special construction oriented to overlook the original location of Patterson Village.

A commemorative plaque and bronze map of the original Patterson Village would also be located beneath the shade structure.

In order to meet the size requirements for structures in public parks, the shade structure will need to be scaled at 80% of the actual house. The structure will provide protection from the elements without compromising safety by maintaining clear sight lines within and outside the structure (see figure 42).



42. Commemoration concept originally proposed in the first HIA (Cosburn Nauboris Ltd).

4.2 10244 Bathurst Street, Bassingthwaite House, Assessment of Conservation Options

Three strategies for **conservation**/mitigation were explored for the Bassingthwaite House and are discussed below.

A) Avoidance Mitigation

As noted in the CHRIA, dated April 21, 2016, the siting, condition and architectural integrity of the house suggests it may be adapted for future uses within the proposed **Subject Site**. Interior work would be limited to ensure historic trim and other significant heritage features are conserved.

However, since the Longyard Subdivision has been constructed, Bassingthwaite House's current context and location adjacent to larger scale single-detached houses is proving to not be ideal, as it does not reflect the houses' historic rural character.



43. Bassingthwaite House main entry along eastern elevation (ERA, 2019).



44. Bassingthwaite House (west elevation) on Lot 35 along Keatley Drive (in pink), adjacent to newly constructed homes on the Subject Site (Google, 2018. Annotated by ERA, 2019).

As noted in the CHRIA, dated April 12, 2016, the size and configuration of the building may complicate relocation efforts. As such, relocation will require the removal of the 1980s addition, which will reveal the original massing of the building. No negative impacts are anticipated as a result of the removal of this 1980 addition.

B) Salvage Mitigation

Relocation of the Bassingthwaite House could provide a more appropriate setting for the house than its present location within the Longyard Subdivision.

All four relocation scenarios explored in the Salvage Mitigation options described for Munshaw House (discussed in Section 4.1) have also been considered for the relocation of Bassingthwaite House.

C) Historical Commemoration

The heritage value of the site is associated with the architectural design of the house. A commemoration strategy is not the most appropriate conservation approach, and will be unnecessary if the house is conserved.

4.3 Recommended Heritage Strategy

The recommended strategy for the Subject Site includes the relocation and adaptive reuse of both the George Munshaw House and the Bassingthwaite House.

The relocation of both houses will restore the buildings' original setting within naturalized open space. Their future adaptive reuse will increase the likelihood that the houses will remain occupied and protected against deterioration due to neglect. Future reuse is to be determined, and will be dependent on market demand. In the interim, before the houses are programmed, Bassingthwaite House will be used as a residence with the Munshaw House as its accessory structure.

The rehabilitation of both the Munshaw House and the Bassingthwaite House may include alterations/additions to accommodate their future uses and users. Any alterations or additions will be designed in a sensitive manner that is sympathetic to the heritage fabric.

These options were proposed to mitigate potential negative impacts of the development, while respecting the heritage attributes of the structures.

5 IMPACT ASSESSMENT

5.1 George Munshaw House

The following table identifies and assesses possible impacts of the proposal on cultural heritage resources. The possible impacts included here are as identified in the Ontario Heritage Tool Kit.

This table assumes that relocation and future conservation and adaptive reuse of the Munshaw House is the selected conservation strategy.

Issue	Assessment
Destruction of any, or part of any, significant heritage attributes or features	The proposed development does not involve demolition of any heritage attributes or features.
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance	<p>The structure has been relocated from its original location and context. It will be relocated for the third time to a naturalized open space adjacent to the Bassingthwaite House.</p> <p>The forthcoming Conservation Plan will describe work to relocate, stabilize and secure the house and future work to conserve the house's heritage attributes. Any future proposed addition will be designed to be compatible and subordinate to the heritage fabric, while ensuring that the structure meets market expectations in order to accommodate its future uses/users.</p>
Shadows created that alter the appearance of a heritage attribute, or change the viability of a natural feature or plantings, such as a garden	N/A
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	The structure has been relocated from its original location and context. The proposed relocation will restore the house's rural agricultural context by enveloping it with naturalized open space, thereby improving its relationship to its surroundings.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	No significant views or vistas have been identified in association with this structure.
A change in land use such as a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open space	The Longyard development changed the land use from open agricultural lands to suburban residential lands.
Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource	N/A

5.2 Bassingthwaite House

The following table identifies and assesses possible impacts of the proposal on cultural heritage resources. The possible impacts included here are as identified in the Ontario Heritage Tool Kit.

This table assumes that **relocation and future conservation and** adaptive reuse of the Bassingthwaite House is the selected conservation strategy.

Issue	Assessment
Destruction of any, or part of any, significant heritage attributes or features	The proposed relocation does not involve demolition of any heritage attributes or features.
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance	The structure will be relocated from its original location and context. It will be relocated to a naturalized open space adjacent to the Munshaw House. The forthcoming Conservation Plan will describe work to relocate, stabilize, and secure the house and future work to conserve the house's heritage attributes. Any future proposed alteration/addition will be designed to be compatible and subordinate to the heritage fabric, while ensuring that the structure meets market expectations in order to accommodate future uses/users.
Shadows created that alter the appearance of a heritage attribute, or change the viability of a natural feature or plantings, such as a garden	N/A
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	The rural agricultural context of the house was transformed into a suburban residential development. The proposed relocation will restore the house's rural agricultural context by enveloping it with naturalized open space, thereby improving its relationship to its surroundings.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	No significant views or vistas have been identified in association with this structure.
A change in land use such as a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open space	The Longyard development changed the land use from open agricultural lands to suburban residential lands.
Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource	N/A

6 CONCLUSION AND NEXT STEPS

The new subdivision on part of lots 21 and 22, Concession 2 in the City of Vaughan represents a balance between development and heritage conservation by relocating both of the heritage resources from their current locations within the lotting fabric of the Longyard Subdivision to an existing residential lot enveloped by naturalized open space along Bathurst Street.

The mitigation strategy recommended includes:

- » Relocation and future conservation and adaptive reuse of the George Munshaw House; and
- » Relocation and future conservation and adaptive reuse of the Basingthwaite House.

Conservation work for both properties will be outlined in future Conservation Plans, to be prepared as required by the City of Vaughan. Potential alterations and additions needed to rehabilitate the existing buildings for future uses/users are to be determined, and will be outlined as required by the City of Vaughan.

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Vaughan, City of. Extract From Council Meeting Minutes of June 25, 2013, Item 20, Report No. 28, of the Committee of the Whole, adopted without amendment by the Council of the City of Vaughan on June 25, 2013.

PROJECT PERSONNEL

Philip Evans

Philip Evans is a Principal at E.R.A Architects with experience in Toronto and the United Kingdom. From contemporary design to cultural and urban planning and heritage building conservation, he has worked on a range of projects within the education, residential, and museum sectors. His positive and professional approach to project management covers all phases of architectural projects, including building condition assessments, schematic and design development, preparation of contract drawings, obtaining building approvals, undertaking contract administration and building site review.

Janice Quieta

Janice Quieta is an associate with the heritage architecture team at ERA Architects. She received her Master of Architecture degree from Dalhousie University after completing a Bachelor of Architectural Science degree at Ryerson University. Her graduate thesis examined the feasibility of retrofitting post-war residential towers Toronto's St. Jamestown using a socially and ecologically sustainable program. She has studied and worked in Toronto, Halifax, Dusseldorf, and Koln and participated in a number of national and international design competitions in Canada and Germany.

Shelley Ludman

Shelley obtained her Master's in architecture at McGill University, where she studied the relationship of urban design to orientation, identity, and sense-of-place in the public realm. Her final design proposition investigated how architecture could be used to forge new spatial, circulatory, and programmatic relationships between Montreal's ground plane and its intricate network of below-grade pathways and connections.

This kind of hybrid spatial thinking is well suited to addressing the complexity of urban experience in both Toronto and Ontario, where development, planning, heritage conservation, and culture are in constant conversation.

Amy Calder

Amy Calder is a project manager and heritage planner with ERA Architects. She holds a Master of Arts (Planning) from the University of Waterloo, a Bachelor of Arts (Studio Arts & Art History) from the University of Guelph, and a Certificate in Digital Graphic Design from Humber College.

George Martin

George Martin was a heritage planner whose focus is the conservation and integration of heritage resources in site planning. Prior to joining ERA, George was involved in heritage projects in Vancouver and had worked for the Committee of Adjustment at the City of Toronto. He received his Masters of Science in Conservation from the University of Hong Kong after completing a Bachelor of Urban and Regional Planning at Ryerson University.

George completed professional training in cultural heritage landscapes at the Willowbank School of Restoration Arts. As a Heritage Planner, George has contributed to the Old City Hall Future Uses Study for Toronto's City Hall, planning initiatives for the renewal of Homewood Health Centre, City of Toronto's Tower Renewal Project, and the City of Kingston's Cultural Plan.

Zoe Chapin

Zoe Chapin is a planner with ERA Architects. She received a Bachelor of Arts with majors in Political Science & Geography Urban Systems and a Masters of Urban Planning from McGill University.

8 APPENDICES

Appendix 1: Guidelines for Cultural Heritage Resource Impact Assessment Reports (2017)



GUIDELINES FOR CULTURAL HERITAGE IMPACT ASSESSMENTS

Purpose

A Cultural Heritage Impact Assessment (CHIA) is a study to identify and evaluate built heritage resources and cultural landscapes in a given area (i.e. subject property) and to assess the impacts that may result from a proposed development or alteration on the cultural heritage value of a property. The Cultural Heritage Impact Assessment assists staff in the evaluation of development and heritage permit applications, including the determination of compliance with cultural heritage policies. A CHIA should:

1. Assess and describe the significance of a heritage resource and its heritage attributes. If the building or landscape is not considered significant, a rationale is outlined in the report by the qualified heritage specialist.
2. Identify the impacts of the proposed development or alteration on the heritage resource.
3. Recommended a conservation approach to best conserve the heritage resource and to avoid or mitigate negative impacts to the heritage resource within the context of the proposed development. This will be further developed through a Conservation Plan.



Guidelines for Cultural Heritage Impact Assessments
Updated February 2017
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Provincial and Municipal Heritage Policies

Planning Act

2. (d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;

Ontario Heritage Act

An application to alter or demolish a heritage resource shall be accompanied by the required plans as per Section 27 (5), Section 33 (2), Section 34 (1.1), and Section 42 (2.2)

Provincial Policy Statement 2014

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

The Vaughan Official Plan 2010 (VOP2010)

Chapter 6, Volume 1 of VOP2010 requires that a Cultural Heritage Impact Assessment be provided when there is potential for new development to affect a heritage resource.

Section 6.2.2.5

To require that, for an alteration, addition, demolition or removal of a designated heritage property, the applicant shall submit a Cultural Heritage Impact Assessment, as set out in this Plan and in the Vaughan Heritage Conservation Guidelines when:

- a. the proposed alteration or addition requires:
 - i. an Official Plan amendment;
 - ii. a Zoning By-law Amendment;
 - iii. a Block Plan approval;
 - iv. a Plan of Subdivision;
 - v. a minor variance;
 - vi. a Site Plan application; or
- b. the proposed demolition involves the demolition of a building in whole or part or the removal of a building or designated landscape feature.

Section 6.2.3.1

That when development is proposed on a property that is not designated under the Ontario Heritage Act but is listed on the Heritage register, recognized as a Cultural heritage character area or identified as having potential cultural heritage value, the applicant shall submit a Cultural heritage impact assessment when:

- a. the proposal requires an Official Plan amendment, a zoning by-law amendment, a plan of subdivision, a plan of condominium, a minor variance or a site plan application;
- b. the proposal involves the demolition of a building or the removal of a building or part thereof or a heritage landscape feature; or
- c. there is potential for adverse impact to a cultural heritage resource from the proposed 7



Section 6.2.3.2

That when development is proposed on a property adjacent to a property that is not designated under the Ontario Heritage Act but is listed on the Heritage register, recognized as Cultural heritage character area, or identified as having potential cultural heritage value:

- b. the applicant shall submit a Cultural heritage impact assessment if through the development approval process it is determined that there is the potential for adverse impact on the adjacent heritage resource from the proposed development.*

Section 6.2.4

Cultural heritage impact assessments may be required for many development activities on or adjacent to heritage resources.

Strategy for the Maintenance & Preservation of Significant Heritage Buildings

Approved by Council on June 27, 2005, Section 1.4 of the "Strategy" has the following provision as it relates to Cultural Heritage Impact Assessment requirements:

Policy provisions requiring Cultural Heritage Resource Impact Assessment reports by heritage property owners shall be included in the City's Official Plan and Official Plan Amendments. Cultural Heritage Resource Impact Assessment (CHRIA) reports will provide an assessment of the heritage site or property and the impact the proposed development will have on the heritage structure. CHRIA reports will also include preservation and mitigation measures for the heritage property.

A Cultural Heritage Impact Assessment should not be confused with an Archaeological Resource Assessment. A Cultural Heritage Impact Assessment will identify, evaluate and make recommendations on **built heritage resources and cultural landscapes**. An Archaeological Resource Assessment identifies, evaluates and makes recommendations on **archaeological resources**.

Good Heritage Conservation Practice

The Cultural Heritage Impact Assessment shall be conducted and based on good heritage conservation practice as per international, federal, provincial, and municipal statutes and guidelines. This includes (but is not limited to):

- Venice Charter 1964
- Appleton Charter 1983
- Burra Charter 1999
- ICOMOS Charter 2003
- Park Canada's Standards and Guidelines for the Conservation of Historic Places in Canada 2010
- Ministry of Tourism, Culture and Sport's Ontario Heritage Toolkit - Heritage Property Evaluation section
- Ministry of Tourism, Culture and Sport's Eight Guiding Principles in the Conservation of Built Heritage Properties 2007
- Applicable Heritage Conservation District Guidelines



Requirements of a Cultural Heritage Impact Assessment

The requirement of a Cultural Heritage Impact Assessment shall be identified and requested by Cultural Heritage staff in its review of development applications as circulated by the Vaughan Planning Department for comment. Notification of the requirement to undertake a Cultural Heritage Impact Assessment shall be given to a property owner and/or his/her representative as early in the development process as possible. Cultural Heritage staff will identify the known cultural heritage resources on a property that are of interest or concern.

The following items are considered the minimum required components of a Cultural Heritage Impact Assessment:

1. The hiring of a **qualified heritage specialist** to prepare the Cultural Heritage Impact Assessment. Refer to the Canadian Association of Heritage Professionals (CAHP) which lists members by their specialization (<http://www.caphc.ca>).
2. Applicant and owner **contact information**.
3. A **description of the property**, both built form and landscape features, and its context including nearby cultural heritage resources.
4. A **statement of cultural heritage value** if one does not already exist. Part IV individually designated properties will have statements provided in the existing City by-law. This statement shall be based on Ontario Regulation 9/06 – Criteria for Determining Cultural Heritage Value or Interest.
5. A chronological description of the **history of the property** to date and past owners, supported by archival and historical material.
6. A **development history** and **architectural evaluation** of the built cultural heritage resources found on the property, the site's physical features, and their heritage significance within the local context.
7. A **condition assessment** of the cultural heritage resources found on the property.
8. The **documentation** of all cultural heritage resources on the property by way of photographs (interior & exterior) and /or measured drawings, and by mapping the context and setting of the built heritage.
9. An **outline of the development proposal** for the lands in question and the potential impact, both adverse and beneficial, the proposed development will have on identified cultural heritage resources. A site plan drawing and tree inventory is required for this section.
10. A comprehensive examination of the following **conservation/ mitigation options** for cultural heritage resources. Each option should be explored with an explanation of its appropriateness. Recommendations that result from this examination should be based on the architectural and historical significance of the resources and their importance to the City of Vaughan's history, community, cultural landscape or streetscape. Options to be explored include (but are not limited to):



a) Avoidance Mitigation

Avoidance mitigation may allow development to proceed while retaining the cultural heritage resources in situ and intact. Avoidance strategies for heritage resources typically would require provisions for maintaining the integrity of the cultural heritage resource and to ensure it does not become structurally unsound or otherwise compromised. Feasible options for the adaptive re-use of built heritage structure or cultural heritage resources should be clearly outlined.

Where conservation of the entire structure is not feasible, consideration may be given to the conservation of the heritage structure/resource in part, such as the main portion of a building without its rear, wing or ell addition.

b) Salvage Mitigation

In situations where cultural heritage resources are evaluated as being of minor significance or the conservation of the heritage resource in its original location is not considered feasible on reasonable and justifiable grounds, the relocation of a structure or (as a last resort) the salvaging of its architectural components may be considered. This option is often accompanied by the recording of the structure through photographs and measured drawings.

c) Historical Commemoration

While this option does not conserve the cultural heritage of a property/structure, historical commemoration by way of interpretive plaques, the incorporation of reproduced heritage architectural features in new development, or erecting a monument-like structure commemorating the history of the property, may be considered. This option may be accompanied by the recording of the structure through photographs and measured drawings.

Review/Approval Process

Two (2) hard copies and two (2) digital copies of the Cultural Heritage Impact Assessment shall be distributed to the City of Vaughan: One hard copy and one digital copy to the Development Planning Department and one hard copy and one digital copy to the Urban Design and Cultural Heritage Division within the Development Planning Department.

Staff will determine whether the minimum requirements of the Cultural Heritage Impact Assessment have been met and review the conclusions and recommendations outlined in the subject report. Revisions and amendments to the Cultural Heritage Impact Assessment will be required if the guidelines are not met. City staff will meet with the owner/applicant to discuss the Cultural Heritage Impact Assessment and recommendations contained therein.

The preparation and submission of a Cultural Heritage Impact Assessment may be a required condition of approval for development applications and draft plan of subdivision applications.

Any questions or comments relating to these guidelines may be directed to the Urban Design and Cultural Heritage Division, Development Planning Department, City of Vaughan.



[Français](#)

ONTARIO REGULATION 9/06

made under the

ONTARIO HERITAGE ACT

Made: December 7, 2005

Filed: January 25, 2006

Published on e-Laws: January 26, 2006

Printed in *The Ontario Gazette*: February 11, 2006

CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST

Criteria

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act.

(2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

Transition

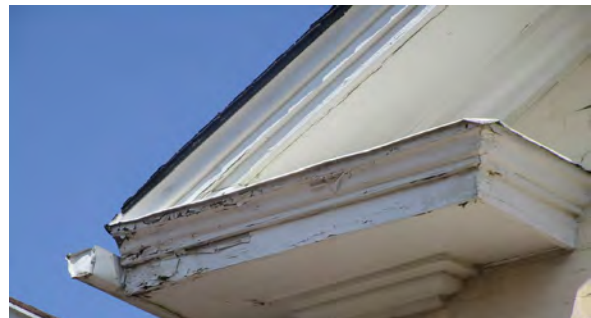
2. This Regulation does not apply in respect of a property if notice of intention to designate it was given under subsection 29 (1.1) of the Act on or before January 24, 2006.

Appendix 3: Site Photographic Documentation (ERA, 2019)

980 Major Mackenzie Drive West // George Munshaw House: Exterior



10244 Bathurst Street // Bassingthwaite House: Exterior



10244 Bathurst Street // Bassingthwaite House: Interior & Smoke House



Appendix 4: City of Vaughan By-law No. 403-87

THE CORPORATION OF THE TOWN OF VAUGHAN

BY-LAW NUMBER 403-87

A By-law to designate the George Munshaw House located on the property known municipally as 980 Major Mackenzie Drive, Patterson, in the Town of Vaughan, Regional Municipality of York as being of architectural value or interest.

WHEREAS Section 29 of the Ontario Heritage Act, R.S.O. 1980, authorizes the Council of a municipality to enact by-laws to designate real property, including all buildings and structures thereon, to be of architectural and/or historic value or interest; and,

WHEREAS the Council of the Corporation of the Town of Vaughan has caused to be served on the owners of the lands and premises known as the George Munshaw House, 980 Major Mackenzie Drive, Patterson, being Part of Lot 21, Concession 2, in the Town of Vaughan, in the Regional Municipality of York, more particularly described in Schedule "A" attached hereto; and upon the Ontario Heritage Foundation, notice of intention to designate the aforesaid real property and has caused such notice of intention to be published in a newspaper having general circulation in the municipality once for each of three consecutive weeks; and,

WHEREAS no notice of objection to the proposed designation has been served on the Clerk of the Municipality:

NOW THEREFORE the Council of the Corporation of the Town of Vaughan ENACTS AS FOLLOWS:

1. There is designated as being of architectural value or interest the building known as the George Munshaw House, situated at 980 Major Mackenzie Drive, Patterson, being Part of Lot 21, Concession 2, in the Town of Vaughan, in the Regional Municipality of York, more particularly described in Schedule "A" attached hereto.
2. The reasons for designation are set out in Schedule "B" attached hereto.

3. The Town Solicitor is hereby authorized to cause a copy of this By-law to be registered against the property described in Schedule "A", attached hereto, in the proper land registry office.
4. The Town Clerk is hereby authorized to cause a copy of this By-law to be served on the Owner of the aforesaid property and on the Ontario Heritage Foundation and to cause notice of the passing of this by-law to be published in the same newspaper in which notice of intention to so designate was published once of each of three consecutive weeks.

READ a FIRST and SECOND time this 16th day of November, 1987.

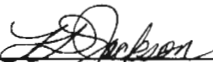


L. D. Jackson, Mayor




R. A. [illegible], Town Clerk

READ a THIRD time and finally passed this 16th day of November, 1987.



L. D. Jackson, Mayor



R. A. [illegible], Town Clerk

THE GEORGE MUNSHAW HOUSE

Property: The George Munshaw House

Address: 980 Major Mackenzie Drive
Part of Lots 21 and 22,
Concession 2,
Maple, Town of Vaughan

Previous Location: Lot 44, Concession 1
N.W. 1/2

Original Owner: George Munshaw

Construction Date: c.1825-1850

Reason for
Designation: Designation is recommended for the George Munshaw House for its architectural significance in that it is representative of the transitional period from early post and beam construction to balloon frame construction (1825-1850). Its construction is also unique as it has no posts supporting its frame, but has vertical plank sheathing as the frame support.

It is believed that George Munshaw Sr. constructed the house situated on his property, Lot 44, Concession 1. The building was relocated to its present site in 1985. George Munshaw Sr.'s father, Balsor Munshaw was one of the first founding settlers of what is today Markham.

George Munshaw Jr. inherited from his father, the west 40 acres of the north half of Lot 44, Concession 1, the original location of the Munshaw House.

George Munshaw Jr. was a bachelor and lived, according to the 1871 Census, on Lot 44, Concession 1, with his other brother Thomas, also a bachelor, and his mother Hannah. Hannah Munshaw died c. 1896. Thomas Munshaw died on May 19, 1916 at the age of 86. George Munshaw died of "old age" a year later on July 31, 1917, at the age of 85.

ARCHITECTURAL ASSESSMENT

The Munshaw House is a one and a half storey vertical plank structure with a medium pitch gable roof. There is a one storey addition also of vertical plank construction, located to the south.

The house originally had a stone mortar foundation. This was replaced when the house was relocated to its present site in 1984. The exterior of the house is covered with horizontal clapboard.

The main entrance is located on the gable wall of the north elevation. The structural opening is flat in shape with a panel of lights on both sides. Two plain trim, sashed windows with a 6/6 pane arrangement are located on the first storey of the facade. Two similar windows are located on the facade's upper storey.

Two plain trim, sashed windows with a 6/6 pane arrangement are located on the first storey of the west elevation. Two similar windows with 6/6 pane arrangement are situated on the first storey of the east elevation. A shed dormer is centrally located on the structure's east elevation. A sashed window with a 3/6 pane arrangement is located in the dormer.

The south elevation of the main structure has a plain trim sashed window with a 6/6 pane arrangement. A similar window lies just above on the second storey opposite a casement window with a 9 pane arrangement.

The rear addition has two entrances located on opposite ends of the west elevation. A plain trim sashed window with a 6/6 pane arrangement is situated between the two doorways.

The east elevation of the addition has a sashed window with a 3/6 pane arrangement. The addition's south elevation has a sashed window with a 6/6 pane arrangement.

The roof is covered with cedar shingles. A chimney is centrally located along the roofline of the main structure. There is a second chimney at the rear of the addition. The roof has extended eaves with a plain fascia and soffit.

The frame of the house is unique in that it has vertical plank sheathing as the frame support. The structure resembles post and beam construction except that the posts are replaced by vertical planks. This type of construction was used between 1825 - 1850 during the transition from early post and beam construction to balloon framing.¹ The method of construction used to build the Munshaw House resembles balloon framing, in that the vertical supports press beside the horizontal supports and not underneath them. The horizontal beams are held up by spikes driven through the planks. This method of construction was more economical than post and beam, as it eliminated the posts and the complicated joinery.

Designation is recommended for the Munshaw House for its architectural significance in that it is representative of the transitional period from early post and beam construction to balloon frame construction (1825-1850). Its construction is also unique as it has no posts supporting its frame, but has vertical plank sheathing as the frame support.

It is believed that George Munshaw Sr. constructed the house situated on his then property, Lot 44, Concession 1. George Munshaw Sr.'s father, Balsor Munshaw was one of the first founding settlers of what is today Richmond Hill.

¹Note: A similar frame construction to the Munshaw House is a house at Moulinette, Ontario, near the Quebec border dated 1825. The Moulinette house was demolished to make way for the St. Lawrence Seaway. For details see John I. Rempel, Building with Wood, (Toronto: University of Toronto Press, 1967) p. 124.



Date: September 11, 2019 **Sent by:** EMAIL
To: Michael Pozzebon
 Longyard Properties Inc.
 30 Floral Parkway, Suite 300
 Concord, ON, L4K 4R1
Subject: **RE: 980 Major Mackenzie Drive West, Munshaw House —
 Addendum to Conservation Plan Phase 1: Relocation**

Dear Michael,

This document is an addendum to the Conservation Plan Phase 1: Relocation (“CP”) prepared by E.R.A. Architects Inc. (“ERA”), dated October 28, 2015, for 980 Major Mackenzie Drive West (“Munshaw House”), revised on July 21, 2016 and issued to the City of Vaughan. This addendum outlines a new proposed conservation strategy for the Munshaw House, and builds on and amends sections of the existing CP, including: Section 2: Condition Assessment; Section 3: Conservation Plan; Section 4: Conservation Cost Estimate; and Appendix 1: Conservation Plan Drawings.

Background

The CP followed a Heritage Impact Assessment (“HIA”) by ERA, dated October 30, 2014 and revised April 12, 2016 in consultation with Heritage Staff, which sought to stabilize, temporarily relocate and mothball the structure for eventual rehabilitation. Since the HIA was submitted and approved by the City of Vaughan in 2016, the Munshaw House was stabilized, relocated from its former location (municipally known as 980 Major Mackenzie Drive West) within the Longyard Subdivision, 19T-03V13-Phase 2 to Lot 104 on Fanning Mills Circle, abutting Major Mackenzie Drive West, and mothballed.

The Munshaw House consists of a one-and-a-half-storey structure with a one-storey rear addition built c. 1825-1850. It was moved from its original site in Richmond Hill at Lot 44 Concession 2 to 980 Major Mackenzie Drive West in 1984, and then to its present location between 2016 and 2017.

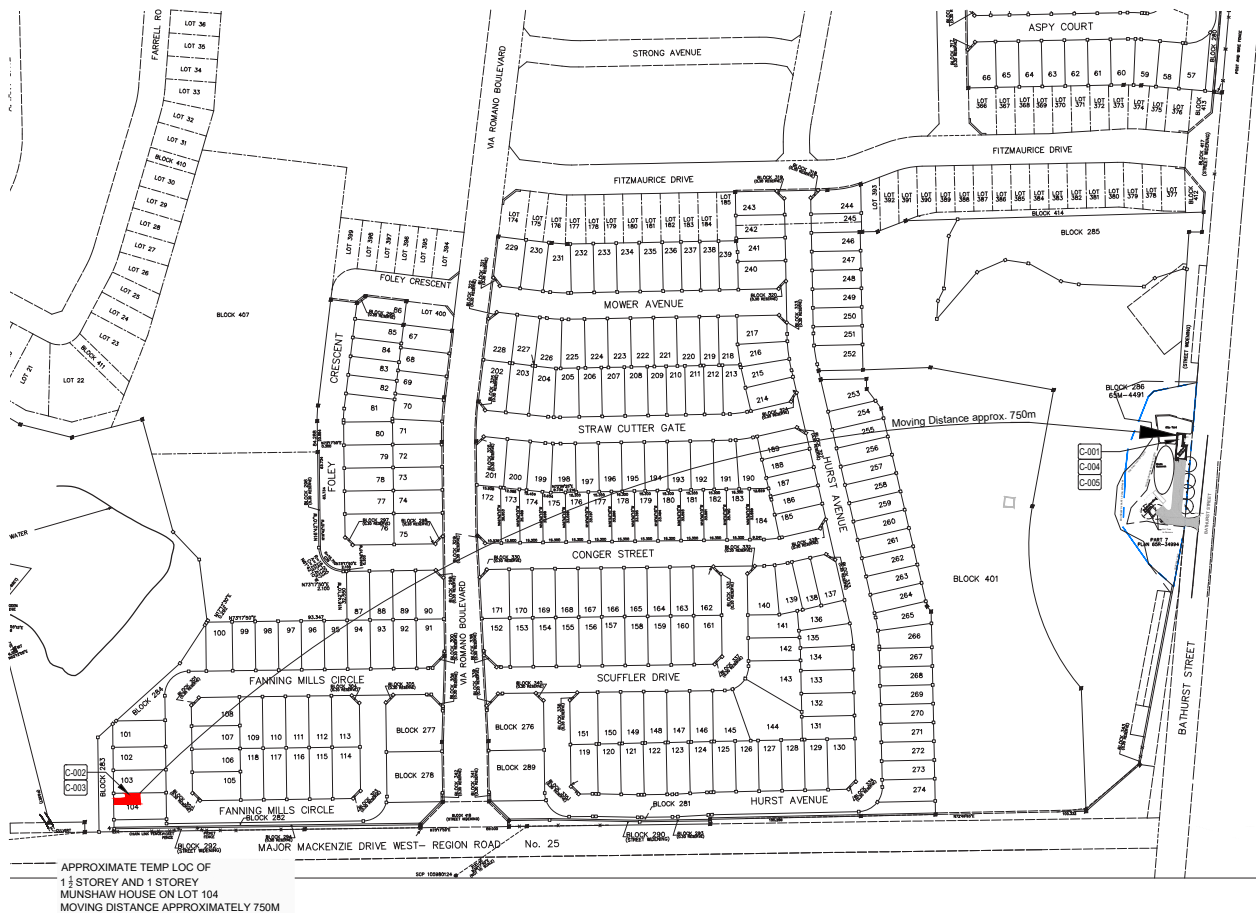
This addendum outlines a new proposed conservation strategy for Munshaw House that includes relocation to a permanent foundation on a new property. Exterior and interior conservation works and adaptive reuse will be part of a future scope. In the interim, before it is programmed, Munshaw house will serve as an accessory structure to the Bassingthwaite House, a local heritage resource to be relocated to the same property. When a future use is determined, and a proposal for rehabilitation is developed, planning permissions and Heritage Permits will be required for any further work.

ERA has developed the conservation strategy with respect to the Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada*, and the Ministry of Culture’s *Ontario Heritage Tool Kit* procedures, and the *Burra Charter for the Protection and Enhancement of the Built Environment*. The conservation work described in this CP addendum will be executed by specialist sub-contractors with a minimum of 5 years experience in working with heritage structures. The work will be reviewed on site by the architect, heritage consultant and the City of Vaughan’s heritage staff for general conformance with heritage guidelines and conservation notes described in this addendum.

A Letter of Credit to secure the dollar value of conservation work of the heritage elements identified in this Conservation Plan will be provided under separate cover. Upon adequate review and completion of the conservation work by the Heritage Consultant, the Letter of Credit amount will be released back to the client.

Scope of the Report

This report addresses the conservation work needed to relocate and stabilize the Munshaw House in accordance with the City of Vaughan's requirements. Future exterior conservation is detailed in the "Conservation Notes" section of this document (Notes 1-000 onwards), noting that these are future works. It does not include instruction for rehabilitation of the existing one-and-a-half-storey building and one-storey rear addition of the Munshaw House, including future interior conservation and additions or alterations. A supplemental Heritage Permit will be required for future work.



Site plan drawing (HA001) showing the relocation of Munshaw House from its current position (in red) approximately 750 metres to its proposed location at the municipal address of 10090 Bathurst Street (ERA, 2019).

SECTION 2: CONDITION ASSESSMENT

ERA performed a visual inspection of the property on July 25, 2019. All inspections were carried out from grade. Inspections were limited to visible exterior envelope features such as the masonry, woodwork, windows and doors, flashings and rainwater management systems (eavestroughs and downspouts). The interior was accessible during the inspection. No close up “hands on” inspections were carried out using scaffolding or a lift, and the roof areas on all the buildings were not accessible at the time of the inspection.

Overall, the Munshaw house is in fair to poor condition with areas of defective condition. It is currently sitting on temporary structure — steel beams and wood cribs. The area at the seam of the one-and-a-half-storey building and one-storey addition appears to be in poor condition and is bowing in this location. This section should be repaired and leveled as soon as possible to prevent further deterioration to the structure.

2.1 Exterior Condition

The wood siding appears to be in poor to fair condition with some areas of rot and deterioration and paint flaking and peeling. There also appears to be some defective areas at the base of the one-storey addition where there is missing wood siding.

The exterior wood work appears to be in fair condition with some areas of the roof fascia and soffit boards showing paint flaking and peeling.

The eavestroughs and downspouts appear to be in fair condition with some areas of warping. The eavestroughs and downspouts on the north side of the one-storey addition is missing. The cedar shingle roof appears to be in poor condition with areas of missing shingles, deterioration and warping. The roof flashing appears to be in fair condition.

The brick chimneys appear to be in fair condition with some environmental staining at the peaks.

All the existing doors and windows are boarded up from the exterior, and so these items could not be reviewed.

Definition of Terms

The building components were graded using the following assessment system:

Excellent: Superior aging performance. Functioning as intended; no deterioration observed.

Good: Normal Result. Functioning as intended; normal deterioration observed; no maintenance anticipated within the next five years.

Fair: Functioning as intended. Normal deterioration and minor distress observed; maintenance will be required within the next three to five years to maintain functionality.

Poor: Not functioning as intended; significant deterioration and distress observed; maintenance and some repair required within the next year to restore functionality.

Defective: Not functioning as intended; significant deterioration and major distress observed, possible damage to support structure; may present a risk; must be dealt with immediately.

The following site photos depict the current condition of the Munshaw House.



Eastern facade of the Munshaw House (ERA, 2019).



Western facade of the Munshaw House (ERA, 2019).



Southern facade of the Munshaw House (ERA, 2019).



Northern facade of the Munshaw House (ERA, 2019).

SECTION 3: CONSERVATION PLAN

3.1 Conservation Strategy Objectives

This CP addendum seeks to ensure the responsible treatment of the character-defining elements of the Munshaw House throughout stabilization and relocation, as well as future work related to exterior and interior conservation. Munshaw House's reasons for designation include:

Designation is recommended for the George Munshaw House for its architectural significance in that it is representative of the transitional period from early post and beam construction to balloon frame construction (1825-1850). Its construction is also unique as it has no posts supporting its frame, but has vertical plank sheathing as the frame support.

It is believed that George Munshaw Sr constructed the house situated on his property, Lot 44, Concession 1. The building was relocated to its present site in 1985. George Munshaw Sr.'s father, Balsor Munshaw was one of the first founding settlers of what is today Markham (City of Vaughan By-law 403-87).

From the reasons for designation, we conclude that the main character-defining element to be conserved through conservation work is the construction of the house's structure.

3.2 Overview of Conservation Scope

The proposed conservation scope aims to stabilize the Munshaw House, which is currently on temporary footings, and relocate it to a permanent foundation on a new property. In the interim, until the it is programmed for future use, Munshaw House will serve as an accessory building to the residential Bassingthwaite House. The conservation scope of work is as follows:

- Stabilization and relocation of the one-and-a-half-storey building with one-storey rear addition of the Munshaw House (*stabilization of the structure is to be confirmed by Danco House Raising and Moving prior to relocation*).

Exterior conservation work is outside of the current project scope; however, the 'Conservation Notes' (C-100 items only) provided within this report describe the work to be undertaken in future.

Conservation:

all actions or processes that are aimed at safeguarding the character-defining elements of an historic place so as to retain its heritage value and extend its physical life. This may involve Preservation, Rehabilitation, Restoration, or a combination of these actions or processes.

Preservation:

the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of an historic place, or of an individual component, while protecting its heritage value.

Rehabilitation:

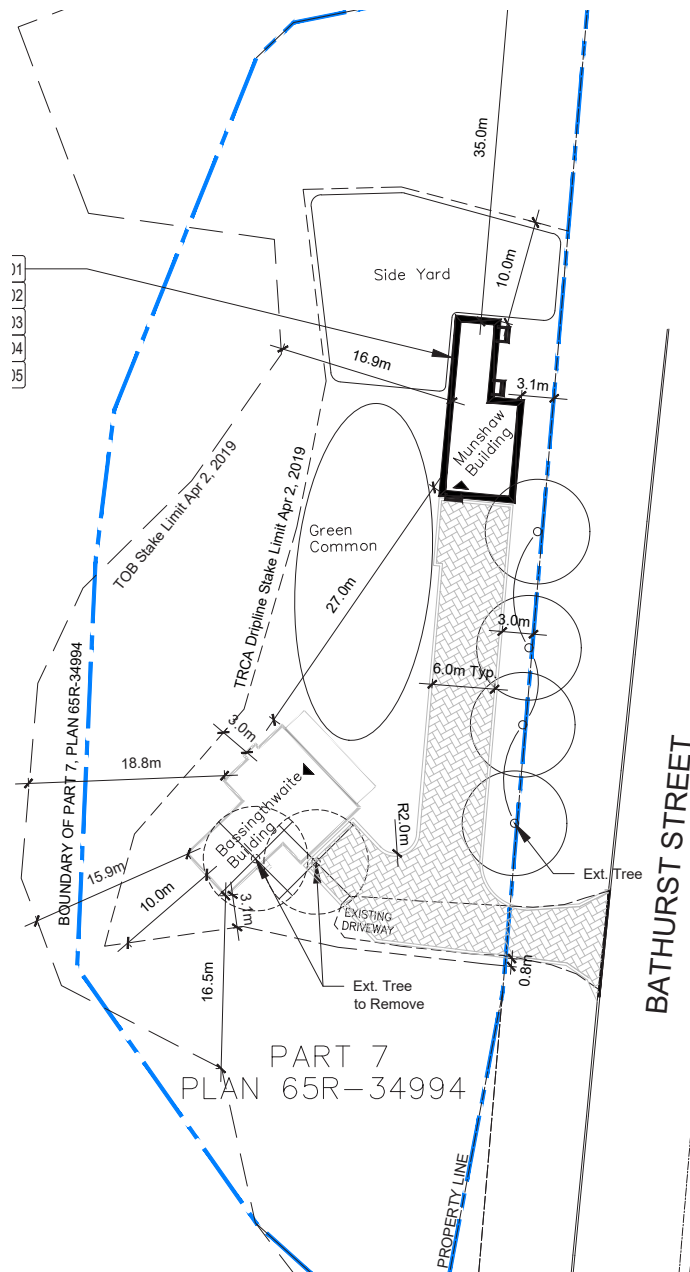
the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.

Restoration:

the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Source: Standards and Guidelines for the Conservation of Historic Places in Canada (2nd Ed, Glossary)

The dwelling is proposed to be relocated to 10090 Bathurst Street (the “Proposed Site”), a residential lot enveloped by naturalized open space, adjacent to another local heritage resource, Basingthwaite House. Both houses are to be situated within the staked top of bank and dripline limits established by the TRCA. The proposed setting will provide a more appropriate context and scale for the heritage resources. The Proposed Site’s context includes naturalized areas and landscaped open green spaces, and a tree line buffer between the adjacent roadway. Its location along Bathurst Street affords a visual prominence that the dwellings are presently lacking in their current locations within the Longyard Subdivision.



(Above) 1978 Aerial photograph showing the original Munshaw Farmstead and House, and its orientation toward Bathurst Street (York Region, 2019).

(Left) Proposed site plan for the relocation of Munshaw House (ERA, 2019).

The following site photographs depict the Proposed Site.



Proposed Site from Bathurst Street-view north west (ERA, 2019).



Existing vegetation on the Proposed Site (ERA, 2019).



Existing driveway entry to the Proposed Site. View east towards residential properties opposite Bathurst Street (ERA, 2019).

3.3 Relocation

The following methodology for relocating Munshaw House was provided by Danco House Raising and Moving.

- Reload the Munshaw House onto hydraulic dollies;
- Set a bunk at the front of the house to ensure the house is supported by three points and will not be damaged; and
- Move the Munshaw House to the Proposed Site.

3.4 Future Work: Rehabilitation for Occupied Use

In future, conservation work involving the repair and upgrade of the heritage resource, and adaptive reuse will be undertaken to rehabilitate Munshaw House to accommodate new uses. As a part of future rehabilitation, consideration can be given to retaining the existing interior wood floors and staircase and providing a grander entrance to Munshaw House such as a porch or verandah. However, rehabilitation and use-dependent work cannot commence until a new use is confirmed, and proposed work is approved by the City of Vaughan.

The proposed use for the Bassingthwaite House and Munshaw House upon relocation is a residence with an accessory structure, respectively. The ultimate use of Munshaw House will be confirmed in consultation with the future owner(s)/user(s) of the Proposed Site. On confirmation, a proposal for rehabilitation will need to be developed and submitted to the City of Vaughan. This proposal will provide greater detail regarding any required alterations or additions to the heritage resources, as well as site landscaping to create a buffer between the house and adjacent roadways. Heritage Permits and other planning permissions will be required for any further work.

The following conservation notes correspond with the conservation drawings attached as Appendix I. Notes C-100 to C-113 detail future exterior conservation work.

CONSERVATION NOTES

C-000 HOUSE RELOCATION

- C-001: RETAIN EXISTING 1-1/2-STORY AND 1-STORY MUNSHAW HOUSE AND RELOCATE TO NEW LOT.
- C-002: STABILIZE EXISTING FRAMING OF BOTH 1-1/2-STORY AND 1-STORY HOUSE BEFORE RELOCATION.
- C-003: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.
- C-004: ENSURE NEW SITE AND GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED TO THE NEW LOCATION.
- C-005: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

C-100 CONSERVATION WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

- C-101: REMOVE EXISTING CEDAR SHINGLE ROOF AND DORMER WALLS AND REPLACE WITH NEW CEDAR SHINGLES TO MATCH EXISTING.
- C-102: REMOVE EXISTING ROOF VENTS AND REPLACE WITH NEW ROOF VENTS AS REQUIRED.
- C-103: REMOVE ALL EXISTING METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS AND PROVIDE NEW TO MATCH EXISTING.
- C-104: SCRAPE CLEAN, PRIME AND PAINT ALL EXTERIOR WOOD SIDING (TYP.)
- C-105: MAKE GOOD SIDING TO MATCH EXISTING.
- C-106: SCRAPE CLEAN, PRIME AND PAINT ALL EXTERIOR WOODWORK (TYP.)
- C-107: INSTALL NEW WOOD SIDING TO MATCH EXISTING, AS REQUIRED.
- C-108: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES (TYP.)
- C-109: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE AND STORM DOOR.
- C-110: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOORS.
- C-111: CONSTRUCT NEW FOUNDATION WALL FACING MATERIAL WITH SALVAGED STONE FROM BASSINGTHWAITE SMOKEHOUSE.
- C-112: CLEAN EXISTING BRICK CHIMNEYS.
- C-113: CONSTRUCT NEW STAIRS.

SECTION 4: CONSERVATION COST ESTIMATE

A Letter of Credit to secure the dollar value of conservation work of the heritage elements identified in this Conservation Plan will be provided under separate cover.

CONCLUSION

This addendum finds that the heritage resource, Munshaw House, will be appropriately conserved by the conservation work detailed in this document. The proposed conservation scope of work includes stabilization and relocation of the one-and-a-half-storey structure with one-storey rear addition of the Munshaw House to a permanent location on a foundation. Future exterior conservation work will be executed as a part of a later scope, along with necessary interior alterations and/or additions necessary to accommodate future use. In the interim, before the house is programmed, the Munshaw House will be used as an accessory structure to the residential Bassingthwaite House.

ERA and the project team will continue to coordinate with the City of Vaughan and the TRCA throughout the design development process. Should further information be required, please feel free to contact us for clarification.

Sincerely,



Philip Evans
Partner, ERA Architects Inc.

SECTION 6: APPENDICES

APPENDIX I - CONSERVATION PLAN DRAWINGS BY ERA ARCHITECTS, 2019

CONSERVATION NOTES:

C-000 HOUSE RELOCATION

C-001: RETAIN EXISTING 1 1/2 STOREY AND 1 STOREY MUNSHAW HOUSE AND RELOCATE TO NEW LOT.

C-002: STABILIZE EXISTING FRAMING OF BOTH 1 1/2-STOREY AND 1-STOREY HOUSE BEFORE RELOCATION.

C-003: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

C-004: ENSURE NEW SITE AND GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED TO THE NEW LOCATION.

C-005: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

C-100 CONSERVATION WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

C-101: REMOVE EXISTING CEDAR SHINGLE ROOF AND DORMER WALLS AND REPLACE WITH NEW CEDAR SHINGLES TO MATCH EXISTING.

C-102: REMOVE EXISTING ROOF VENTS AND REPLACE WITH NEW ROOF VENTS AS REQUIRED.

C-103: REMOVE ALL EXISTING METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS AND PROVIDE NEW TO MATCH EXISTING.

C-104: SCRAPE CLEAN, PRIME AND PAINT ALL EXTERIOR WOOD SIDING (TYP.)

C-105: MAKE GOOD SIDING TO MATCH EXISTING.

C-106: SCRAPE CLEAN, PRIME AND PAINT ALL EXTERIOR WOODWORK (TYP.)

C-107: INSTALL NEW WOOD SIDING TO MATCH EXISTING, AS REQUIRED.

C-108: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES (TYP.)

C-109: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE AND STORM DOOR.

C-110: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOORS.

C-111: CONSTRUCT NEW FOUNDATION WALL FACING MATERIAL WITH SALVAGED STONE.

C-112: CLEAN EXISTING BRICK CHIMNEYS.

C-113: CONSTRUCT NEW STAIRS

NOTE:

ANY BUILDING PERMITS REQUIRED TO COMPLETE THIS WORK WILL BE PROVIDED BY THE CLIENT AND DANCO'S ENGINEERS.

DRAWINGS LIST

HERITAGE ARCHITECT

COVER PAGE & CONSERVATION NOTES	HA000
SITE PLAN RELOCATION	HA001
SITE PLAN AT NEW LOCATION	HA002
EXISTING BASEMENT AND GROUND FLOOR PLANS	HA003
EXISTING SECOND AND ROOF FLOOR PLANS	HA004
EXISTING EAST AND WEST ELEVATIONS	HA005
EXISTING SOUTH AND NORTH ELEVATIONS	HA006
PROPOSED BASEMENT AND GROUND FLOOR PLANS	HA007
PROPOSED SECOND AND ROOF FLOOR PLANS	HA008
PROPOSED EAST AND WEST ELEVATIONS	HA009
PROPOSED SOUTH AND NORTH ELEVATIONS	HA010

This drawing is the property of E.R.A. Architects Inc. and may not be used or reproduced without expressed approval. Refer to Engineering drawings before proceeding with work. The Contractor shall verify all dimensions and levels on site and report any discrepancies to E.R.A. before beginning work. Do not scale from the drawings. Use figured dimensions only. The Contractor is responsible for any changes made to the drawings without E.R.A.'s approval.

NO.	DATE	REVISION / ISSUANCE
1	2019-08-21	CONSERVATION PLAN - DRAFT
2	2019-09-11	CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND

E R A

info@eraarch.ca | www.eraarch.ca

T 416.963.4497 | F 416.963.8761

625 Church Street, Suite 600

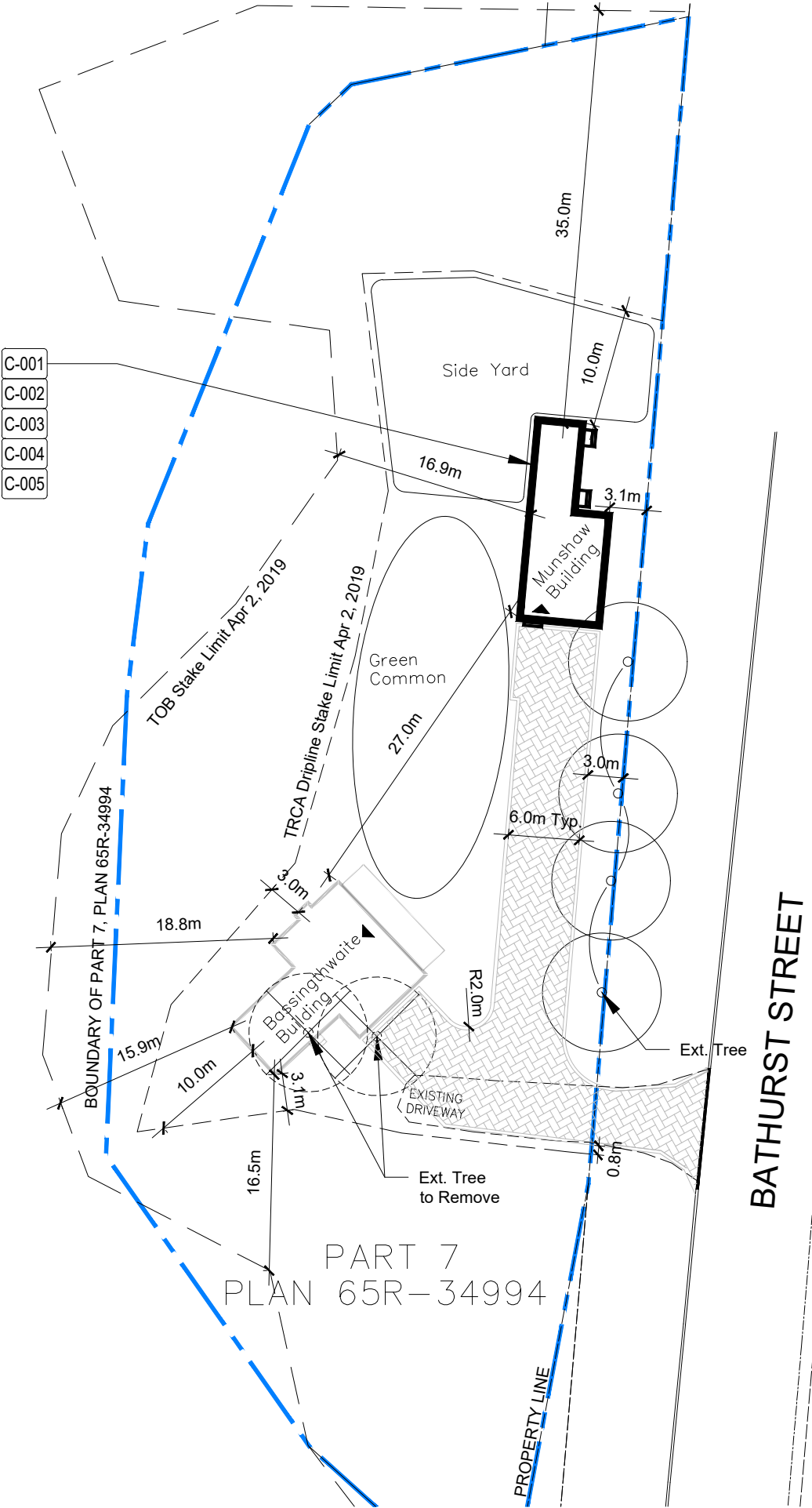
Toronto, ON, Canada, M4Y 2G1

E.R.A. Architects Inc.

Project	GEORGE MUNSHAW HOUSE CP
Address	980 MAJOR MACKENZIE DR., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	JQ
Reviewed by	JQ
Drawing title	

COVER PAGE & CONSERVATION NOTES

Sheet no.	HA000
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- C-001
- C-002
- C-003
- C-004
- C-005

PART 7
PLAN 65R-34994

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2	2019-09-11	CONSERVATION PLAN

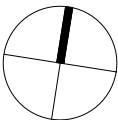
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For	DG GROUP	
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Scale at 11x17	1 : 500	
Drawn by	SC	
Reviewed by	JQ	
Drawing title	SITE PLAN AT NEW LOCATION	

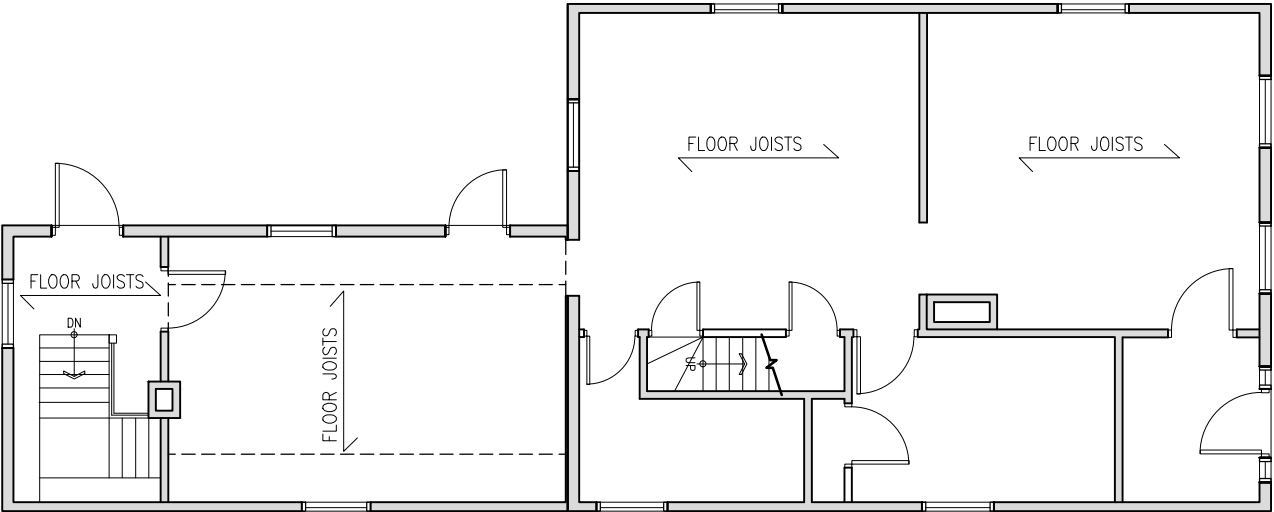
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HA002

LEGEND

EXISTING HERITAGE FABRIC

TEMPORARY FOUNDATION,
STEEL BEAMS & WOOD CRIBS

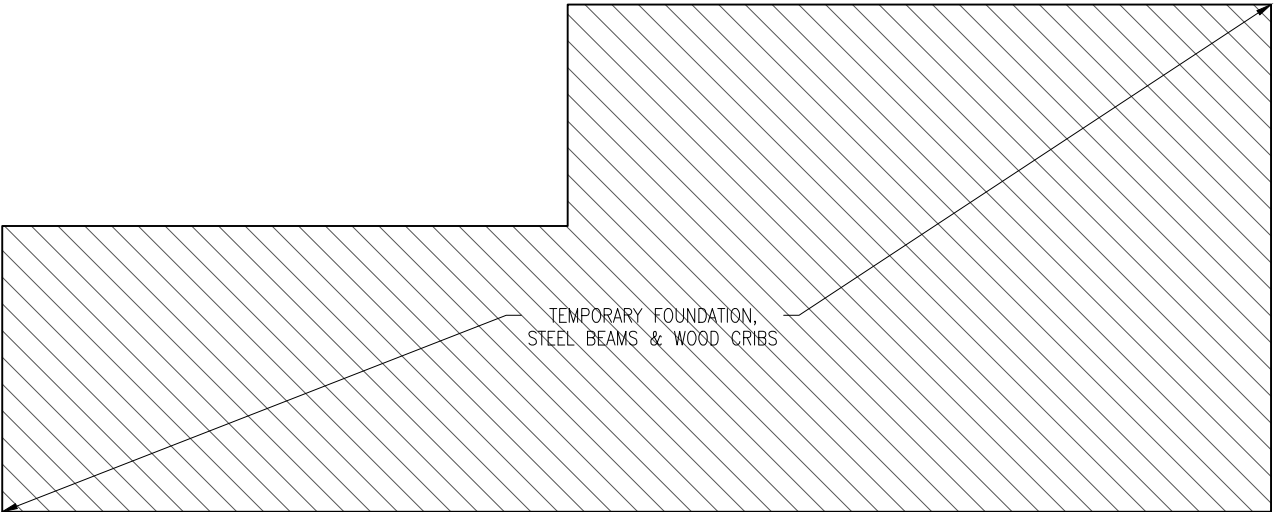


GROUND FLOOR PLAN

2

SCALE 1 : 100

HA003



BASEMENT FLOOR PLAN

1

SCALE 1 : 100

HA003

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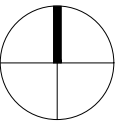
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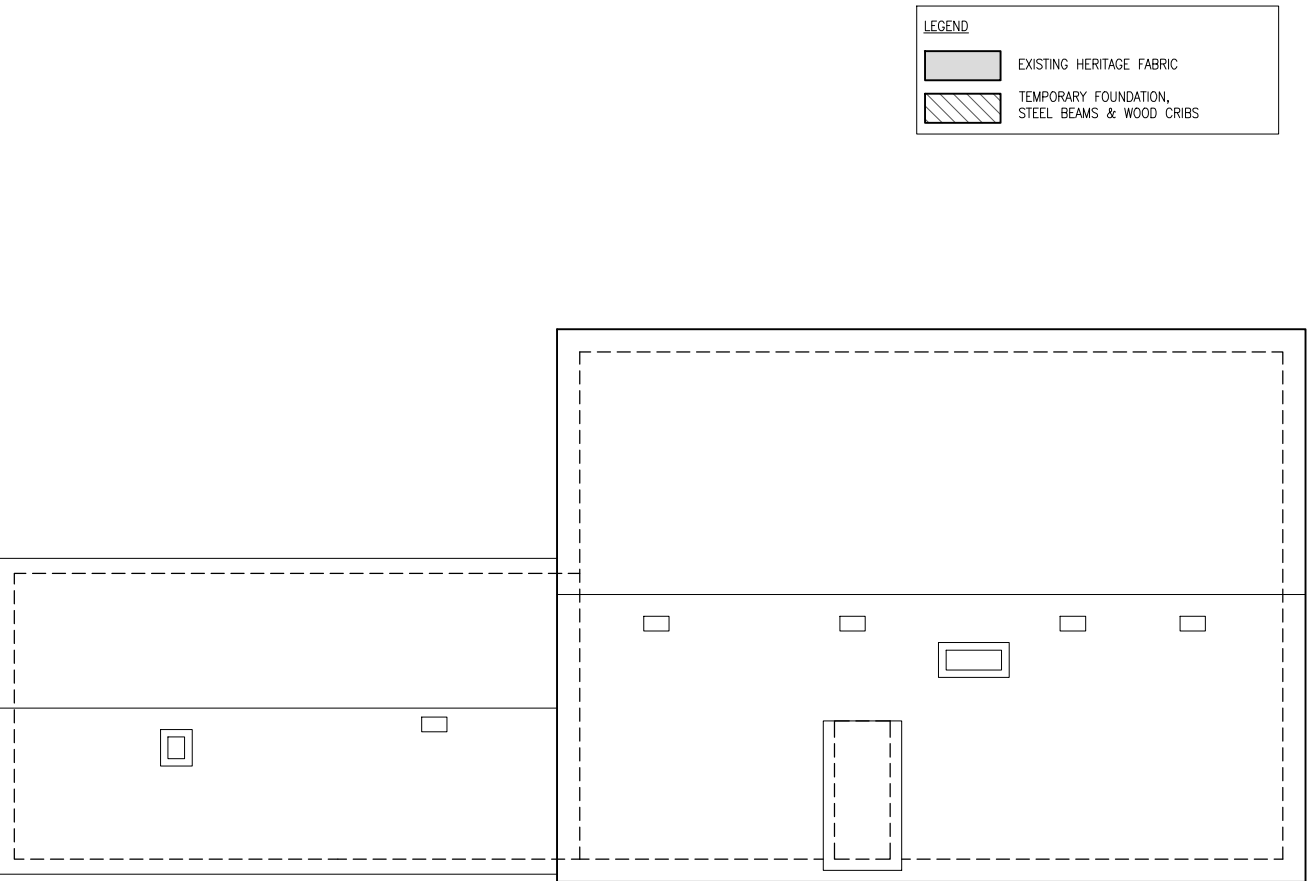
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Reviewed by	JQ
Drawing title	EXISTING BASEMENT AND GROUND FLOOR PLANS

Sheet no.

HA003

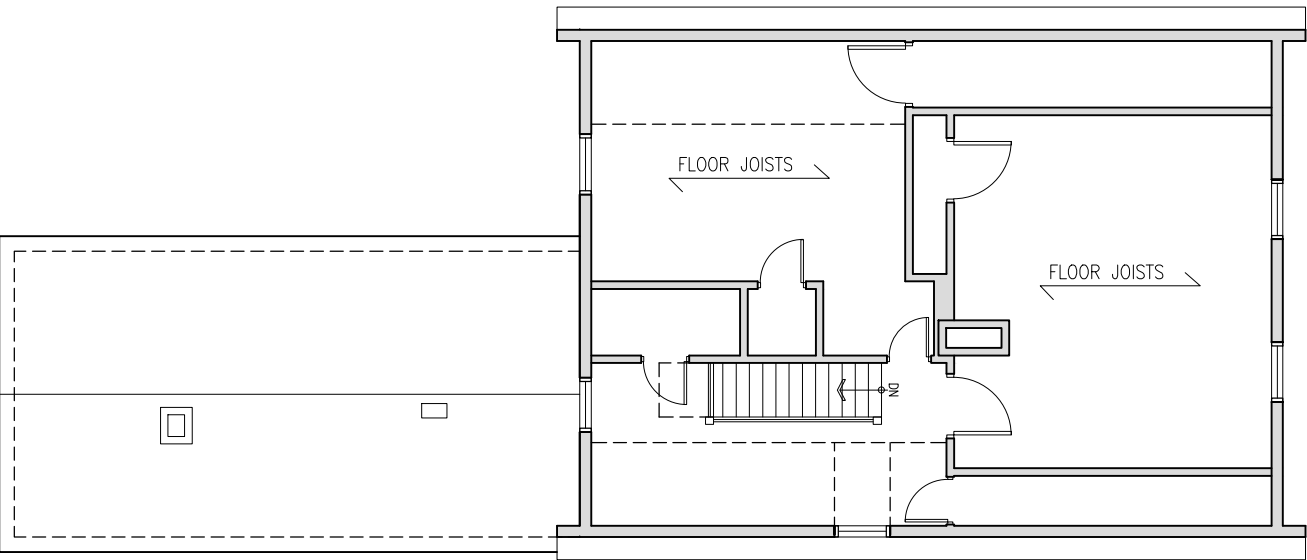


ROOF PLAN

2

SCALE 1 : 100

HA004



SECOND FLOOR PLAN

1

SCALE 1 : 100

HA004

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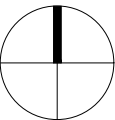
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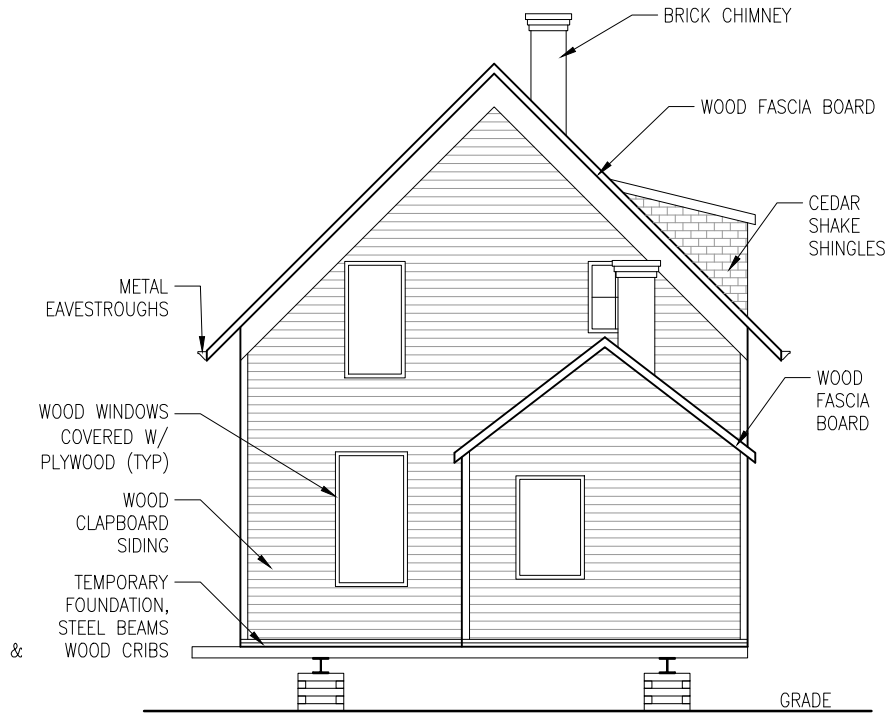
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Drawing title	EXISTING SECOND AND ROOF FLOOR PLANS

Sheet no.

HA004

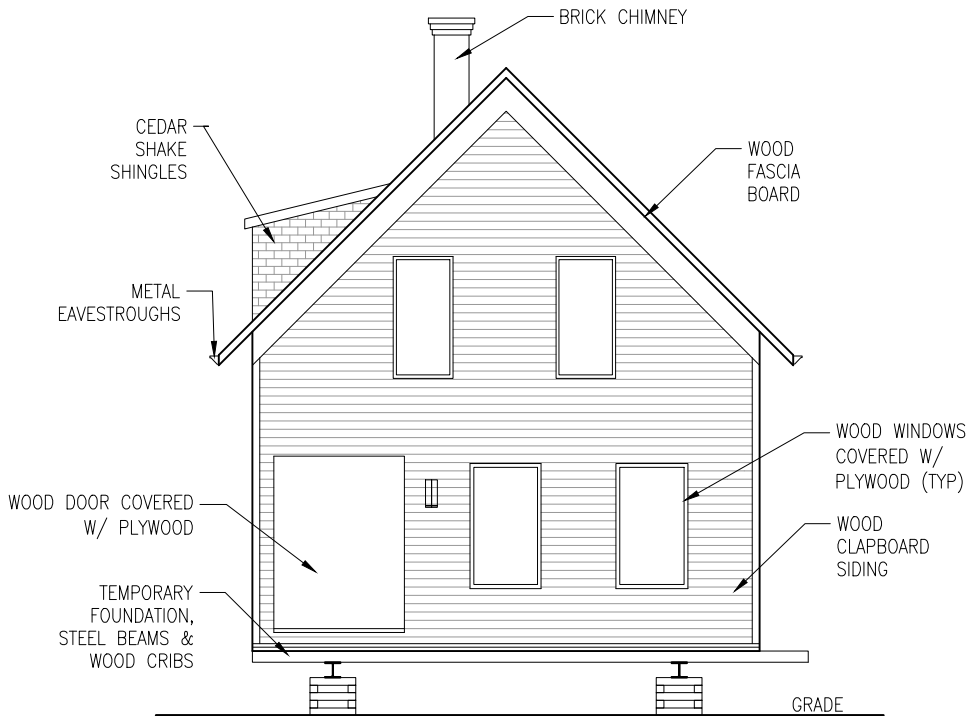


WEST ELEVATION

SCALE 1 : 100

2

HA005



EAST ELEVATION

SCALE 1 : 100

1

HA005

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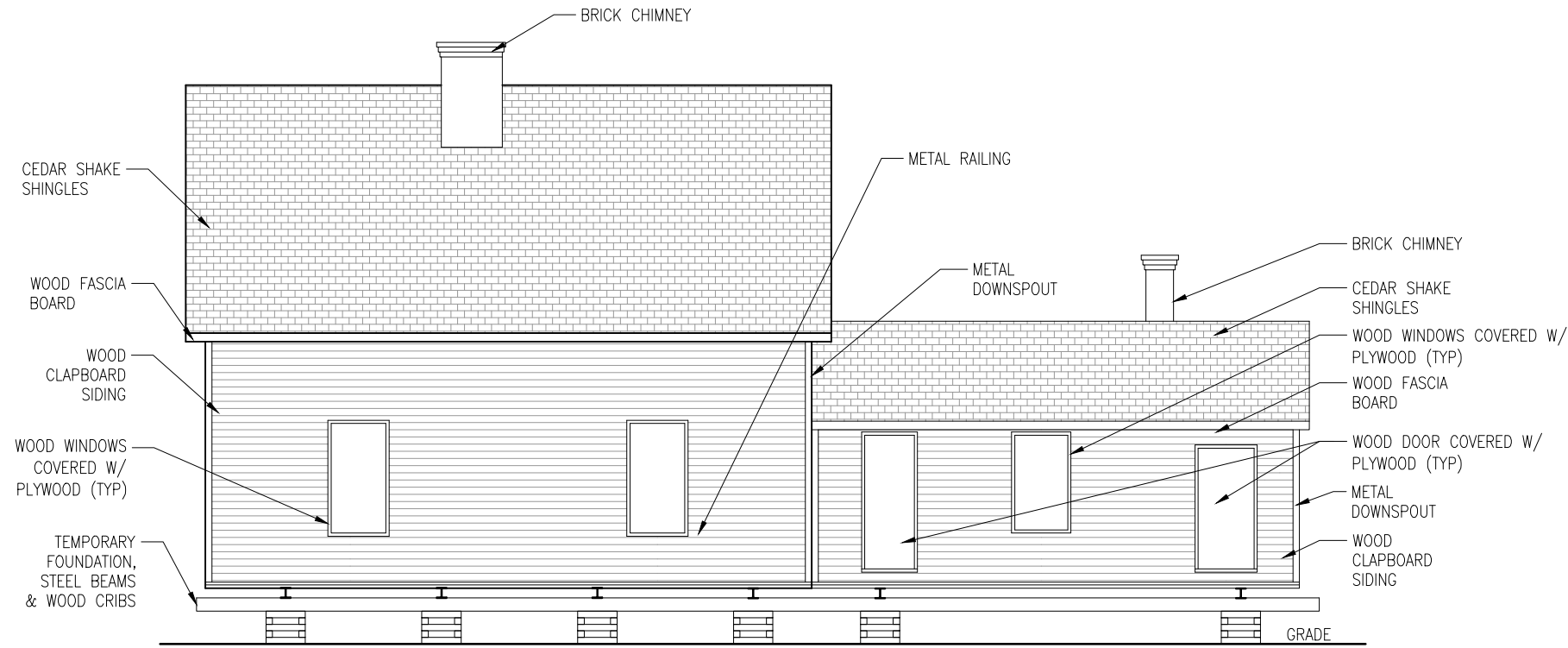
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Drawing title	EXISTING EAST AND WEST ELEVATIONS

Sheet no.

HA005

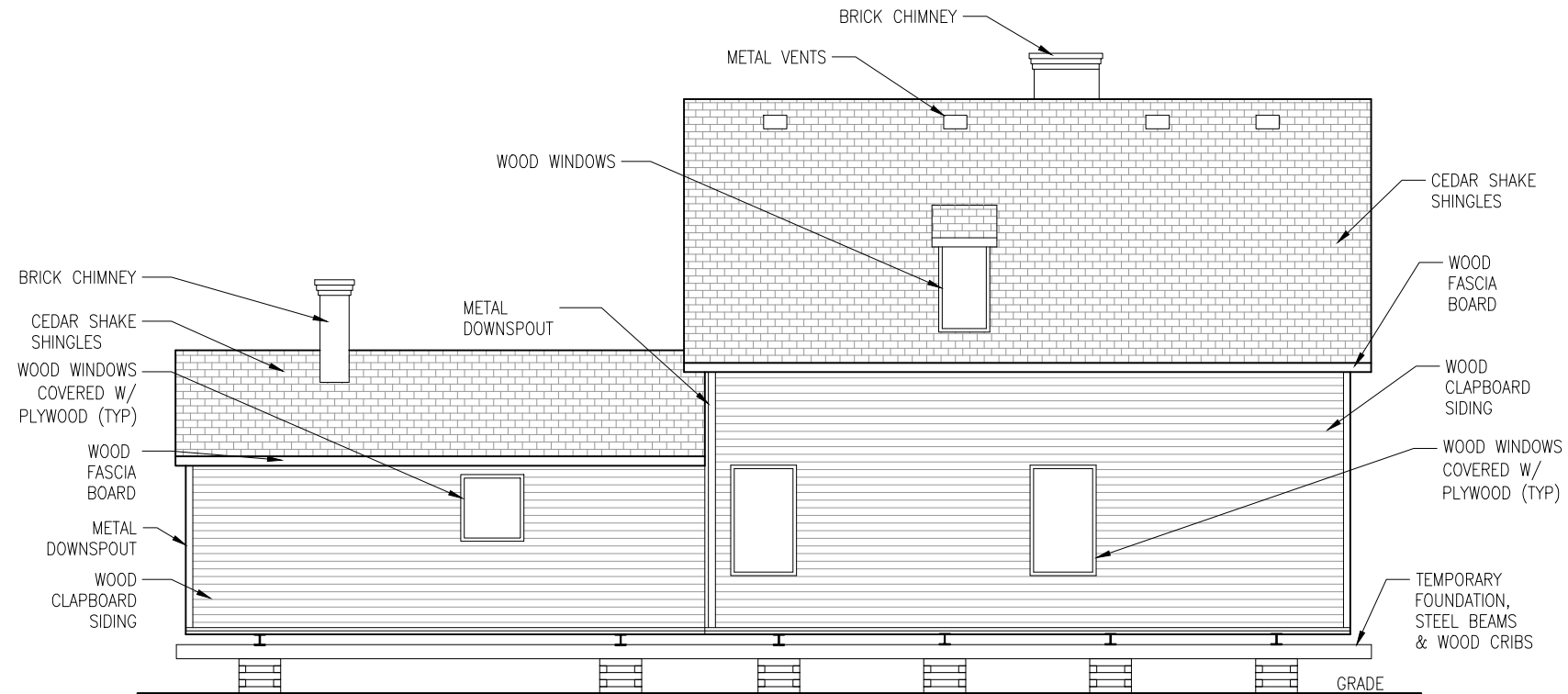


NORTH ELEVATION

2

SCALE 1 : 100

HA006



SOUTH ELEVATION

1

SCALE 1 : 100

HA006

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Reviewed by	JQ
Drawing title	

EXISTING SOUTH AND NORTH ELEVATIONS

Sheet no.

HA006

CONSERVATION NOTES:

C-000 HOUSE RELOCATION

C-001: RETAIN EXISTING 1 1/2 STOREY AND 1 STOREY MUNSHAW HOUSE AND RELOCATE TO NEW LOT.

C-002: STABILIZE EXISTING FRAMING OF BOTH 1 1/2-STOREY AND 1-STOREY HOUSE BEFORE RELOCATION.

C-003: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

C-004: ENSURE NEW SITE AND GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED TO THE NEW LOCATION.

C-005: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

C-100 CONSERVATION WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

C-101: REMOVE EXISTING CEDAR SHINGLE ROOF AND DORMER WALLS AND REPLACE WITH NEW CEDAR SHINGLES TO MATCH EXISTING.

C-102: REMOVE EXISTING ROOF VENTS AND REPLACE WITH NEW ROOF VENTS AS REQUIRED.

C-103: REMOVE ALL EXISTING METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS AND PROVIDE NEW TO MATCH EXISTING.

C-104: SCRAPE CLEAN, PRIME AND PAINT ALL EXTERIOR WOOD SIDING (TYP.)

C-105: MAKE GOOD SIDING TO MATCH EXISTING.

C-106: SCRAPE CLEAN, PRIME AND PAINT ALL EXTERIOR WOODWORK (TYP.)

C-107: INSTALL NEW WOOD SIDING TO MATCH EXISTING, AS REQUIRED.

C-108: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES (TYP.)

C-109: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE AND STORM DOOR.

C-110: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOORS.

C-111: CONSTRUCT NEW FOUNDATION WALL FACING MATERIAL WITH SALVAGED STONE.

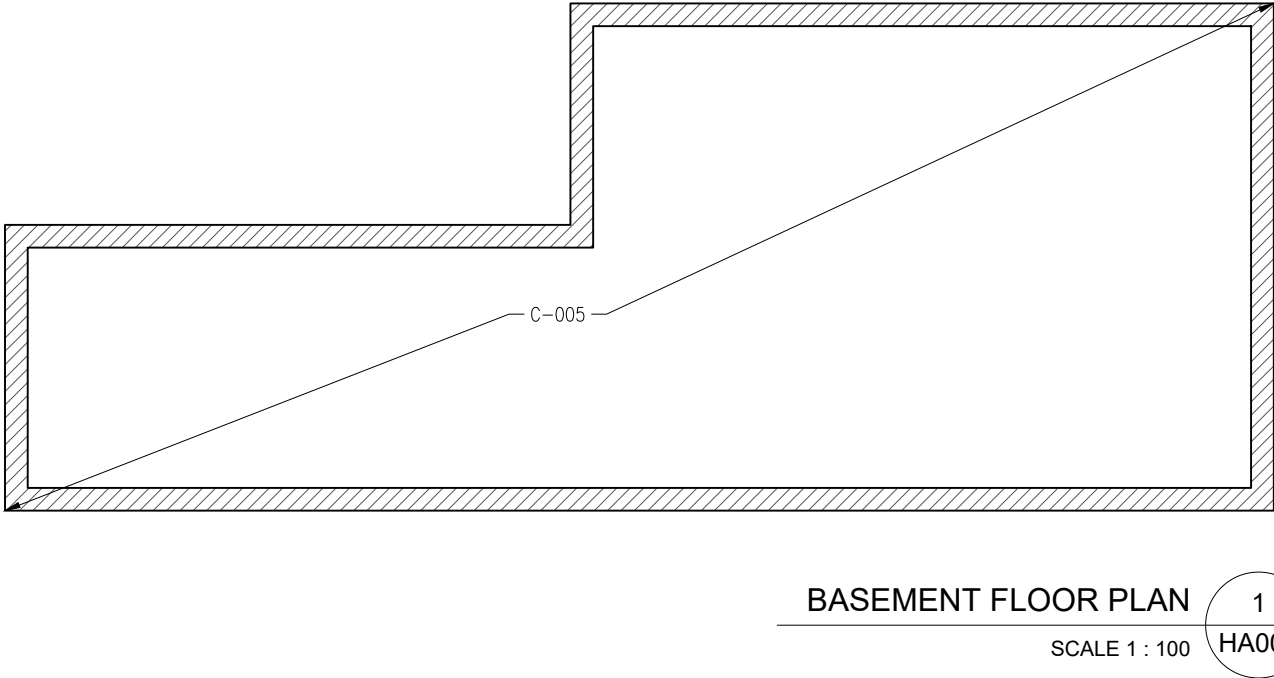
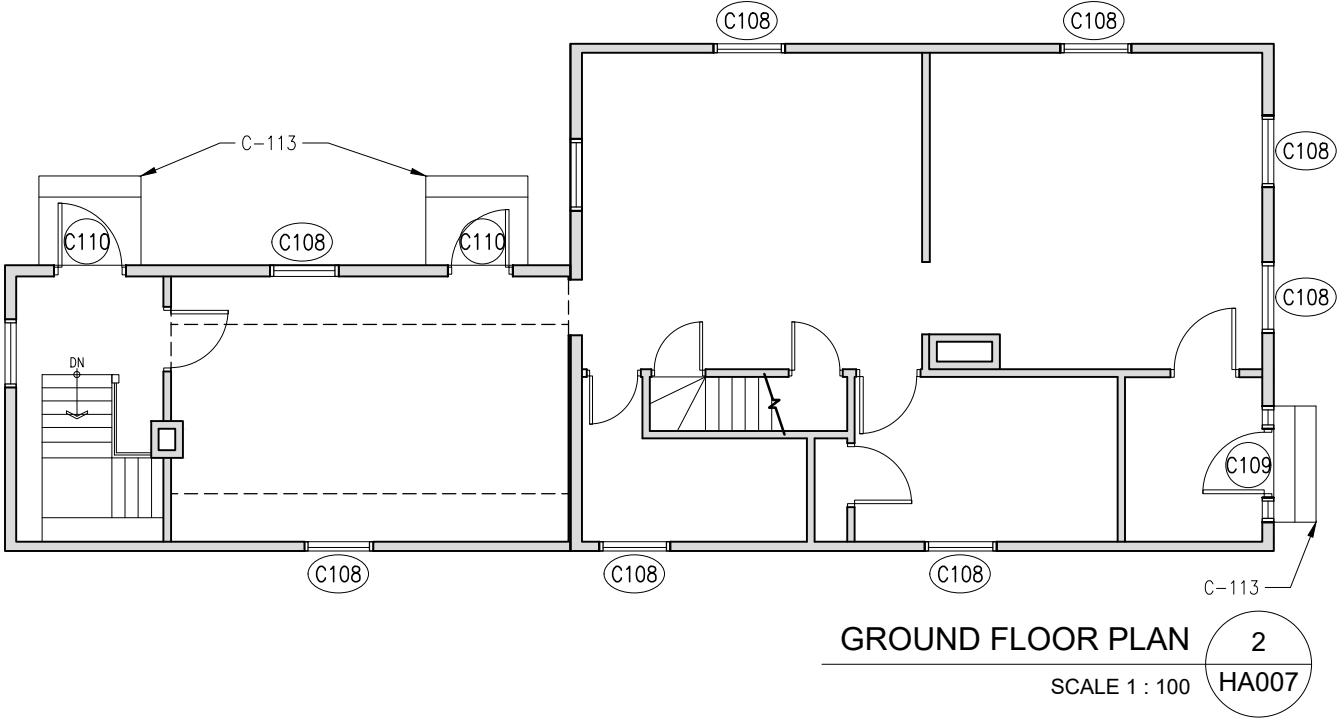
C-112: CLEAN EXISTING BRICK CHIMNEYS.

C-113: CONSTRUCT NEW STAIRS

LEGEND

RETAIN EXISTING HERITAGE FABRIC

C-005: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.



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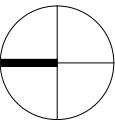
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Reviewed by	JQ
Drawing title	

PROPOSED BASEMENT AND GROUND FLOOR PLANS

Sheet no.

HA007

CONSERVATION NOTES:

C-000 HOUSE RELOCATION

C-001: RETAIN EXISTING 1 1/2 STOREY AND 1 STOREY MUNSHAW HOUSE AND RELOCATE TO NEW LOT.

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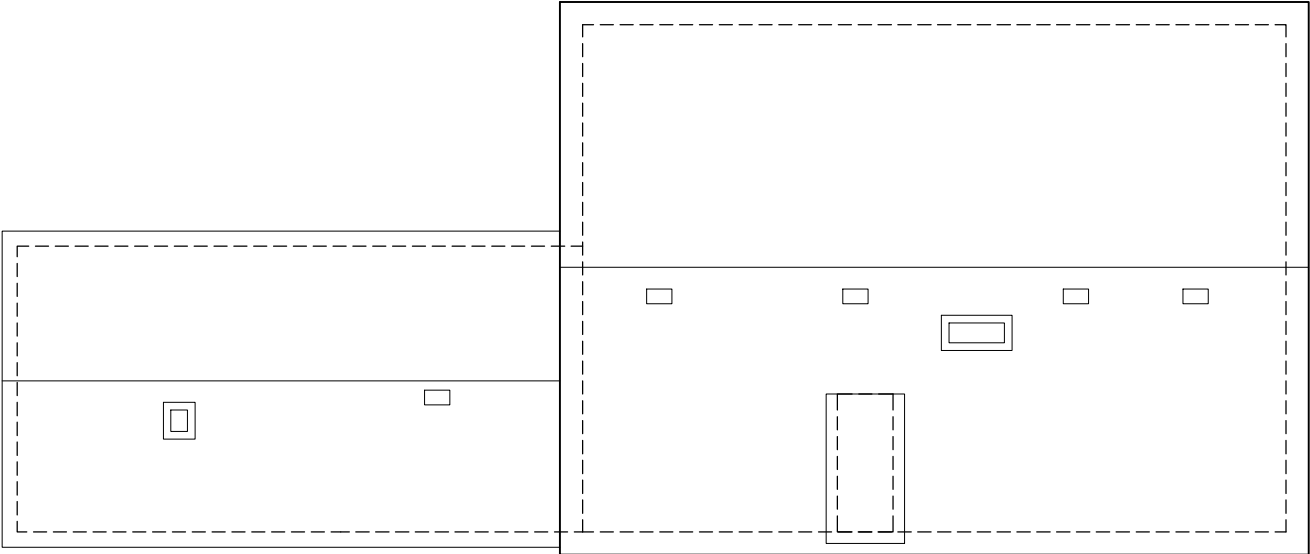
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LEGEND

RETAIN EXISTING HERITAGE FABRIC

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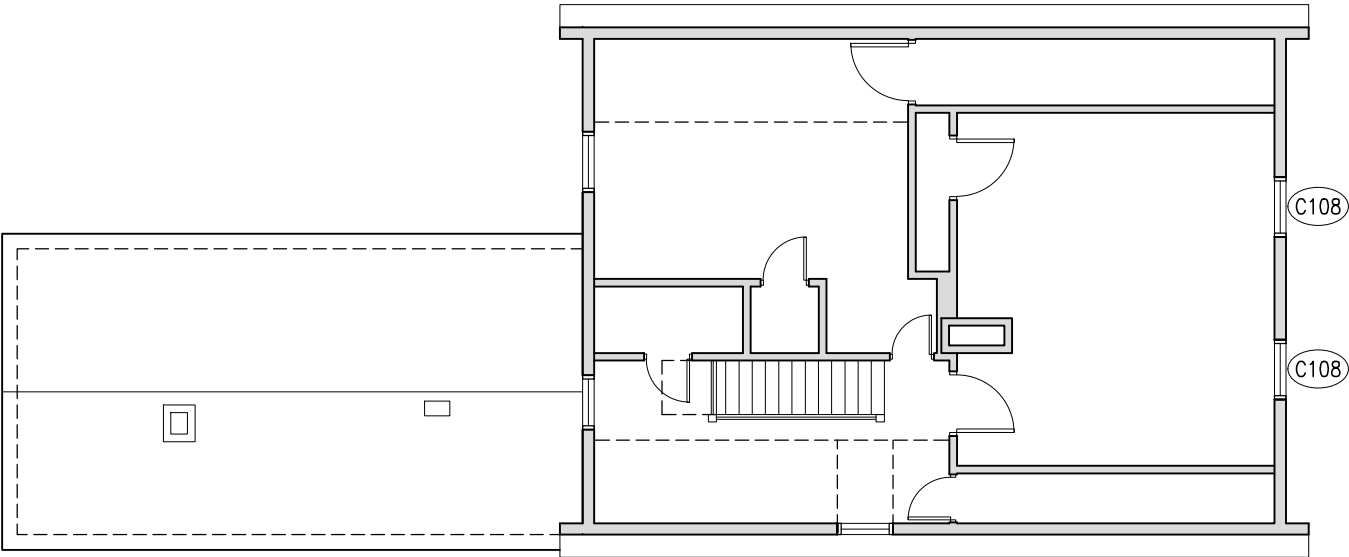


ROOF FLOOR PLAN

2

SCALE 1 : 100

HA008



SECOND FLOOR PLAN

1

SCALE 1 : 100

HA008

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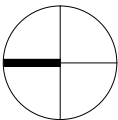
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Reviewed by	JQ
Drawing title	PROPOSED SECOND AND ROOF FLOOR PLANS

Sheet no.

HA008

CONSERVATION NOTES:

C-000 HOUSE RELOCATION

C-001: RETAIN EXISTING 1 1/2 STOREY AND 1 STOREY MUNSHAW HOUSE AND RELOCATE TO NEW LOT.

C-002: STABILIZE EXISTING FRAMING OF BOTH 1 1/2-STOREY AND 1-STOREY HOUSE BEFORE RELOCATION.

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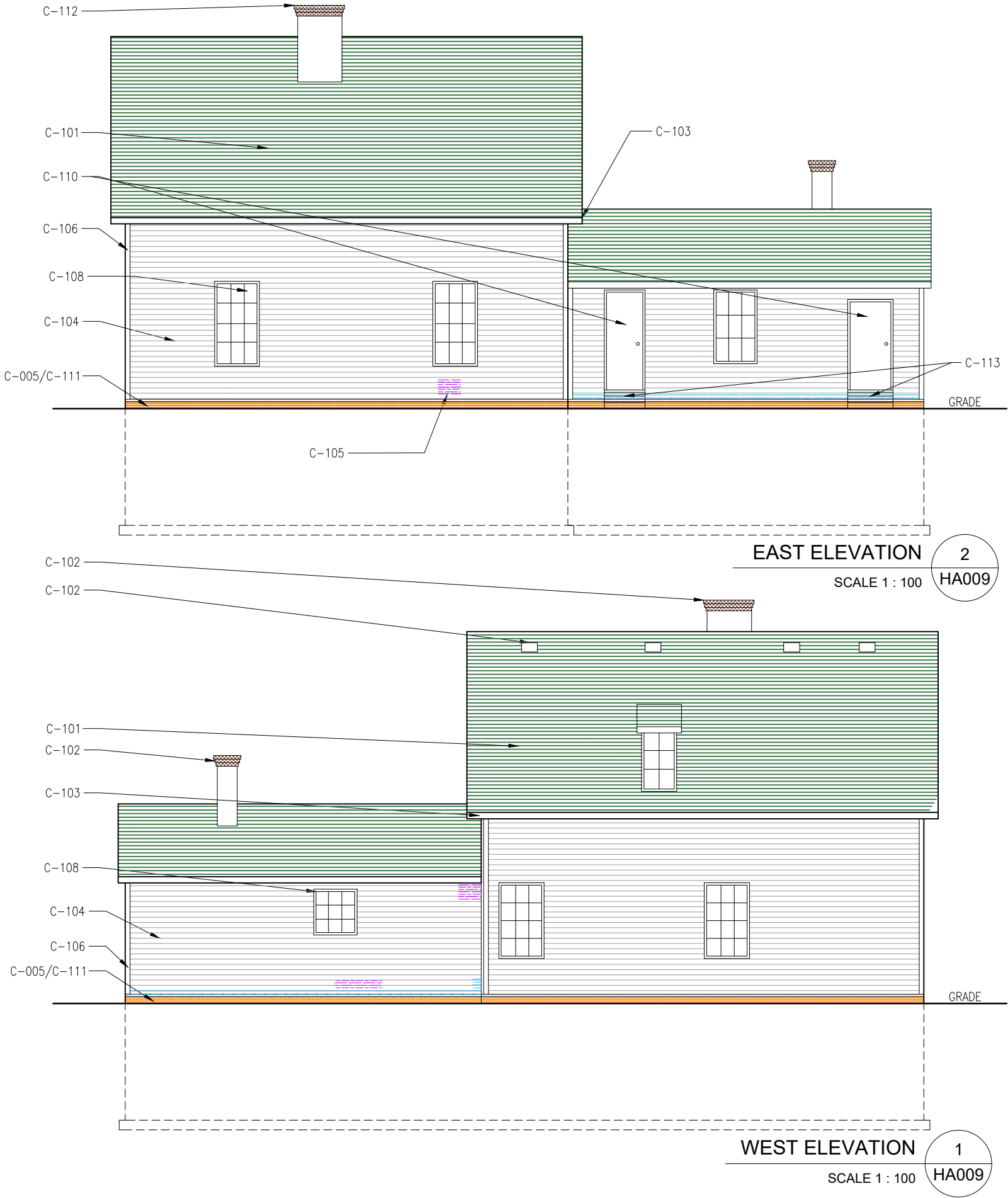
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C-110: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOORS.

C-111: CONSTRUCT NEW FOUNDATION WALL FACING MATERIAL WITH SALVAGED STONE.

C-112: CLEAN EXISTING BRICK CHIMNEYS.

C-113: CONSTRUCT NEW STAIRS



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Reviewed by	JQ
Drawing title	PROPOSED WEST AND EAST ELEVATIONS

Sheet no.

HA009

CONSERVATION NOTES:

C-000 HOUSE RELOCATION

C-001: RETAIN EXISTING 1 1/2 STOREY AND 1 STOREY MUNSHAW HOUSE AND RELOCATE TO NEW LOT.

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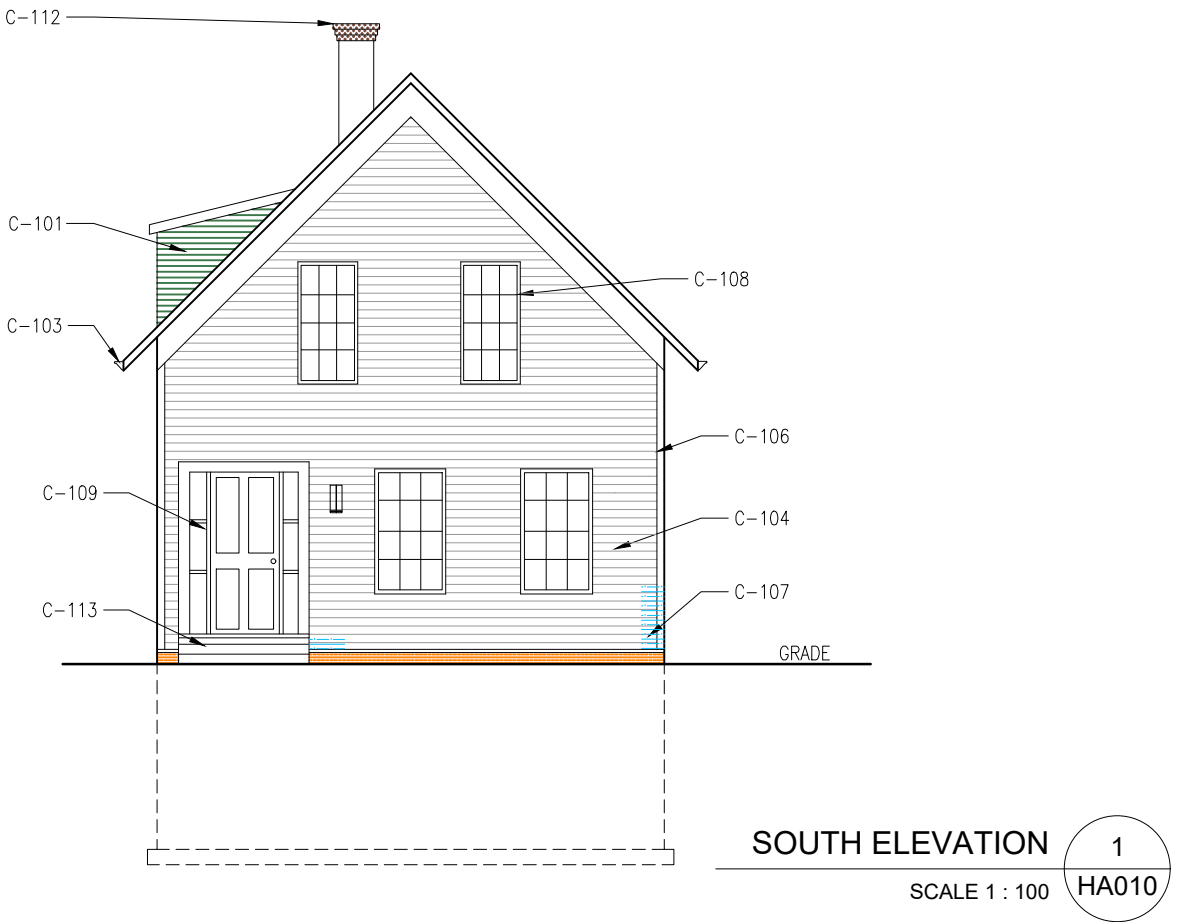
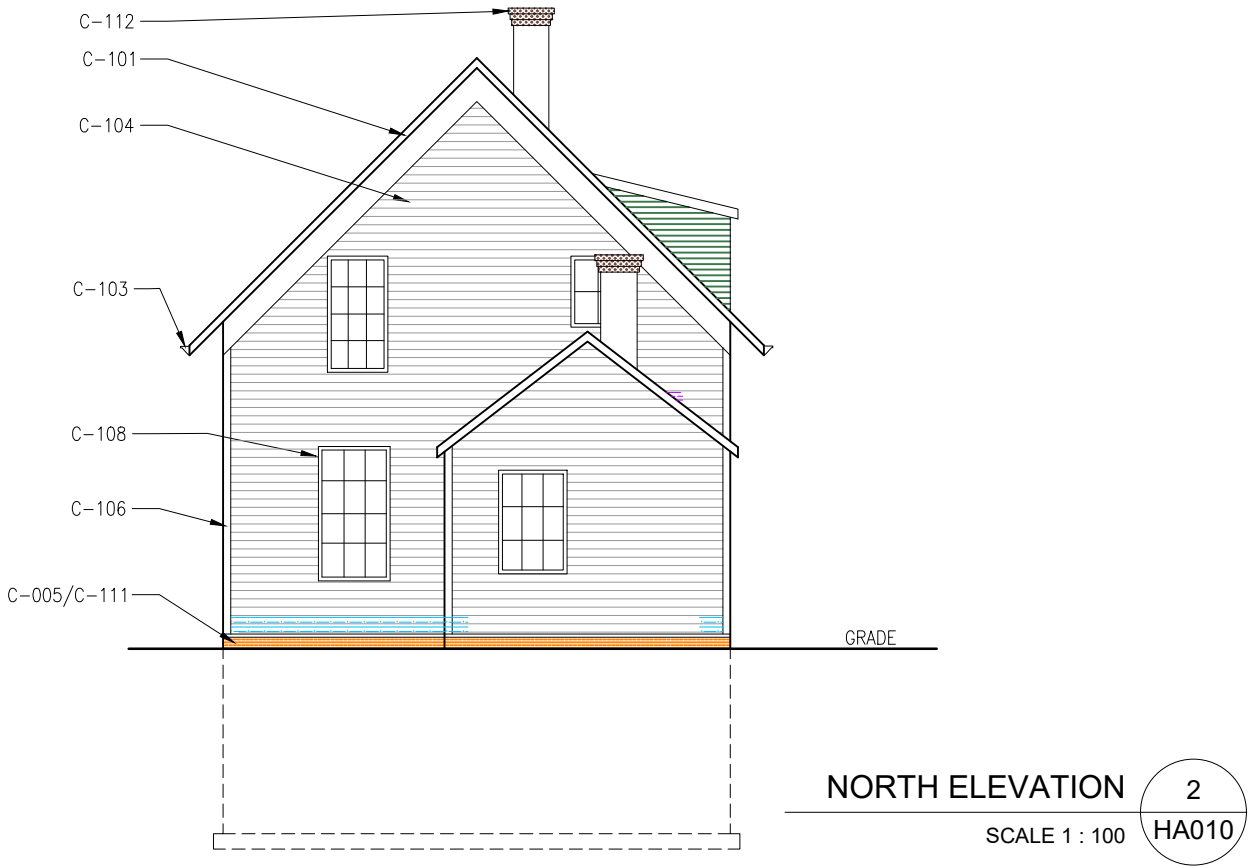
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Drawn by	JQ
Reviewed by	JQ
Drawing title	

PROPOSED SOUTH AND NORTH ELEVATIONS

Sheet no.

HA010

BASSINGTHWAITE HOUSE

Conservation Plan

10244 BATHURST STREET, VAUGHAN

September 11, 2019



ERA

PREPARED FOR:

Longyard Properties, Inc.
30 Floral Parkway, Suite 300
Concord, ON, L4K 4R1

PREPARED BY:

ERA Architects Inc.
625 Church Street, Suite 600
Toronto, Ontario M4Y 2G1
416-963-4497

Issued: September 11, 2019

Project #	13-106
Prepared by	PE/JQ/AC/ZC/EJ/EC/NP

Cover Image: ERA, 2019

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Looking southwest to Bassingthwaite House (ERA, 2019).

EXECUTIVE SUMMARY

This Conservation Plan has been prepared to identify and describe the scope of work required to conserve the cultural heritage value of the property at 10244 Bathurst Street, known as the Bassingthwaite House.

The Bassingthwaite House is a two-storey structure built in 1860. The house is located on a larger development site, known as the Longyard Subdivision (the “Development Site”), where it has been integrated into the lotting fabric on Lot 35 along Keatley Drive.

The Bassingthwaite House is listed on the City of Vaughan’s Built Heritage Inventory as a building of architectural and historical value.

Proposed Relocation

The current proposal is to relocate Bassingthwaite House to 10090 Bathurst Street (the “Proposed Site”) (refer to proposed relocation plan on page v). The proposed relocation would situate Bassingthwaite House adjacent to Munshaw House along Bathurst Street on an existing residential lot enveloped by a naturalized open space.

Proposed Conservation Scope

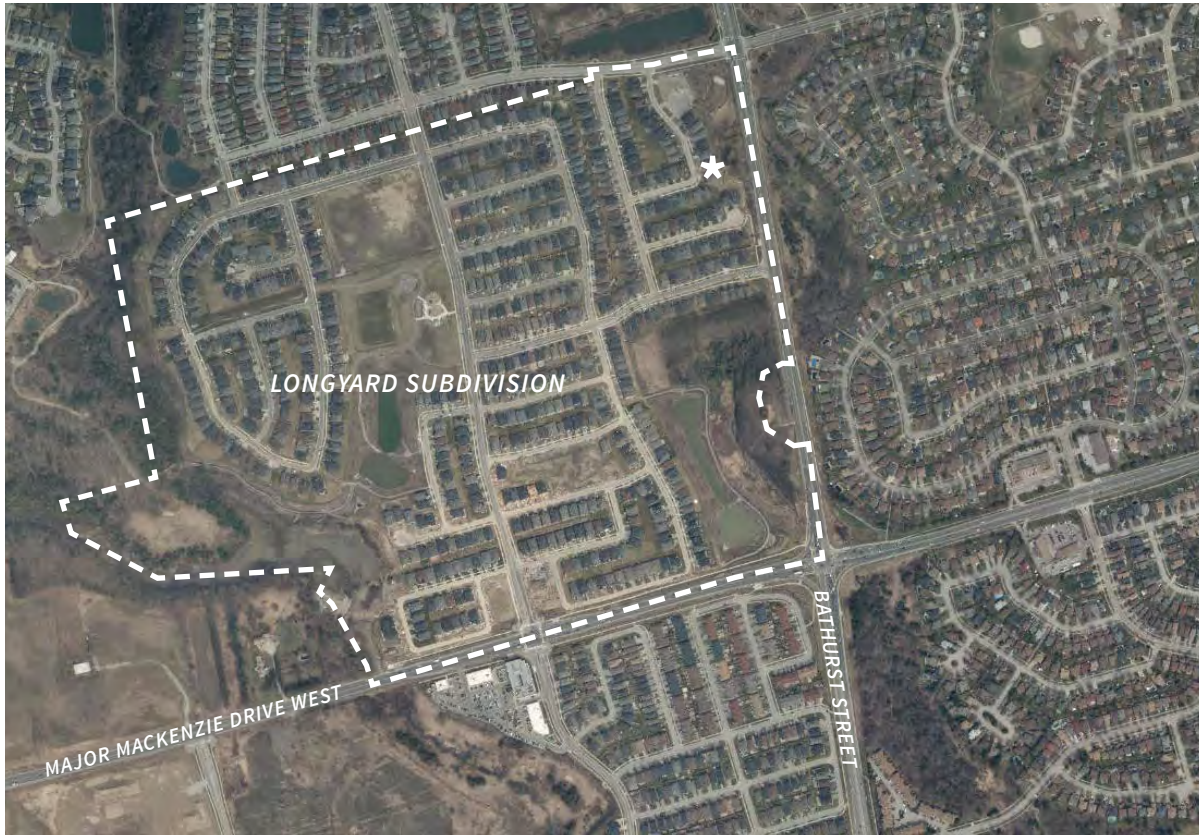
The proposed conservation strategy includes stabilization and relocation. The conservation scope of work includes:

- Stabilizing the structure for relocation;
- Removing later additions to the building post original construction in 1860;
- Salvaging stone from and demolishing the smoke house structure and basement; and
- Relocating the existing original two-storey masonry building atop a foundation on an existing residential lot enveloped by a naturalized open space.

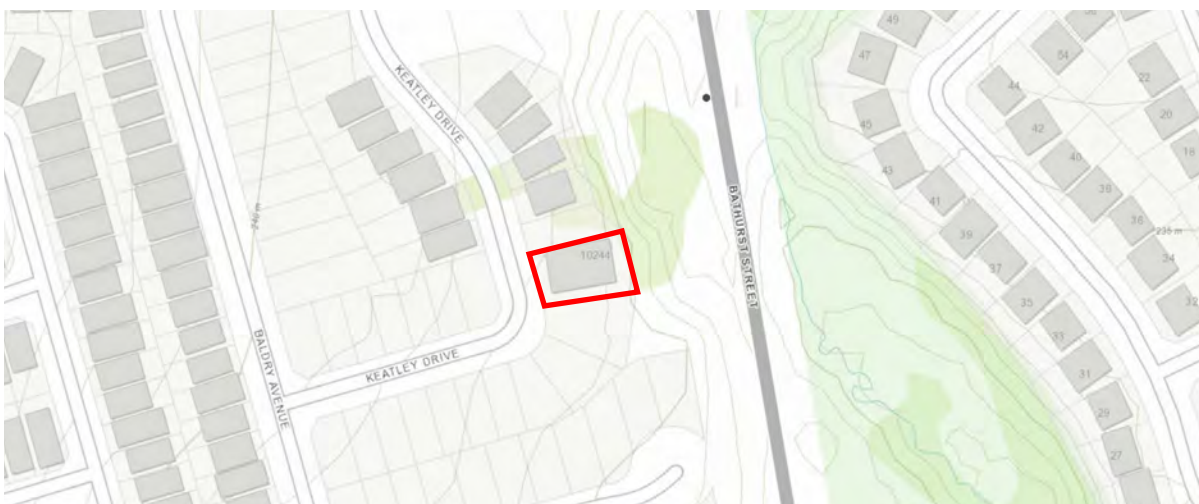
Exterior conservation work to ensure the house is presentable and appears occupiable for future reuse will be undertaken as a part of a future scope.

This Conservation Plan provides detailed drawings for the proposed conservation work along with cost estimates, under separate cover, to establish a letter of credit amount to secure the scope of work.

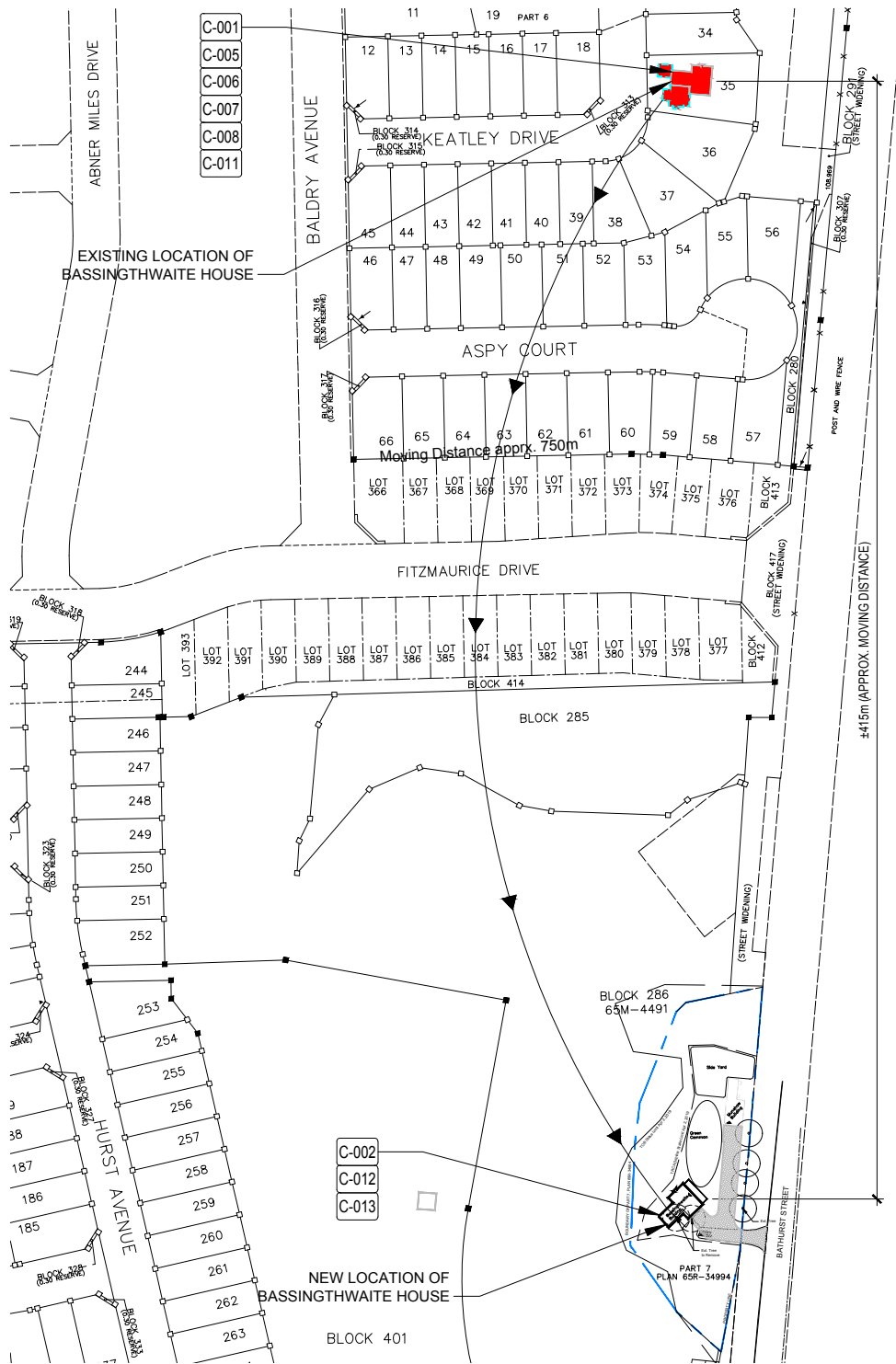
Overall, the proposed conservation strategy will conserve the cultural heritage value of the Site and prepare it for future reuse. In the interim, following relocation and prior to final programming, the Bassingthwaite House will be utilized as a residence. Future conservation works to rehabilitate the building for reuse are to be determined and may incorporate conservation of the interior wood trim.



Aerial photograph showing the Longyard Subdivision outlined in dashed white and the Bassingthwaite House starred in white (York Region, 2018. Annotated by ERA, 2019).



City of Vaughan zoning map showing the location of the Bassingthwaite House outlined in red (City of Vaughan, 2019. Annotated by ERA, 2019).



Proposed relocation plan for the Basingthwaite House, approximately 750m south to the Proposed Site (ERA, 2019).

1 INTRODUCTION

1.1 Scope of the Report

ERA Architects Inc. (ERA) was retained by Longyard Properties, Inc. as the heritage consultant for the redevelopment of the Site.

The purpose of this Conservation Plan is to clarify and describe the scope of work required to relocate the Bassingthwaite House conserve its cultural heritage value and heritage attributes, and allow for its future reuse in accordance with the City's requirements for Subdivision File 19T-13VO11. A supplemental Heritage Permit will be required for future work.

The proposed conservation strategy was developed with reference to *Parks Canada's Standards and Guidelines for the Conservation of Historic Places* and the Ministry of Culture's Ontario Heritage Tool Kit.

Site Location & Description

The Development Site is located north west of the intersection of Bathurst Street and Major Mackenzie Drive, on part of Lots 21 and 22, Concession 2, in the City of Vaughan.

The Bassingthwaite House at 10244 Bathurst Street sits on the west side of Bathurst Street, roughly 850 metres north of Major Mackenzie Drive West. The house is presently located at its original location, which has been integrated into the lotting fabric of the Longyard Subdivision on lot 35 along Keatley Drive.

1.2 Heritage Recognition

The Bassingthwaite House at 10244 Bathurst Street is listed on the City of Vaughan's Built Heritage Inventory (the "Inventory") as a building with architectural and historical value. The Inventory describes the Bassingthwaite House as being constructed in 1860 in a Georgian architectural style.

2 ASSESSMENT OF EXISTING CONDITION

ERA performed a visual inspection of the property on July 25, 2019. All inspections were carried out from grade. Inspections were limited to visible exterior envelope features such as the masonry, woodwork, windows and doors, flashings and rainwater management systems (gutters and downspouts). The interior inspection was carried out from the second floor to the cellar (basement). No close up “hands on” inspections were carried out using scaffolding or a lift, and the roof areas on all the buildings were not accessible at the time of the inspection.

Overall, the Bassingthwaite House is in fair to poor condition with areas in defective condition.

DEFINITION OF TERMS

The building components were graded using the following assessment system:

Excellent: *Superior aging performance. Functioning as intended; no deterioration observed.*

Good: *Normal Result. Functioning as intended; normal deterioration observed; no maintenance anticipated within the next five years.*

Fair: *Functioning as intended. Normal deterioration and minor distress observed; maintenance will be required within the next three to five years to maintain functionality.*

Poor: *Not functioning as intended; significant deterioration and distress observed; maintenance and some repair required within the next year to restore functionality.*

Defective: *Not functioning as intended; significant deterioration and major distress observed, possible damage to support structure; may present a risk; must be dealt with immediately.*

2.1 Exterior

Brick Masonry

The brick elevations have been painted in a beige colour and appear to be in fair to poor condition with areas of paint flaking, mortar loss, brick deterioration, brick delamination, environmental staining and obsolete metal fasteners. There also appear to be mortar cracks above window and door lintels, below window sills and at the base of the structure.

Openings

All the window and door openings have been boarded up with plywood on the exterior except the basement windows, therefore the windows were reviewed only from the interior. The wood windows in the original Bassingthwaite House appears to be historic and in fair condition. The remainder of the windows at the one- and two-storey later additions are vinyl windows and appear to be in fair to poor condition. The main wood door and wood surround appears to be in fair condition with areas of paint flaking.

Exterior Wood

The exterior wood elements have been painted in white and appear to be in fair to poor condition. The wood sills at the original Bassingthwaite House appear to be in fair condition with some areas of paint flaking, except for one sill on the ground floor south elevation which appears to be in poor condition showing signs of wood deterioration and paint flaking.

The main and side wood porches appear to be in fair condition with areas of paint flaking and some wood deterioration at the base of the columns.

The wood siding on the one-storey addition appears to be in fair to poor condition with areas of paint flaking, and damaged and deteriorated wood.



East elevation - main entry (photo by ERA Architects, 2019).



East elevation, including smoke house (ERA, 2019).



View of southeast elevation. The 1980s addition is seen on the left (ERA, 2019).

The wood soffits, facias and eaves appear to be in fair to poor condition with some areas of paint flaking and peeling, wood rot, deterioration and delamination.

The remaining wood window shutters appear to be in fair condition with areas of paint flaking. The north elevation has all the window shutters installed, the south elevation is missing one window shutter, and the east elevation is missing three window shutters with one uninstalled and in defective condition.

Roof, Flashing and Rain Management System

Generally, the roof, flashing and asphalt shingles are in fair condition except for a defective area in the north west side of the two-storey house where there is a three-foot by four-foot hole in the roof which exposes the interior to the elements. This hole should be repaired as soon as possible so that further deterioration to the roof and interior structure can be avoided.

The rain management system is in fair to poor condition with damaged and warped areas on the main porch and one-storey building eavestroughs, missing downspouts and downspout diverters.

2.2 Interior

Generally, the basement interior appears to be in fair condition. The majority of the exterior walls are covered in drywall except the north wall which shows the exposed stone rubble foundation. The stone foundation wall (west wall of original footprint of the Basingthwaite House) is exposed and appears to be in fair condition. A multi-wythe interior brick wall spanning east to west in the original footprint of the Basingthwaite House appears to be in fair condition. A section of wood floor joists and wood floor boards are exposed in the north side of the original Basingthwaite House footprint and appears to be in fair condition.



North elevation (ERA, 2019).



Detail of shutter, sills and soffit on south elevation (ERA, 2019).



Detail of roof (ERA, 2019).

Generally, the ground floor interior appears to be in fair condition with an isolated area of poor condition in the north west side of the two-storey house below the hole in the roof where there appears to be mould and water damage in the ceiling and wall. The original Bassingthwaite House interior appears to retain its original wood flooring, wood door and window trim, baseboards, wainscoting and ceiling trim, which appears to be in fair condition. The walls in the original Bassingthwaite House interior appear to be in fair condition with areas of paint flaking and peeling. The later addition interior walls are covered in drywall and tile (in the kitchen), which appears to be in fair condition.

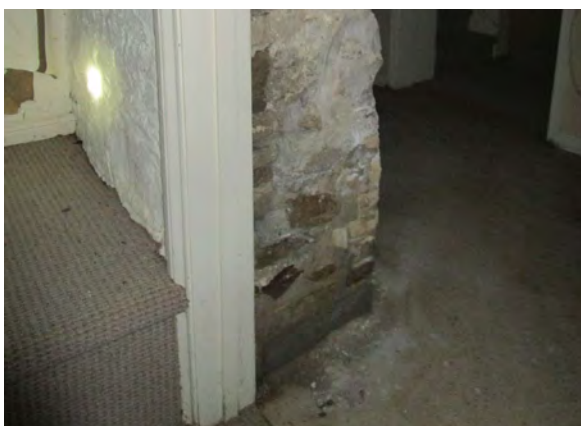
Generally, the second floor interior appears to be in fair condition with areas of paint flaking and peeling from the walls and an interior door. There appears to be a defective area in the north west side of the two-storey house where there is a three-foot by four-foot hole in the roof, which exposes the interior to the elements, damaging the ceiling, walls and floor in that area. This hole should be repaired as soon as possible so that further deterioration to the interior elements can be avoided.



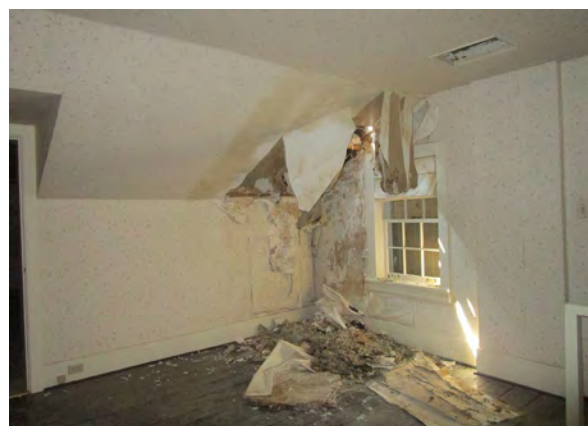
Ground floor interior (ERA, 2019).



Ground floor interior depicting mould and water damage on wall and ceiling (ERA, 2019).



Basement interior (ERA, 2019).

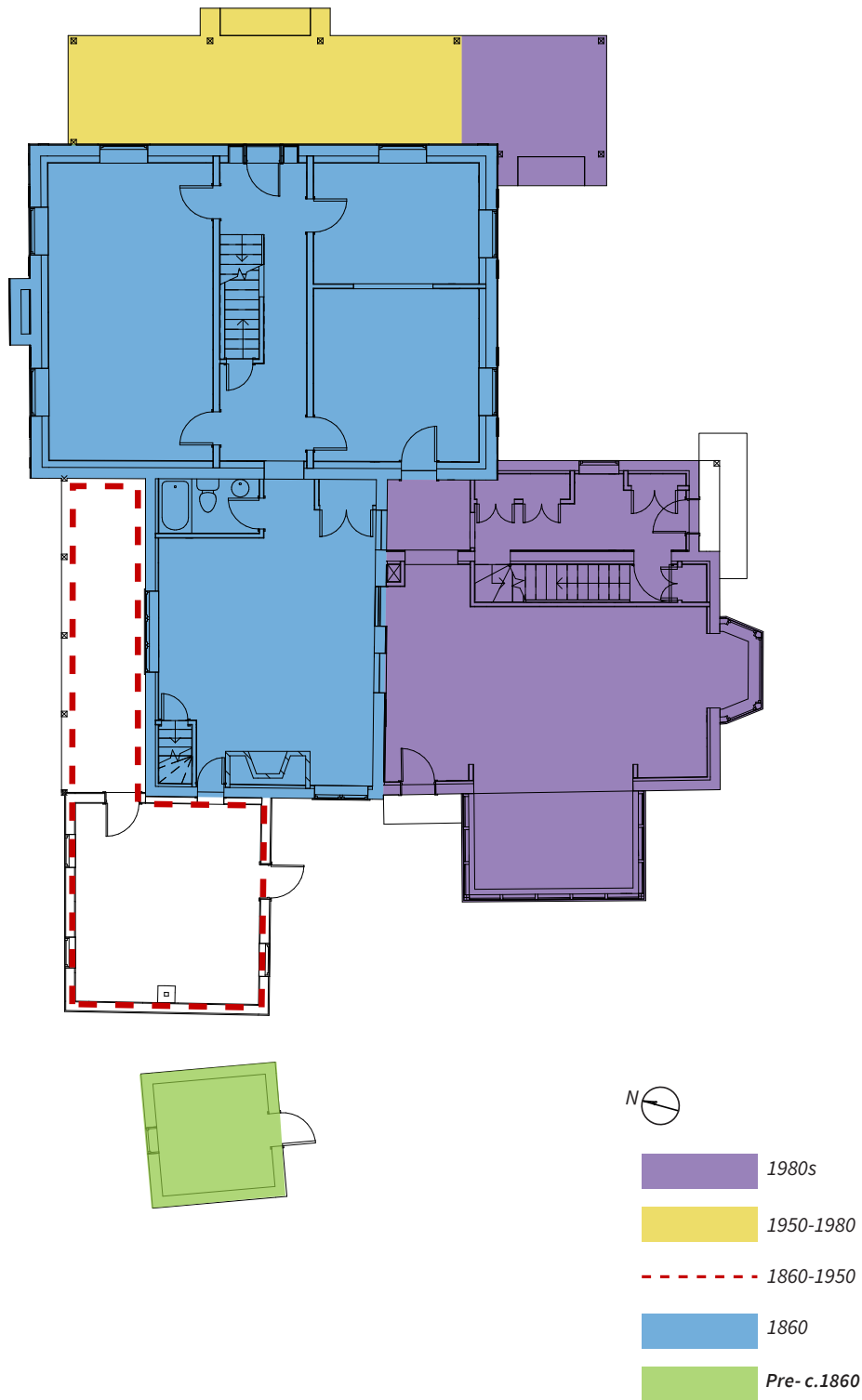


Second floor interior depicting defective roofing area (ERA, 2019).

The one-storey stone smoke house appears to be in defective condition. The south and west stone walls have multiple vertical cracks along the entire wall and the north elevation has mortar loss on the majority of the wall. The roof is in defective condition with rotted roof rafters, roof boards and shingles exposing the interior to the elements.



One-storey smokehouse (ERA, 2019).



Building evolution diagram from Bassingthwaite House (ERA, 2019).

3 CONSERVATION STRATEGY

3.1 Conservation Approach

The proposed conservation approach for the Bassingthwaite House is stabilization and relocation. Once relocated, the house will be used as a residence in the interim while a future programming is confirmed.

The house is proposed to be relocated adjacent to another heritage resource, the Munshaw House, along Bathurst Street on an existing residential lot enveloped by naturalized open space (refer to the figures provided on the following pages). The Proposed Site is located adjacent to the southeast extents of the Longyard Subdivision. The Bassingthwaite House's historic relationship to Bathurst Street will be maintained, and its contextual setting amongst naturalized and open spaces will be restored.

Exterior conservation work is outside of the current project scope; however, the 'Conservation Notes' (C-100 through C-408) provided within this report describe the work to be undertaken in future.

3.2 General Conservation Scope

The proposed conservation scope aims to stabilize the Bassingthwaite House, and make the dwelling look presentable and occupiable. This scope will retain the two-storey original house, while protecting its existing heritage attributes. The conservation scope of work is as follows:

- Stabilization of the structure for relocation; and
- Relocation of the original two-storey Bassingthwaite House.

Exterior conservation works will be undertaken in future to accommodate adaptive reuse of the house, as discussed in Section 3.3 of this report.

Rehabilitation: *the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.*

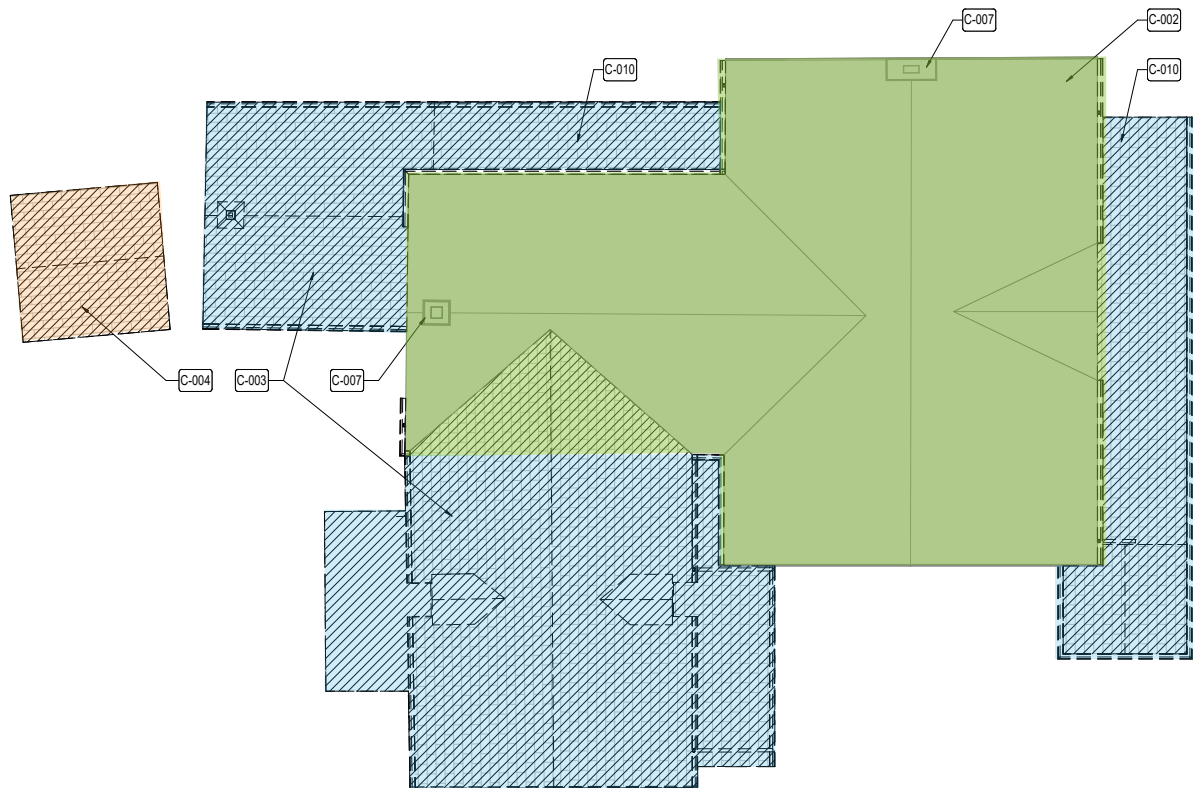
Restoration: *the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.*

Preservation: *the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.*

Source: Standards and Guidelines for the Conservation of Historic Places in Canada (2010).

Prior to relocation, stabilization measures will be taken, which include protecting all windows, doors and chimneys to ensure they are not damaged during relocation. Additionally, removal of later additions to the house (post-1860) and the smoke house are proposed. Stone from the smoke house and the original basement foundation will be salvaged. The smoke house structure will be thoroughly documented before removal.

The proposed relocation would situate the Bassingthwaite House



LEGEND

- Retain
- Demolish
- Salvage Stone & Demolish

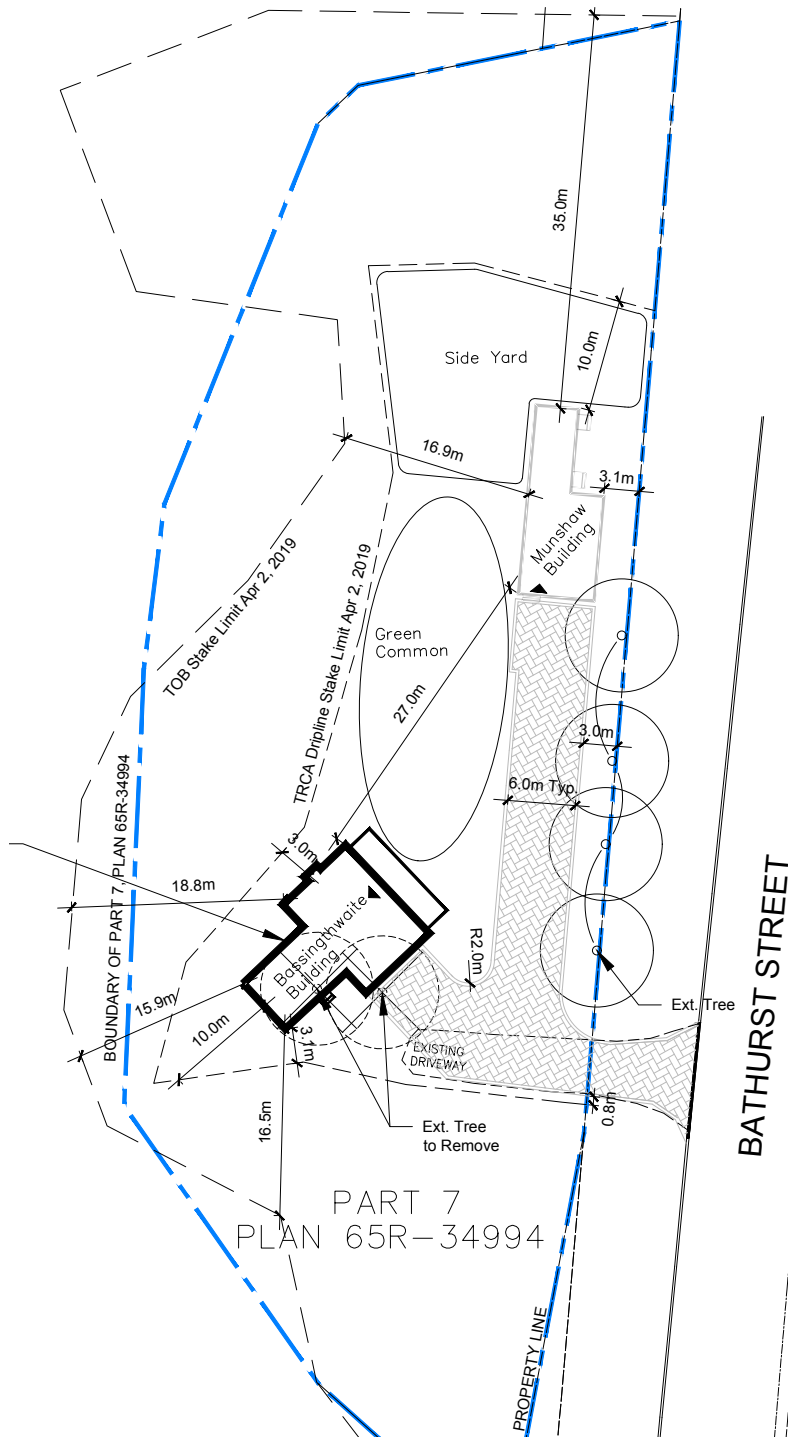
Proposed retention and demolition plan showing building fabric to be retained, removed and salvaged prior to relocation (ERA, 2019).

along Bathurst Street on an existing residential lot enveloped by naturalized open space. Another heritage resource, the Munshaw House is proposed to be located adjacent to the Bassingthwaite House. Both houses are to be situated within the staked top of bank and dripline limits established by the TRCA. Bassingthwaite House will be situated in a manner that creates a side drive approach to the houses that is in keeping with how it would have been encountered in its historic context.

The proposed setting will provide a more appropriate context and scale for the heritage resources. The Proposed Site's context includes naturalized areas and landscaped open green spaces, and a tree line buffer between the adjacent roadway. Its location along Bathurst Street affords a visual prominence that the dwellings are presently lacking in their current locations within the Longyard Subdivision.

The following methodology for relocating Bassingthwaite House was provided by Danco House Raising and Moving:

- Cut 2 inches in to the brickline where the house will be removed from its old foundation;
- Install 2-1/2 foot angle iron around the perimeter of the house;
- Cut 4 holes for the 2 main beams (in old foundation);
- Cut holes every 4 inches in the foundation in order to install crosser beams on top of the main beams;
- Shim up all floor joists and support beams off crosser beams;
- Pressure up the grid of steel to 50% of the weight of the house;
- Pressure up each one of the crosser beams off of the main beams to the load each crosser beam will support (preload crossers);
- Raise house off of old foundation;
- Set rollers up on cribs and roll house off of old foundation;
- Set house on firm ground and remove pressures off the jacks, calculating where each hydraulic dolly will be placed under the 2 main beams; and
- Set house on power dollies to be moved to Proposed Site.



1978 Aerial photograph showing the original Bassingthwaite Farmstead and House, and its orientation toward Bathurst Street (York Region, 2019).

The following site photographs depict the Proposed Site.



Looking northwest toward the Proposed Site from Bathurst Street (ERA, 2019).

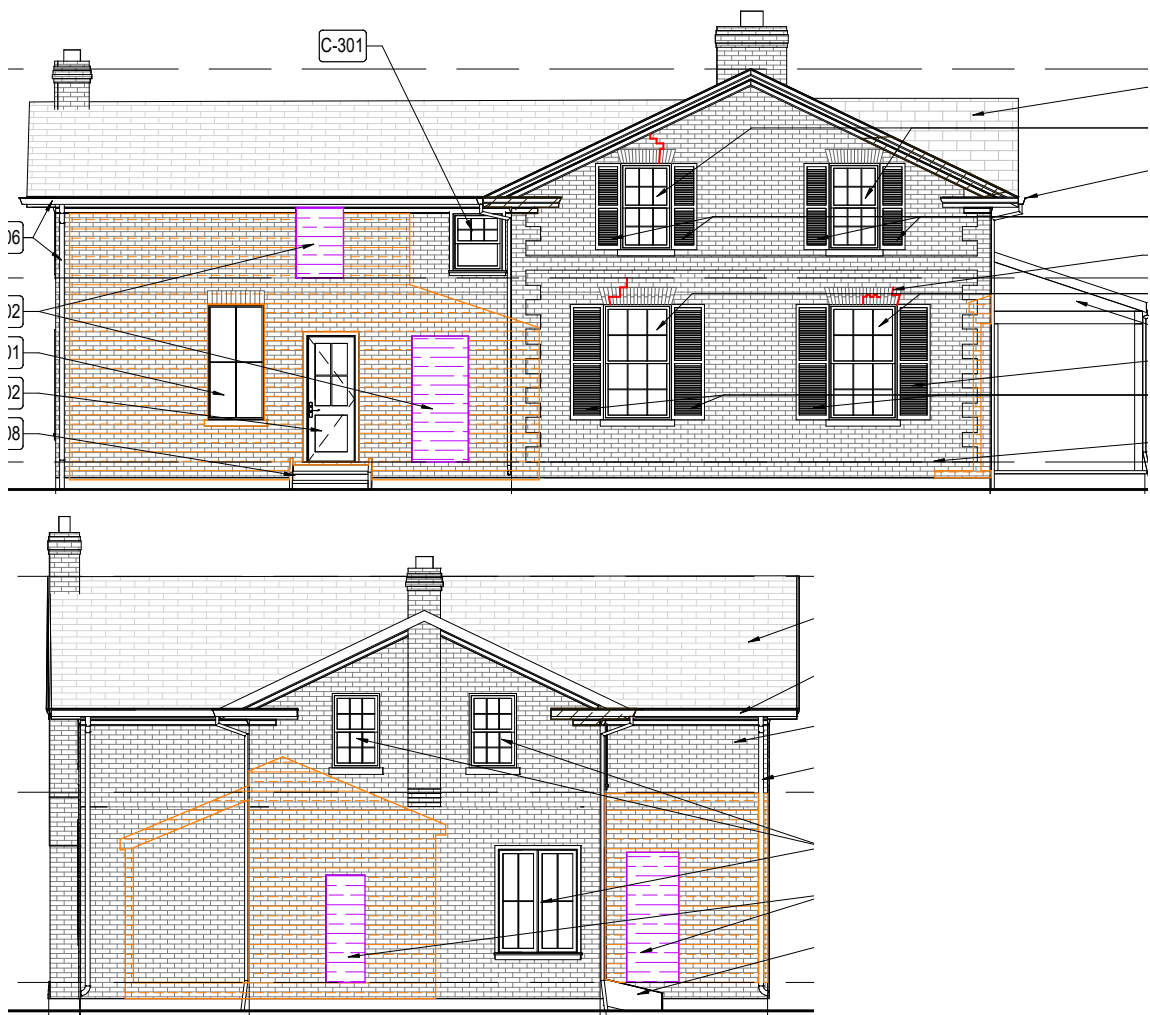


Existing vegetation on the Proposed Site (ERA, 2019).






Looking east along the existing driveway entry to the Proposed Site showing residential properties on the east side of Bathurst Street (ERA, 2019).

Upon relocation, the house will be utilized as a residence in the interim, until such a time when the final use is determined. Future exterior conservation works will be executed as a part of a later scope to ensure the Basingthwaite House appears presentable and occupiable.



LEGEND

-  New Brickwork to Match Existing
-  Repair Brickwork
-  Repair Crack in Brickwork

Proposed masonry restoration on the west (top) and south (bottom) elevations (ERA, 2019).

Refer to Section 3.4.1 for full conservation notes and to the appended drawing set (ERA, 2019).

3.3 Future Reuse

In future, further exterior and interior conservation work will be undertaken to rehabilitate Bassingthwaite House to accommodate new uses, including repair and upgrade of the heritage resource, and adaptive reuse. As a part of future rehabilitation, consideration can be given to retaining the existing interior wood trim and providing a porch on the south elevation. Rehabilitation and use-dependent work cannot commence until a new use is confirmed, and proposed work is approved by the City of Vaughan.

The proposed use for the Bassingthwaite House and Munshaw House upon relocation is a residence with an accessory structure, respectively. The ultimate use for Bassingthwaite House will be confirmed in consultation with the future owner(s)/user(s) of the Proposed Site. On confirmation, a proposal for rehabilitation will need to be developed and submitted to the City of Vaughan. This proposal will provide greater detail regarding any required alterations or additions to the heritage resources, as well as site landscaping to create a buffer between the house and adjacent roadways. Heritage Permits and other planning permissions will be required for any further work.

3.4 Detailed Conservation Scope

3.4.1 Conservation Notes

The following conservation notes correspond with the conservation drawings attached as Appendix II. Notes C-100 to C-408 detail future exterior conservation work.

C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION

C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.

C-002: RETAIN ORIGINAL c. 1860 Bassingthwaite House FOOTPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.

C-003: DEMOLISH EXISTING c. 1984 Bassingthwaite House 2 STOREY AND 1 STOREY ADDITION.

C-004: SALVAGE STONE FROM EXISTING 1-STOREY SMOKEHOUSE STRUCTURE AND DEMOLISH REMAINING BUILDING.

C-005: STABILIZE EXISTING FRAMING OF BASSINGTHWAITE BEFORE RELOCATION.

C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.

C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.

C-009: SALVAGE BRICKS FROM ORIGINAL c. 1860 Bassingthwaite House FOUNDATION FOR REUSE AND DEMOLISH REMAINING BASEMENT.

C-010: DEMOLISH EXISTING PORCHES.

C-011: DEMOLISH AND INFILL EXISTING BASEMENT.

C-012: ENSURE NEW SITE GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.

C-013: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION. USE SALVAGED STONE FROM SMOKEHOUSE TO CLAD NEW FOUNDATION WALL.

C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.

C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.

C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-200 MASONRY

C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.

C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.

C-203: REPAIR CRACKS IN BRICKWORK.

C-204: RESET MASONRY.

C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED

C-206: CONSTRUCT NEW DOOR OPENING IN EXISTING OPENING.

C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISTING OPENING.

C-300 WINDOWS AND DOORS

C-301: PROVIDE NEW WOOD WINDOWS (TYP)

C-302: PROVIDE NEW WOOD DOORS (TYP)

C-303: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE.

C-304: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES AS REQUIRED (TYP.)

C-400 WOOD, ROOF AND METAL WORK

C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DETERMINED), ROOF INSULATION, ROOF VENTS AND NEW FLASHINGS.

C-402: REPAIR EXTERIOR WOOD.

C-403: PREPARE, PRIME AND PAINT ALL EXTERIOR WOOD (TYP).

C-404: REPAIR, PRIME AND PAINT EXISTING WOOD SHUTTERS.

C-405: FABRICATE NEW WOOD SHUTTERS TO MATCH EXISTING.

C-406: PROVIDE NEW METAL GUTTERS, DOWNSPOUTS AND SPLASH PADS.

C-407: CONSTRUCT NEW MAIN PORCH.

C-408: CONSTRUCT NEW STAIR.

3.5 Heritage Contractor Requirements

The work described in this Conservation Plan will be executed by a specialist subcontractor with a minimum of 5 years experience working with heritage structures. The work will be reviewed on site by ERA Architects for general conformance with heritage guidelines and best practices.

3.6 Heritage Easement Agreement

The owner agrees to enter into a Heritage Easement Agreement (HEA) with the City of Vaughan to be registered on property title. For the purposes of the HEA, the Bassingthwaite House will be documented by a professional photographer to the satisfaction of the City.

3.7 Interpretation, Lighting and Signage Plan

If required, an interpretation, lighting and signage plan will be prepared for submission to the City of Vaughan.

4 COST ESTIMATE

A Letter of Credit to secure the dollar value of conservation work of the heritage elements identified in this Conservation Plan will be provided under separate cover.

5 SCHEDULE OF CONSERVATION WORK

5.1 Maintenance Plan

As part of the program of work contained within this Conservation Plan, many improvements are proposed. With respect to ongoing maintenance, regular inspections are recommended within the following time frames:

Yearly

- Inspect the envelope of the building for damage due to weather events, disturbance by animals, vandalism and damage due to human occupancy that may compromise its condition if left unrepaired.

Every 5 Years

- Complete an updated condition assessment of the building and exterior envelope to evaluate the performance of the masonry, sealants, windows and doors, flashings, roofing and adjacent grade condition.

In addition to repairs made following these inspections the following life-cycle inspections and replacements are recommended:

Every 10-15 Years

- Renewal of caulking, inspection of window hardware and weather-stripping.

Every 25-30 Years

- Replacement of roofing membrane and flashings.

Ongoing

- Selective repointing of deteriorated mortar joints.

6 CONCLUSION

The proposed conservation plan for the Bassingthwaite House appropriately conserves the heritage value of the property by maintaining the heritage resources' historic relationship to Bathurst Street, and restoring its contextual setting among naturalized and open spaces.

Future exterior conservation works proposed for the Bassingthwaite House will ensure that the property appears presentable and occupiable, and retains its cultural heritage value for future reuse. Future reuse is market-dependent and to be determined. In the interim, before the Bassingthwaite house is programmed, is to be utilized as a residence. Future alterations and or additions to accommodate reuse will be designed to be sympathetic to the original structure and may seek to conserve interior elements such as wood trim.

7 APPENDICES

APPENDIX I: PROJECT PERSONNEL

Philip Evans

Philip Evans is a principal of ERA Architects and the founder of small. In the course of his fourteen-year career, he has led a range of conservation, adaptive reuse, design, and feasibility planning projects. Philip is a professional member of CAHP.

Janice Quieta

Janice Quieta is an associate with the heritage architecture team at ERA Architects. She received her Master of Architecture degree from Dalhousie University after completing a Bachelor of Architectural Science degree at Ryerson University. Her graduate thesis examined the feasibility of retrofitting post-war residential towers Toronto's St. Jamestown using a socially and ecologically sustainable program. She has studied and worked in Toronto, Halifax, Dusseldorf and Koln, and participated in a number of national and international design competitions in Canada and Germany.

Amy Calder

Amy Calder is a project manager and heritage planner with ERA Architects. She holds a Master of Arts (Planning) from the University of Waterloo, a Bachelor of Arts (Studio Arts & Art History) from the University of Guelph, and a Certificate in Digital Graphic Design from Humber College. Amy is a strong advocate for collaboration, partnerships, and meaningful engagement in the planning process. As a speaker and facilitator, she works to expand dialogue around how heritage and culture can contribute towards building resilient and inclusive communities across Canada.

Zoe Chapin

Zoe Chapin is a planner with ERA Architects. She received a Bachelor of Arts with majors in Political Science & Geography Urban Systems and a Masters of Urban Planning from McGill University.

APPENDIX II: CONSERVATION DRAWINGS (ERA, 2019)



BASSINGTHWAITE HOUSE CP

10244 BATHURST ST., VAUGHAN, ON

13-106

Issued For
CONSERVATION PLAN

2019-09-11



HERITAGE ARCHITECT

ERA Architects Inc.
625 Church St, Suite 600, Toronto, Ontario, M4Y 2G1

HERITAGE DRAWING LIST

HA000	CONSERVATION NOTES
HA001	SITE PLAN RELOCATION
HA002	SITE PLAN AT NEW LOCATION
HA100	BASEMENT PLAN - EXISTING
HA101	GROUND FLOOR PLAN - EXISTING
HA102	SECOND FLOOR PLAN - EXISTING
HA103	ROOF PLAN - EXISTING
HA104	SOUTH & NORTH ELEVATION - EXISTING
HA105	WEST & EAST ELEVATION - EXISTING
HA200	BASEMENT PLAN - DEMOLITION
HA201	GROUND FLOOR PLAN - DEMOLITION
HA202	SECOND FLOOR PLAN - DEMOLITION
HA203	ROOF PLAN - DEMOLITION
HA204	SOUTH & NORTH ELEVATION - DEMOLITION
HA205	WEST & EAST ELEVATION - DEMOLITION
HA300	BASEMENT PLAN - PROPOSED
HA301	GROUND FLOOR PLAN - PROPOSED
HA302	SECOND FLOOR PLAN - PROPOSED
HA303	ROOF PLAN - PROPOSED
HA304	SOUTH & NORTH ELEVATION - PROPOSED
HA305	WEST & EAST ELEVATION - PROPOSED

CONSERVATION NOTES

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- C-003: DEMOLISH EXISTING c. 1984 BASSINGTHWAITE HOUSE 2 STOREY AND 1 STOREY ADDITION.
- C-004: SALVAGE STONE FROM EXISTING 1-STOREY SMOKEHOUSE STRUCTURE AND DEMOLISH REMAINING BUILDING.
- C-005: STABILIZE EXISTING FRAMING OF BASSINGTHWAITE BEFORE RELOCATION.
- C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
- C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.
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C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

- C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
- C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.
- C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.
- C-104: REMOVE EXISTING PLYWOOD COVERING ON EXISTING RETAINED WINDOWS AND DOORS AND MAKE GOOD OPENINGS.

C-200 MASONRY

- C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.
- C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.
- C-203: REPAIR CRACKS IN BRICKWORK.
- C-204: RESET MASONRY.
- C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED.
- C-206: CONSTRUCT NEW DOOR OPENING IN EXISITNG OPENING.
- C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISITNG OPENING.

C-300 WINDOWS AND DOORS

- C-301: PROVIDE NEW WOOD WINDOWS (TYP).
- C-302: PROVIDE NEW WOOD DOORS (TYP).
- C-303: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE.
- C-304: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES AS REQUIRED (TYP.).

C-400 WOOD, ROOF AND METAL WORK

- C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DETERMINED), ROOF INSULATION, ROOF VENTS AND NEW FLASHINGS.
- C-402: REPAIR EXTERIOR WOOD.
- C-403: PREPARE, PRIME AND PAINT ALL EXTERIOR WOOD (TYP).
- C-404: REPAIR, PRIME AND PAINT EXISTING WOOD SHUTTERS.
- C-405: FABRICATE NEW WOOD SHUTTERS TO MATCH EXISTING.
- C-406: PROVIDE NEW METAL GUTTERS, DOWNSPOUTS AND SPLASH PADS.
- C-407: CONSTRUCT NEW MAIN PORCH.
- C-408: CONSTRUCT NEW STAIR.

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NO.	DATE	REVISION / ISSUANCE
1	2019-08-21	CONSERVATION PLAN - DRAFT
2	2019-09-11	CONSERVATION PLAN

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LEGEND

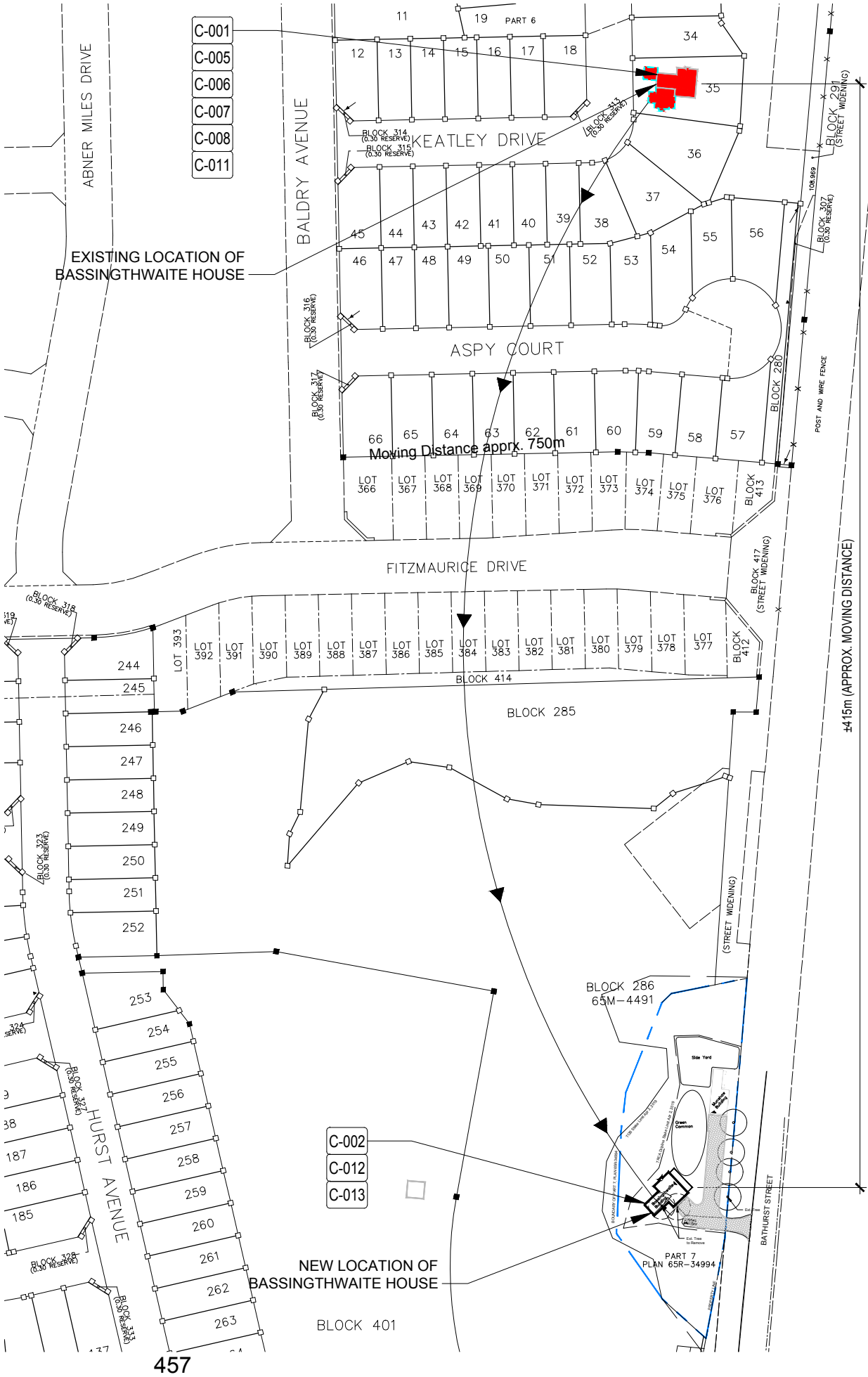


Project	
BASSINGTHWAITE HOUSE CP	
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	
Drawn by	EJ
Reviewed by	JQ
Drawing title	

CONSERVATION NOTES

Sheet no.

HA000



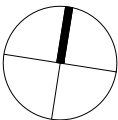
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LEGEND

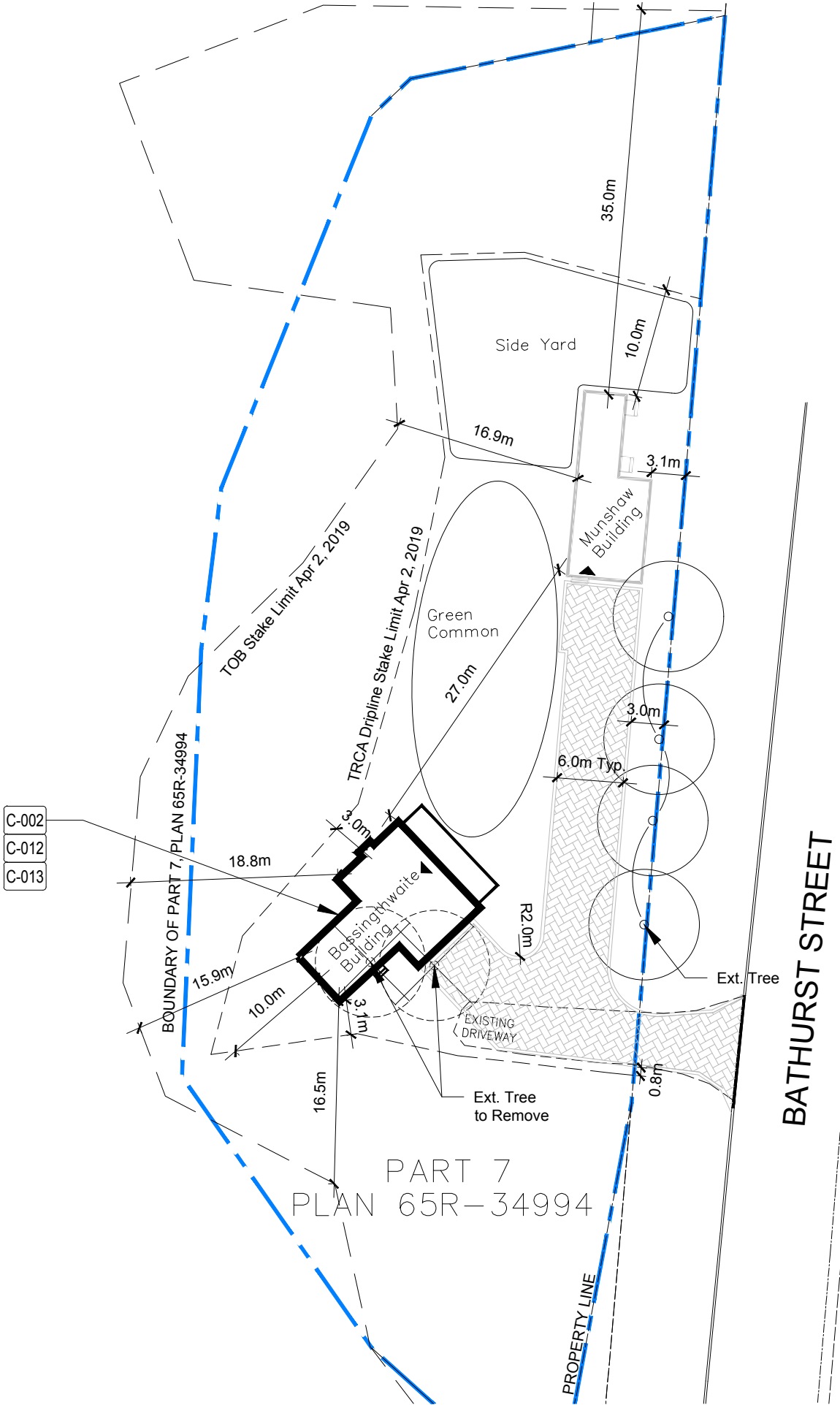
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Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 2000
Drawn by	SC
Reviewed by	JQ
Drawing title	SITE PLAN RELOCATION

Sheet no.

HA001



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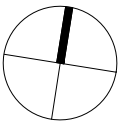
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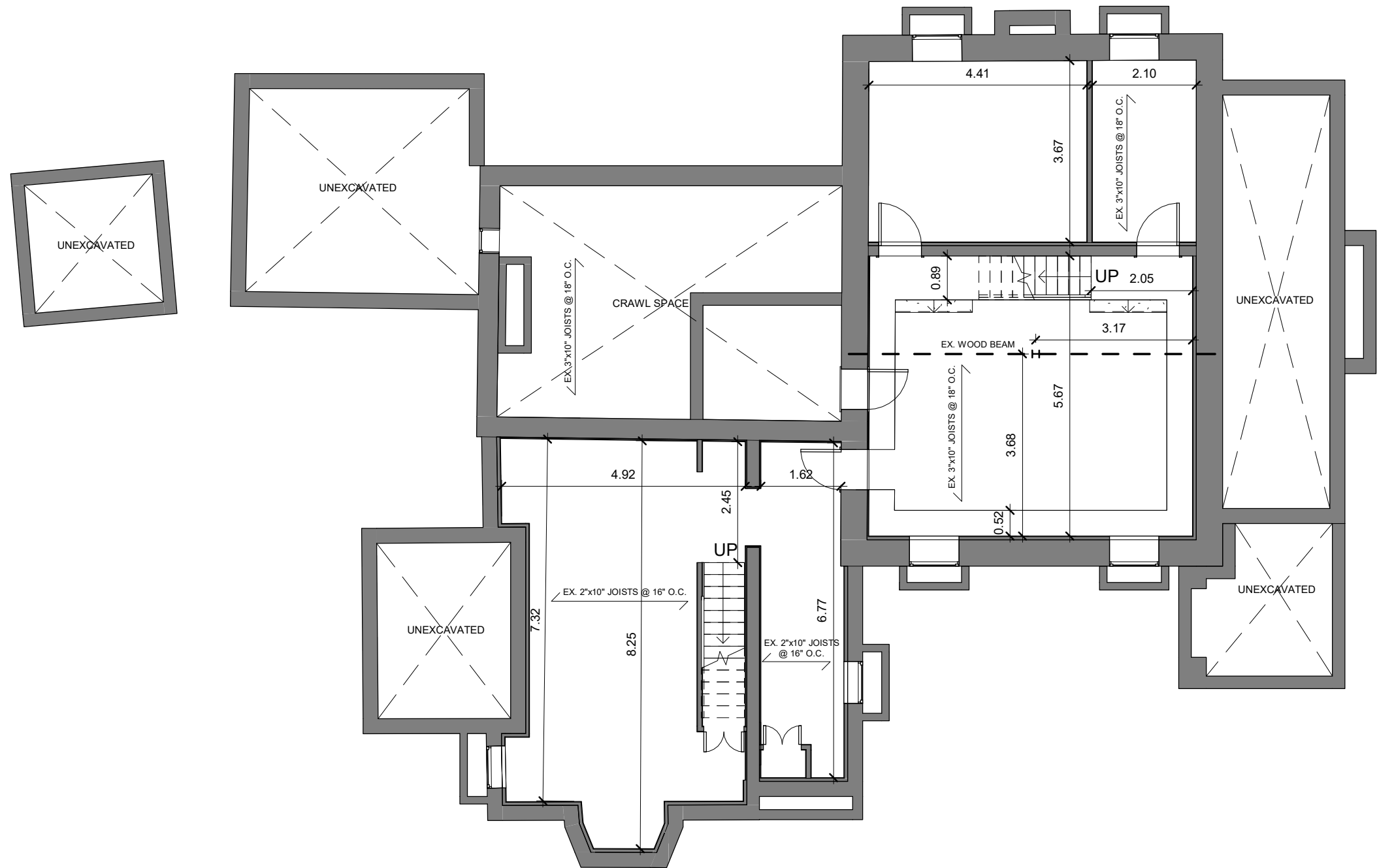
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Project	BASSINGTHWAITE HOUSE CP	
Address	10244 BATHURST ST., VAUGHAN, ON	
For	DG GROUP	
Project no.	13-106	
Scale at 11x17	1 : 500	
Drawn by	SC	
Reviewed by	JQ	
Drawing title	SITE PLAN AT NEW LOCATION	

Sheet no.

HA002



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2	2019-09-11	CONSERVATION PLAN

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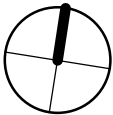
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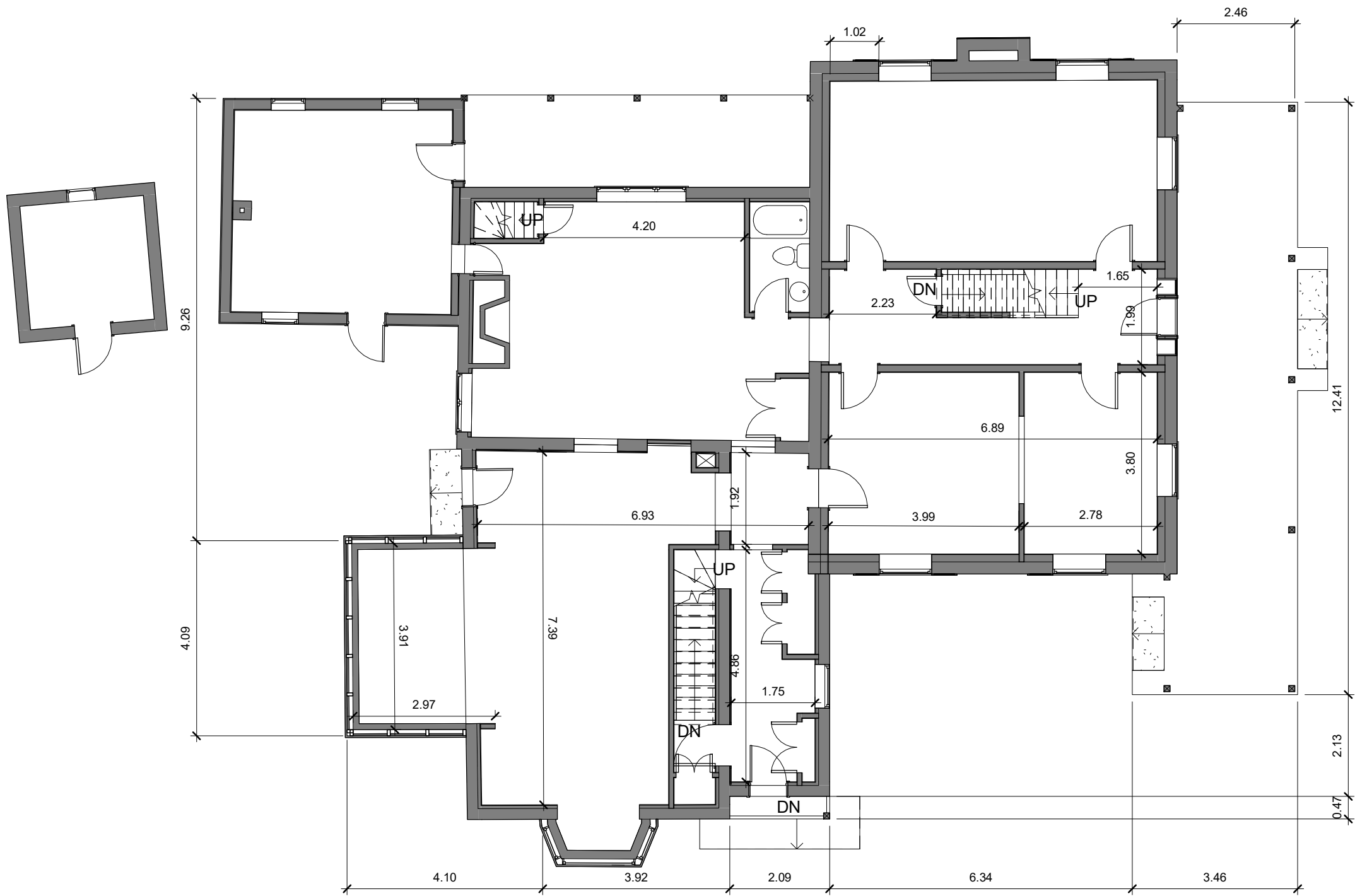
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Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	BASEMENT PLAN - EXISTING

Sheet no.

HA100



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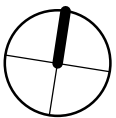
NO.	DATE	REVISION / ISSUANCE
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Project

BASSINGTHWAITE HOUSE CP

Address 10244 BATHURST ST., VAUGHAN, ON

For DG GROUP

Project no. 13-106

Scale at 11x17 1 : 100

Drawn by EJ

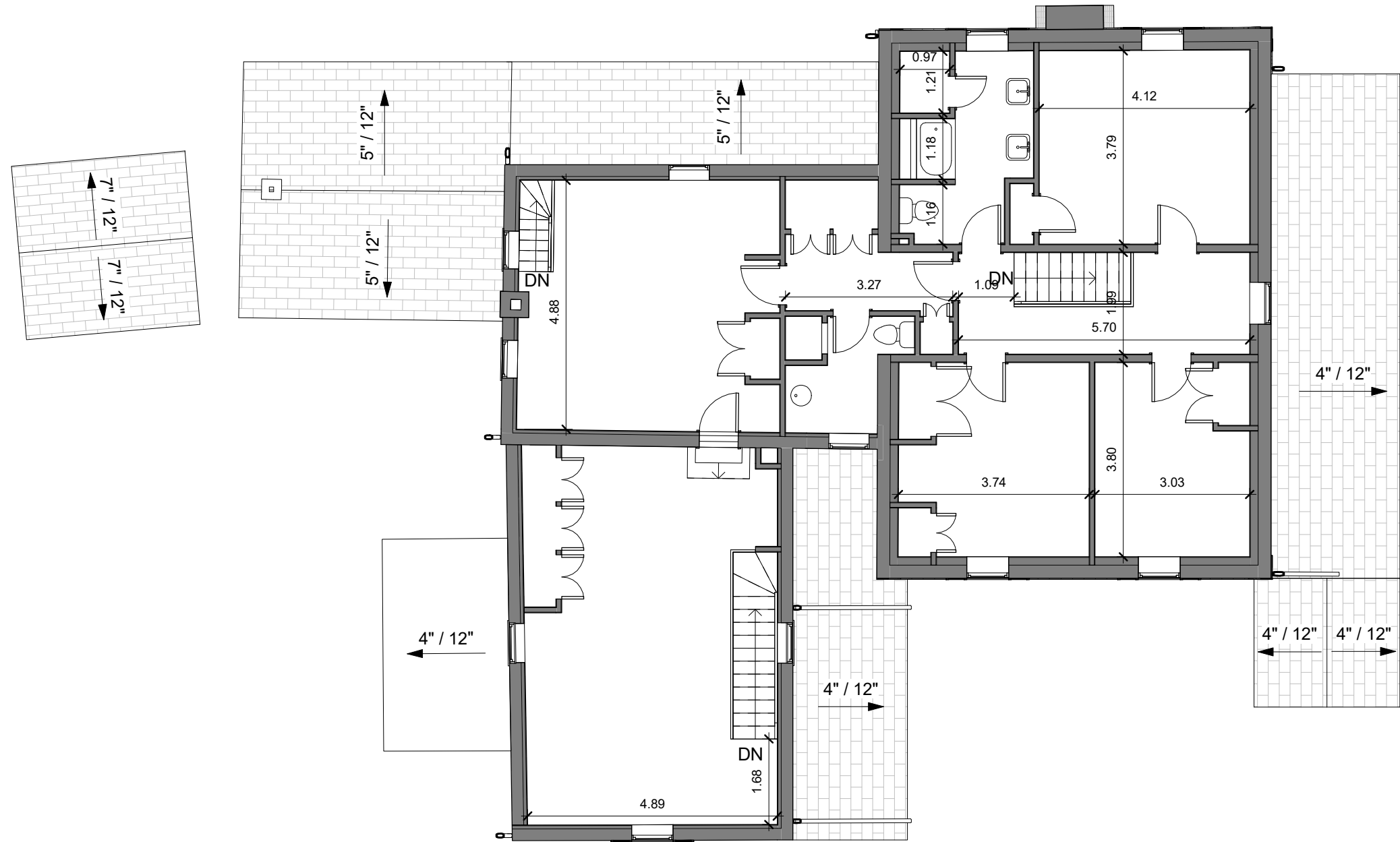
Reviewed by JQ

Drawing title

GROUND FLOOR PLAN - EXISTING

Sheet no.

HA101



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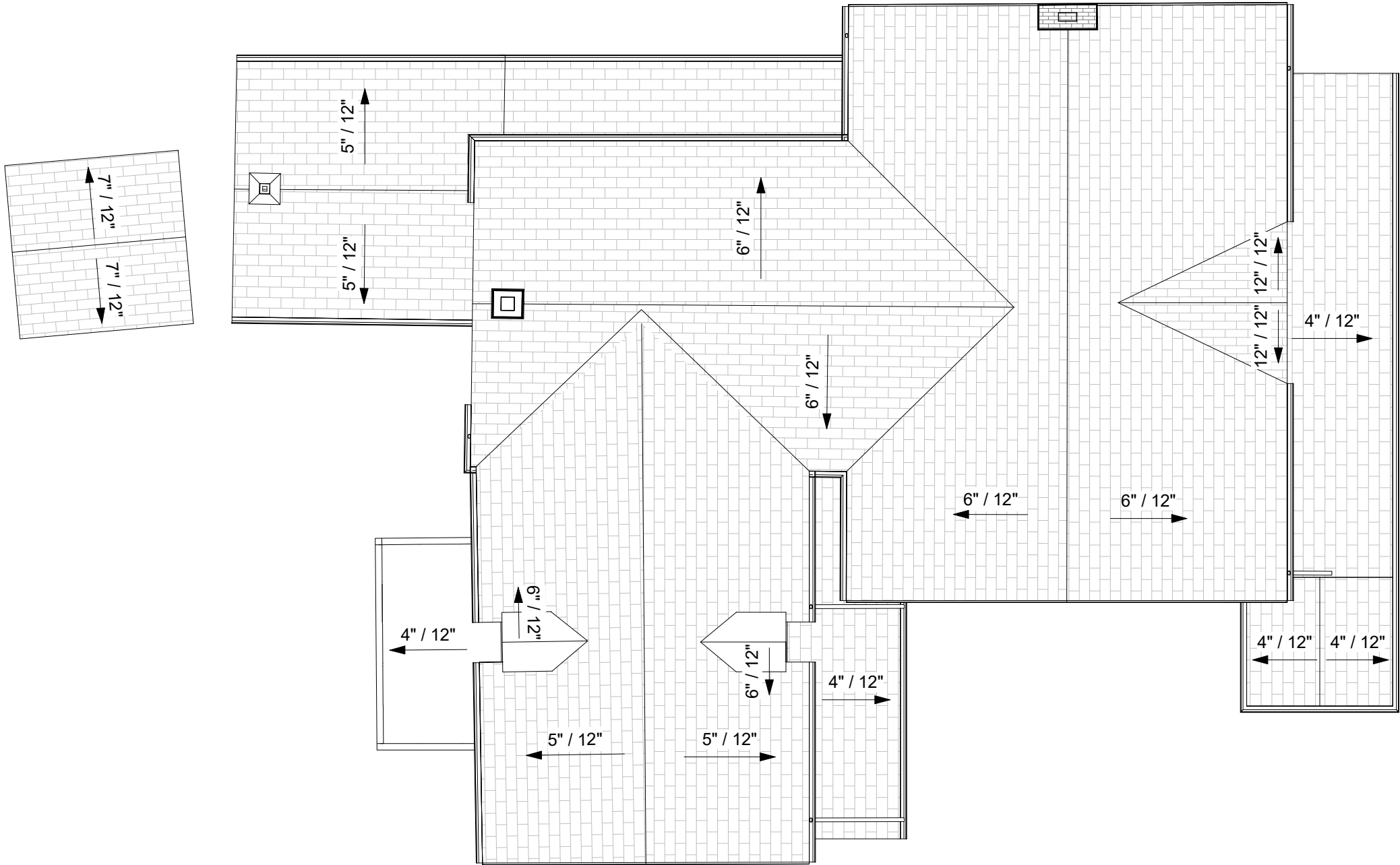


Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

SECOND FLOOR PLAN - EXISTING

Sheet no.

HA102



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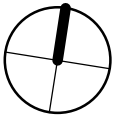
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Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	ROOF PLAN - EXISTING

Sheet no.

HA103



NORTH ELEVATION - EXISTING

2

HA104

1 : 100



SOUTH ELEVATION - EXISTING

1

HA104

1 : 100

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Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

SOUTH & NORTH ELEVATION - EXISTING

Sheet no.

HA104



EAST ELEVATION - EXISTING

1 : 100

2

HA105



WEST ELEVATION - EXISTING

1 : 100

1

HA105

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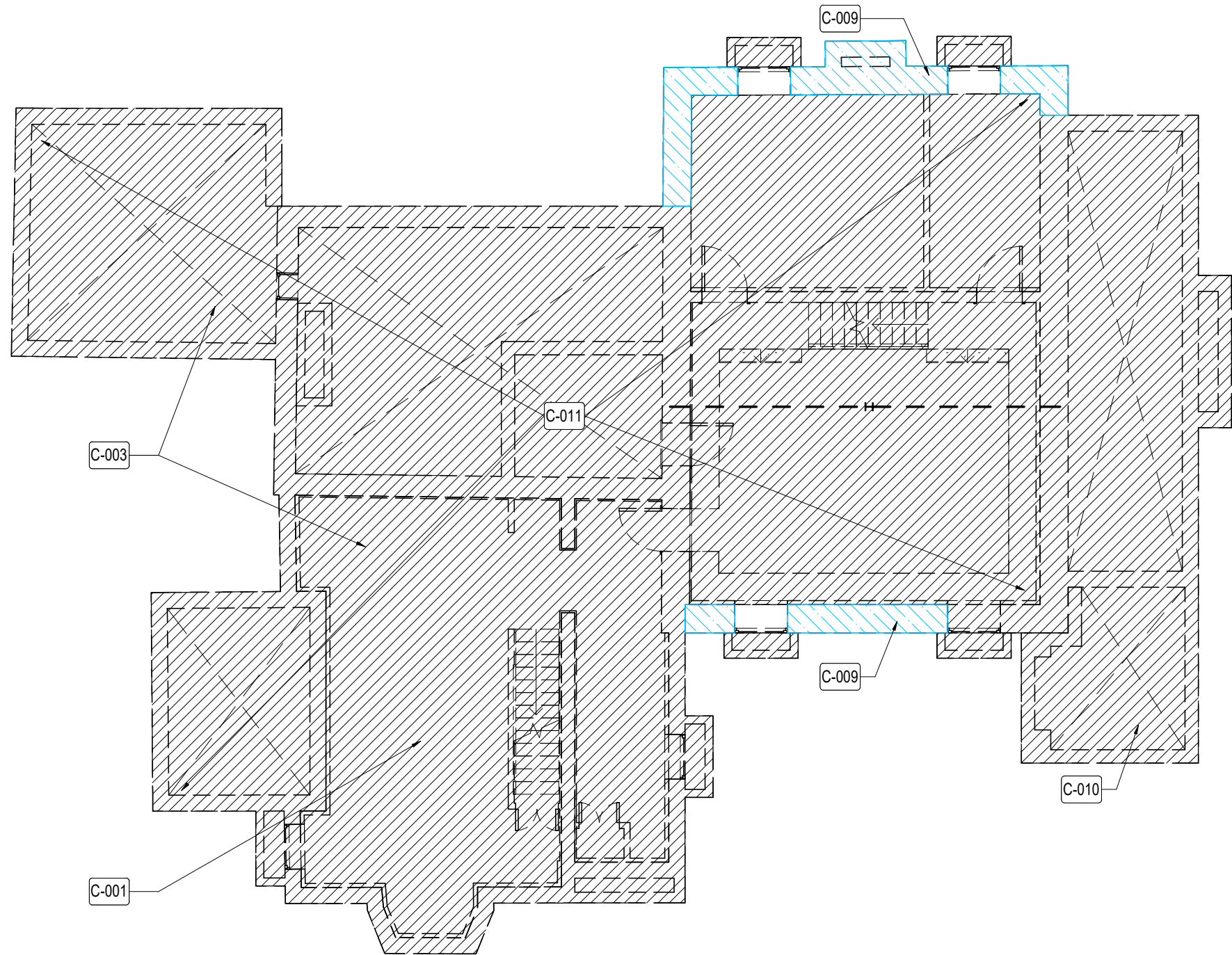
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Project	BASSINGTHWAITE HOUSE CP
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Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

WEST & EAST ELEVATION -
EXISTING

Sheet no.

HA105



CONSERVATION NOTES

C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION

C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.

C-002: RETAIN ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOOTPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.

C-003: DEMOLISH EXISTING c. 1984 BASSINGTHWAITE HOUSE 2 STOREY AND 1 STOREY ADDITION.

C-004: SALVAGE STONE FROM EXISTING 1-STOREY SMOKEHOUSE STRUCTURE AND DEMOLISH REMAINING BUILDING.

C-005: STABILIZE EXISTING FRAMING OF BASSINGTHWAITE BEFORE RELOCATION.

C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.

C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.

C-009: SALVAGE BRICKS FROM ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOUNDATION FOR REUSE AND DEMOLISH REMAINING BASEMENT.

C-010: DEMOLISH EXISTING PORCHES

C-011: DEMOLISH AND INFILL EXISTING BASEMENT.

C-012: ENSURE NEW SITE GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.

C-013: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.

C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.

C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-200 MASONRY

C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.

C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.

C-203: REPAIR CRACKS IN BRICKWORK.

C-204: RESET MASONRY.

C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED

C-206: CONSTRUCT NEW DOOR OPENING IN EXISITNG OPENING.

C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISITNG OPENING.

C-300 WINDOWS AND DOORS

C-301: PROVIDE NEW WOOD WINDOWS (TYP)

C-302: PROVIDE NEW WOOD DOORS (TYP)

C-303: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE.

C-304: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES AS REQUIRED (TYP.)

C-400 WOOD, ROOF AND METAL WORK

C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DETERMINED), ROOF INSULATION, ROOF VENTS AND NEW FLASHINGS.

C-402: REPAIR EXTERIOR WOOD.

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C-408: CONSTRUCT NEW STAIR.

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2 2019-09-11 CONSERVATION PLAN

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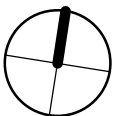
	EXISTING TO BE RETAINED IN SITU
	DEMOLISH
	SALVAGE

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Project

BASSINGTHWAITE HOUSE CP

Address 10244 BATHURST ST., VAUGHAN, ON

For DG GROUP

Project no. 13-106

Scale at 11x17 1 : 100

Drawn by EJ

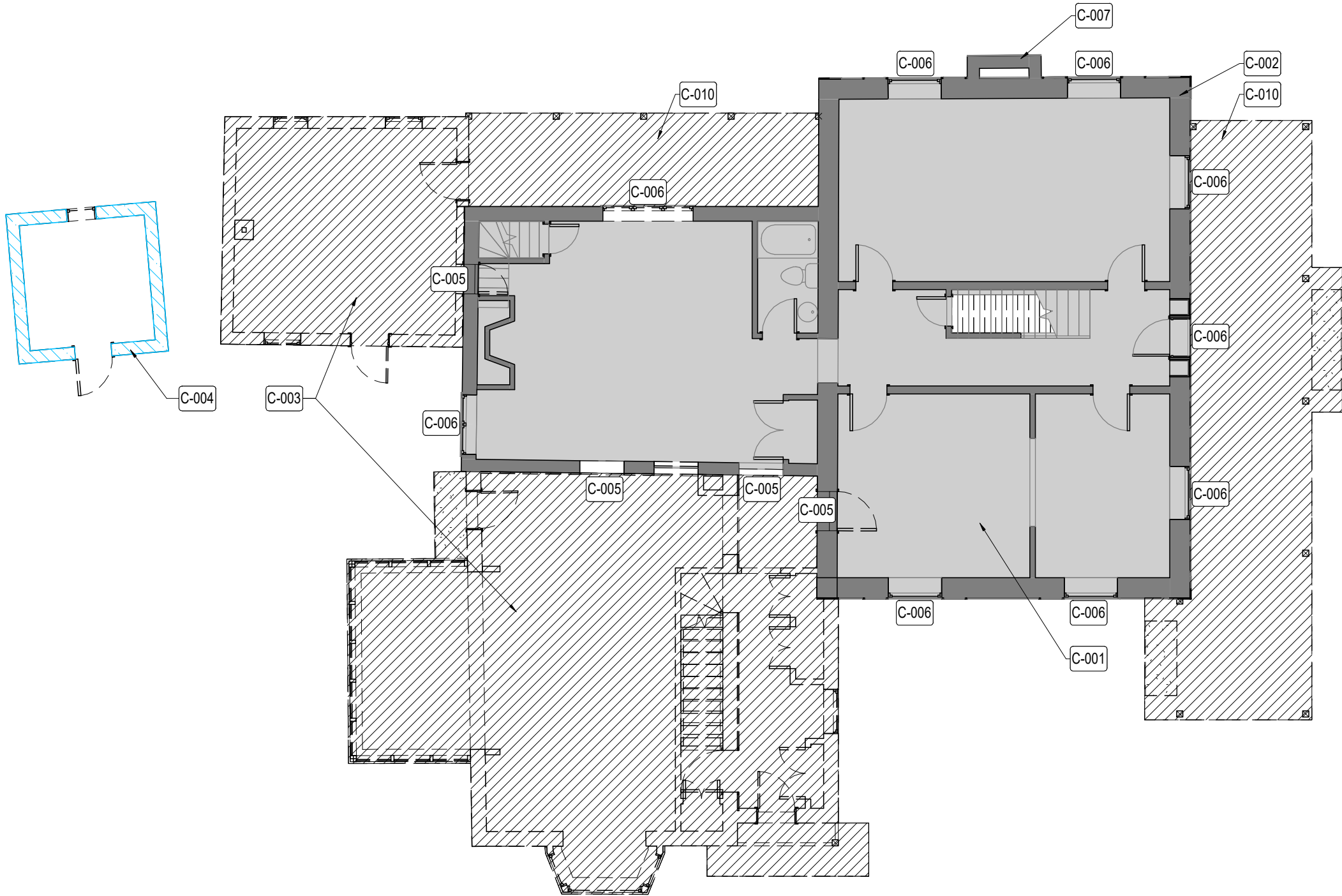
Reviewed by JQ

Drawing title

BASEMENT PLAN - DEMOLITION

Sheet no.

HA200



CONSERVATION NOTES

C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION

C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.

C-002: RETAIN ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOOTPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.

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C-004: SALVAGE STONE FROM EXISTING 1-STOREY SMOKEHOUSE STRUCTURE AND DEMOLISH REMAINING BUILDING.

C-005: STABILIZE EXISTING FRAMING OF BASSINGTHWAITE BEFORE RELOCATION.

C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.

C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.

C-009: SALVAGE BRICKS FROM ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOUNDATION FOR REUSE AND DEMOLISH REMAINING BASEMENT.

C-010: DEMOLISH EXISTING PORCHES

C-011: DEMOLISH AND INFILL EXISTING BASEMENT.

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C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.

C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

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C-407: CONSTRUCT NEW MAIN PORCH.


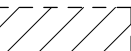

C-408: CONSTRUCT NEW STAIR.

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	EXISTING TO BE RETAINED IN SITU
	DEMOLISH
	SALVAGE

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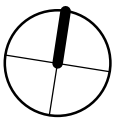
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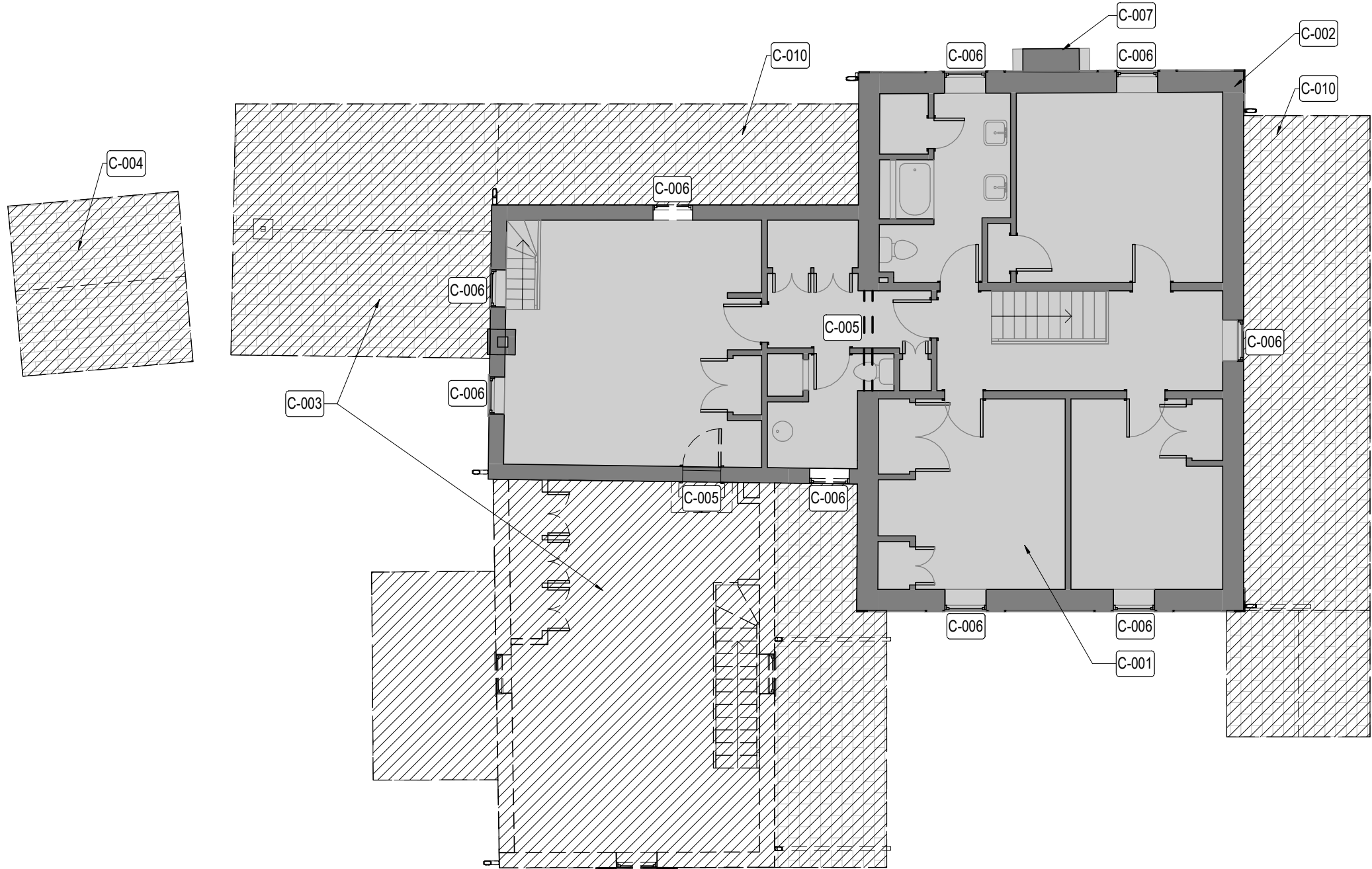


Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

GROUND FLOOR PLAN -
DEMOLITION

Sheet no.

HA201



CONSERVATION NOTES

C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION

C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.

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C-010: DEMOLISH EXISTING PORCHES

C-011: DEMOLISH AND INFILL EXISTING BASEMENT.

C-012: ENSURE NEW SITE GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.

C-013: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.

C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.

C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-200 MASONRY

C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.

C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.

C-203: REPAIR CRACKS IN BRICKWORK

C-204: RESET MASONRY.

C-205: REPOINT MORTAR. ASSESS RETAINED FACADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED

C-206: CONSTRUCT NEW DOOR OPENING IN EXISITNG OPENING.

C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISITNG OPENING.

C-300 WINDOWS AND DOORS

C-301: PROVIDE NEW WOOD WINDOWS (TYP)

C-302: PROVIDE NEW WOOD DOORS (TYP)

C-303: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE.

C-304: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES AS REQUIRED (TYP.)

C-400 WOOD, ROOF AND METAL WORK

C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DETERMINED), ROOF INSULATION, ROOF VENTS AND NEW FLASHINGS.

C-402: REPAIR EXTERIOR WOOD.

C-403: PREPARE, PRIME AND PAINT ALL EXTERIOR WOOD (TYP).

C-404: REPAIR, PRIME AND PAINT EXISTING WOOD SHUTTERS.

C-405: FABRICATE NEW WOOD SHUTTERS TO MATCH EXISTING.

C-406: PROVIDE NEW METAL GUTTERS, DOWNSPOUTS AND SPLASH PADS.

C-407: CONSTRUCT NEW MAIN PORCH.


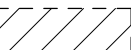

C-408: CONSTRUCT NEW STAIR.

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2	2019-09-11	CONSERVATION PLAN

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LEGEND

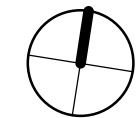
	EXISTING TO BE RETAINED IN SITU
	DEMOLISH
	SALVAGE



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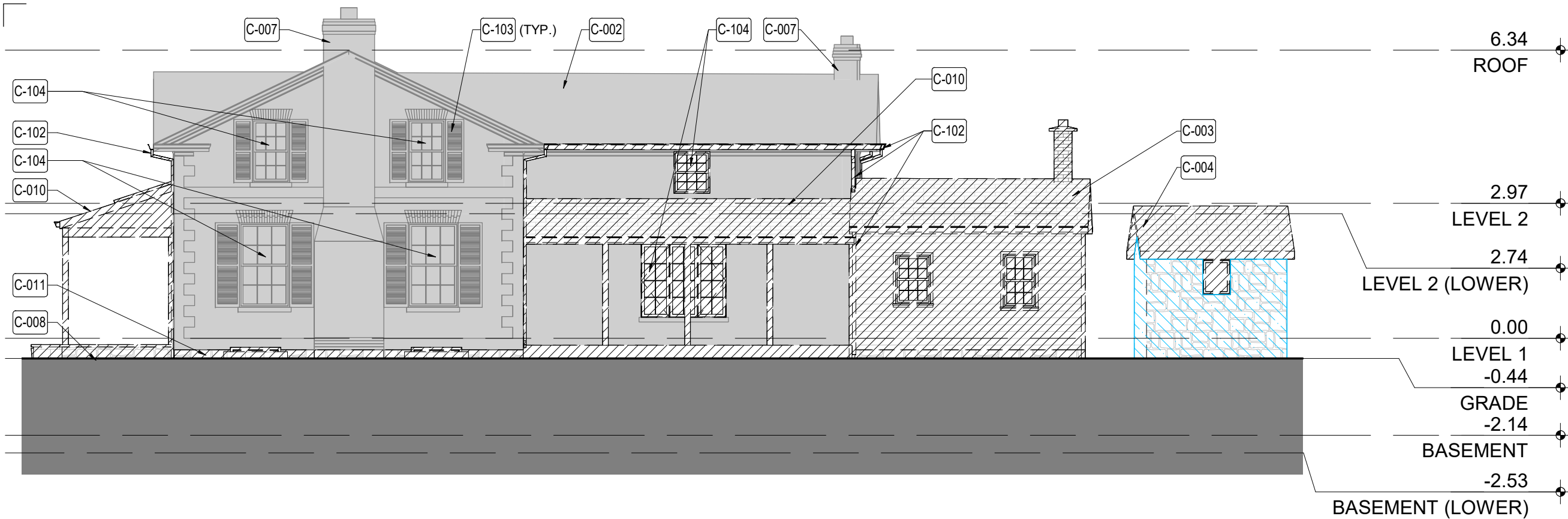


Project	
BASSINGTHWAITE HOUSE CP	
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

SECOND FLOOR PLAN -
DEMOLITION

Sheet no.

HA202

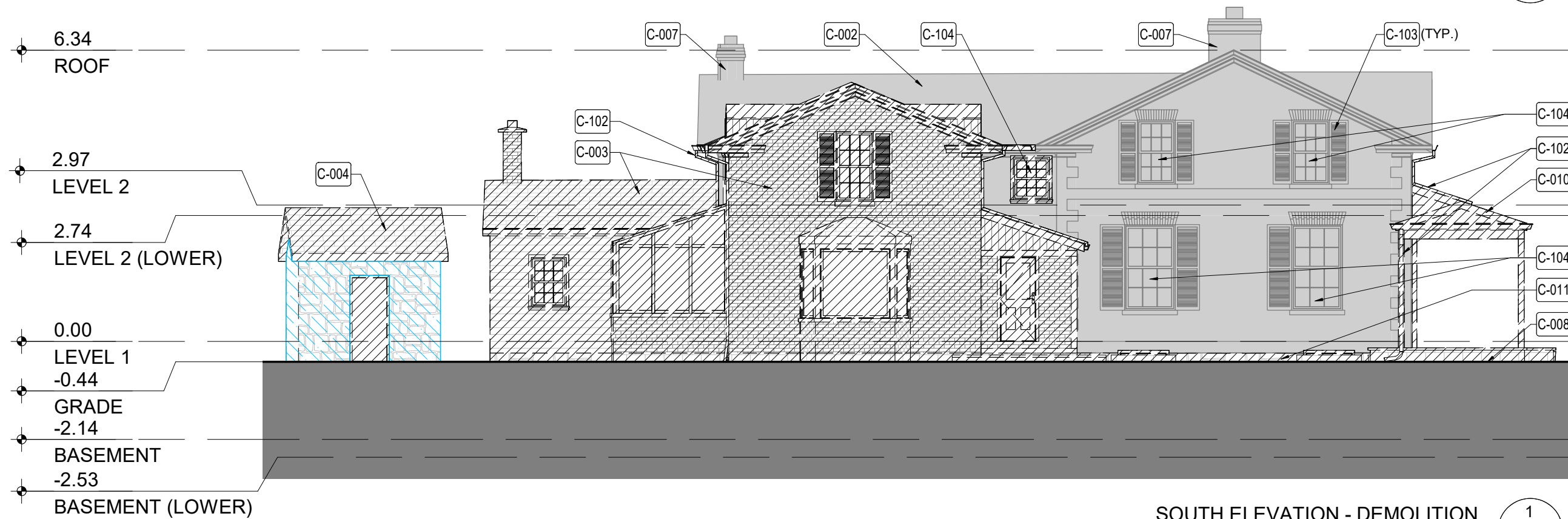


NORTH ELEVATION - DEMOLITION

1 : 100

2

HA204



SOUTH ELEVATION - DEMOLITION

1 : 100

1

HA204

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Project	BASSINGTHWAITE HOUSE CP
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For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

SOUTH & NORTH ELEVATION - DEMOLITION

Sheet no.

HA204



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	SALVAGE

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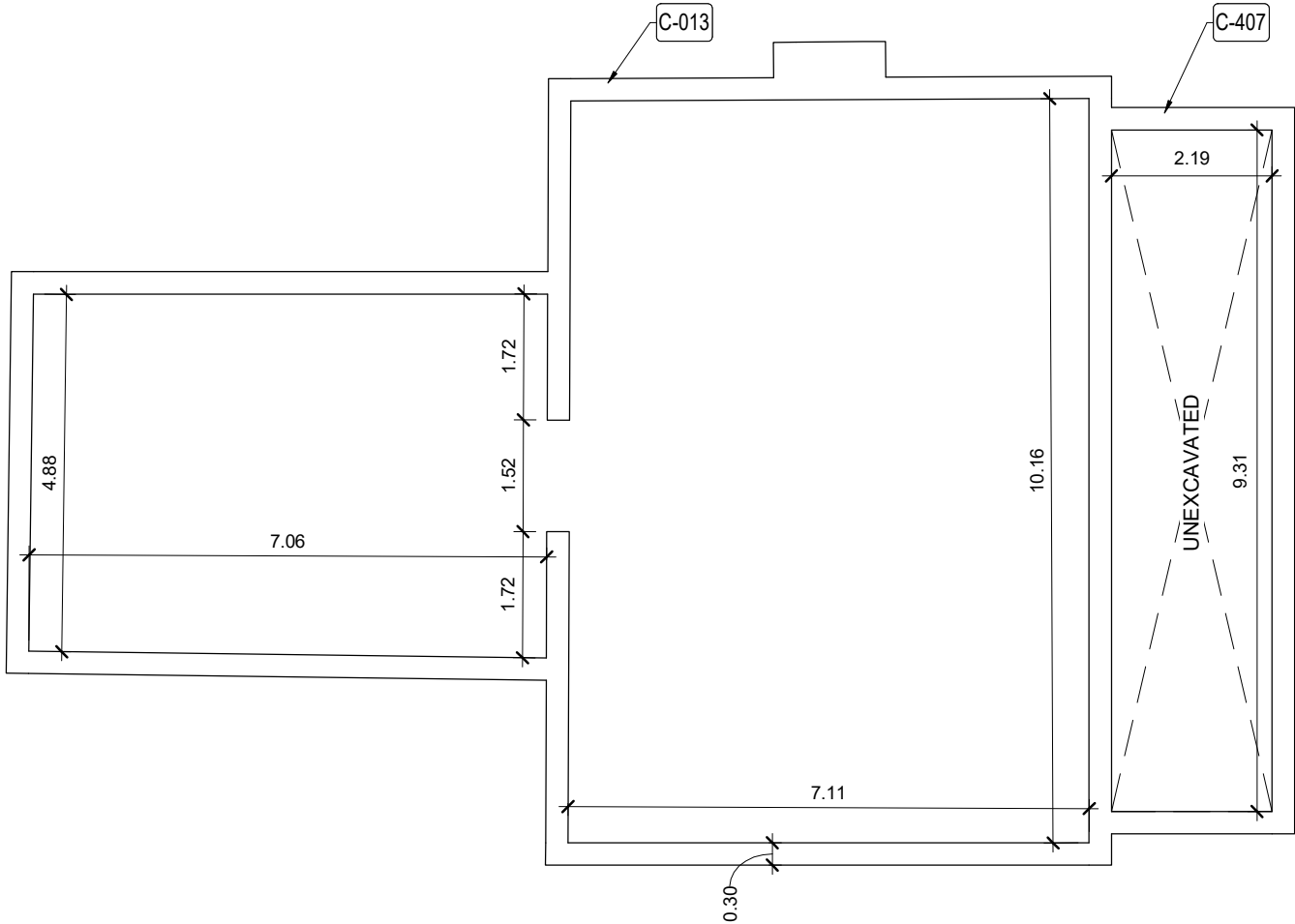
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Project	BASSINGTHWAITE HOUSE CP
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Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

WEST & EAST ELEVATION - DEMOLITION

Sheet no.

HA205



CONSERVATION NOTES

C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION

C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.

C-002: RETAIN ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOOTPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.

C-003: DEMOLISH EXISTING c. 1984 BASSINGTHWAITE HOUSE 2 STOREY AND 1 STOREY ADDITION.

C-004: SALVAGE STONE FROM EXISTING 1-STOREY SMOKEHOUSE STRUCTURE AND DEMOLISH REMAINING BUILDING.

C-005: STABILIZE EXISTING FRAMING OF BASSINGTHWAITE BEFORE RELOCATION.

C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.

C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.

C-009: SALVAGE BRICKS FROM ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOUNDATION FOR REUSE AND DEMOLISH REMAINING BASEMENT.

C-010: DEMOLISH EXISTING PORCHES

C-011: DEMOLISH AND INFILL EXISTING BASEMENT.

C-012: ENSURE NEW SITE GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.

C-013: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.

C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.

C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-200 MASONRY

C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.

C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.

C-203: REPAIR CRACKS IN BRICKWORK

C-204: RESET MASONRY.

C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED

C-206: CONSTRUCT NEW DOOR OPENING IN EXISITNG OPENING.

C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISITNG OPENING.

C-300 WINDOWS AND DOORS

C-301: PROVIDE NEW WOOD WINDOWS (TYP)

C-302: PROVIDE NEW WOOD DOORS (TYP)

C-303: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE.

C-304: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES AS REQUIRED (TYP.)

C-400 WOOD, ROOF AND METAL WORK

C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DETERMINED), ROOF INSULATION, ROOF VENTS AND NEW FLASHINGS.

C-402: REPAIR EXTERIOR WOOD.

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C-405: FABRICATE NEW WOOD SHUTTERS TO MATCH EXISTING.

C-406: PROVIDE NEW METAL GUTTERS, DOWNSPOUTS AND SPLASH PADS.

C-407: CONSTRUCT NEW MAIN PORCH.

C-408: CONSTRUCT NEW STAIR.

CONSERVATION REPAIR LEGEND

BRICKWORK



NEW BRICKWORK TO MATCH EXISTING



REPAIR BRICKWORK



REPAIR CRACK IN BRICKWORK

WOOD



REPAIR EXTERIOR WOOD

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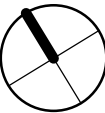
LEGEND



EXISTING TO BE RETAINED



NEW CONSTRUCTION

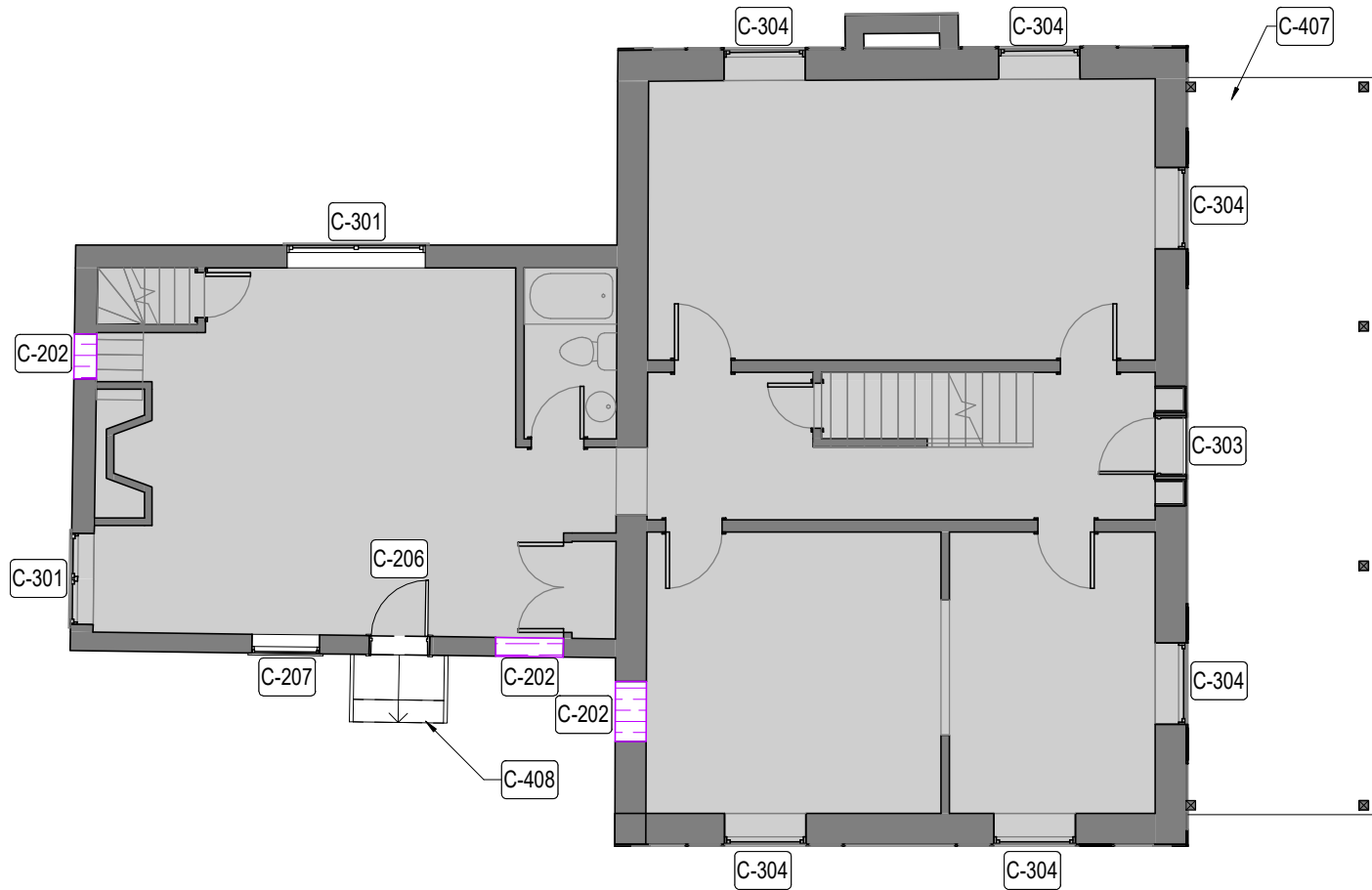


Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1:100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

BASEMENT PLAN - PROPOSED

Sheet no.

HA300



CONSERVATION NOTES

C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION

C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.

C-002: RETAIN ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOOTPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.

C-003: DEMOLISH EXISTING c. 1984 BASSINGTHWAITE HOUSE 2 STOREY AND 1 STOREY ADDITION.

C-004: SALVAGE STONE FROM EXISTING 1-STOREY SMOKEHOUSE STRUCTURE AND DEMOLISH REMAINING BUILDING.

C-005: STABILIZE EXISTING FRAMING OF BASSINGTHWAITE BEFORE RELOCATION.

C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.

C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.

C-009: SALVAGE BRICKS FROM ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOUNDATION FOR REUSE AND DEMOLISH REMAINING BASEMENT.

C-010: DEMOLISH EXISTING PORCHES

C-011: DEMOLISH AND INFILL EXISTING BASEMENT.

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C-013: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.

C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.

C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-200 MASONRY

C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.

C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.

C-203: REPAIR CRACKS IN BRICKWORK

C-204: RESET MASONRY.

C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED

C-206: CONSTRUCT NEW DOOR OPENING IN EXISITNG OPENING.

C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISITNG OPENING.

C-300 WINDOWS AND DOORS

C-301: PROVIDE NEW WOOD WINDOWS (TYP)

C-302: PROVIDE NEW WOOD DOORS (TYP)

C-303: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE.

C-304: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES AS REQUIRED (TYP.)

C-400 WOOD, ROOF AND METAL WORK

C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DETERMINED), ROOF INSULATION, ROOF VENTS AND NEW FLASHINGS.

C-402: REPAIR EXTERIOR WOOD.

C-403: PREPARE, PRIME AND PAINT ALL EXTERIOR WOOD (TYP).

C-404: REPAIR, PRIME AND PAINT EXISTING WOOD SHUTTERS.

C-405: FABRICATE NEW WOOD SHUTTERS TO MATCH EXISTING.

C-406: PROVIDE NEW METAL GUTTERS, DOWNSPOUTS AND SPLASH PADS.

C-407: CONSTRUCT NEW MAIN PORCH.

C-408: CONSTRUCT NEW STAIR.

CONSERVATION REPAIR LEGEND

BRICKWORK

NEW BRICKWORK TO MATCH EXISTING

REPAIR BRICKWORK

REPAIR CRACK IN BRICKWORK

WOOD

REPAIR EXTERIOR WOOD

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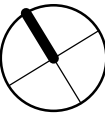
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2	2019-09-11	CONSERVATION PLAN

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LEGEND

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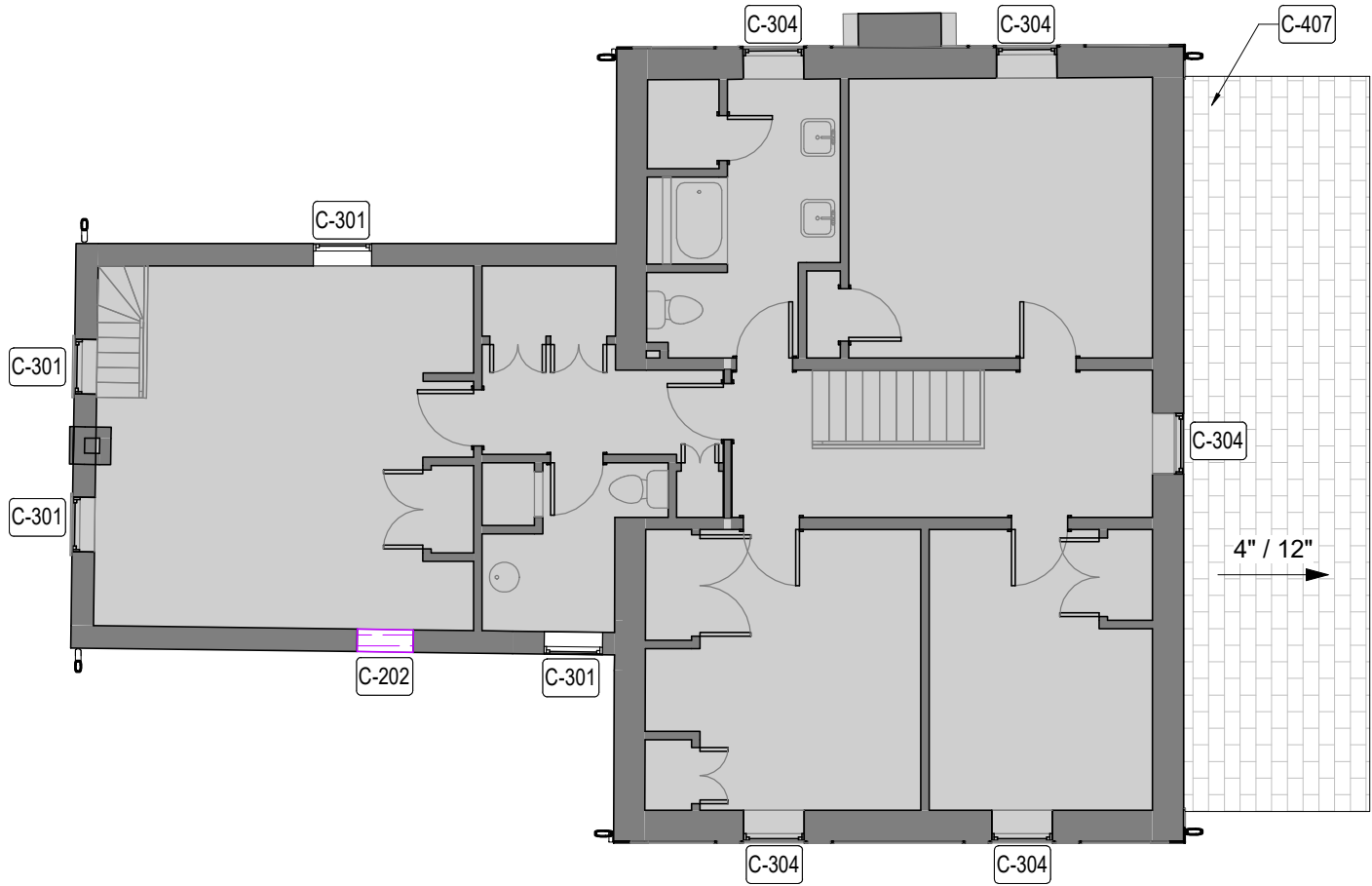


Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1:100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

GROUND FLOOR PLAN - PROPOSED

Sheet no.

HA301



CONSERVATION NOTES

- C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION
- C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.
- C-002: RETAIN ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOORPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.
- C-003: DEMOLISH EXISTING c. 1984 BASSINGTHWAITE HOUSE 2 STOREY AND 1 STOREY ADDITION.
- C-004: SALVAGE STONE FROM EXISTING 1-STOREY SMOKEHOUSE STRUCTURE AND DEMOLISH REMAINING BUILDING.
- C-005: STABILIZE EXISTING FRAMING OF BASSINGTHWAITE BEFORE RELOCATION.
- C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
- C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.
- C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.
- C-009: SALVAGE BRICKS FROM ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOUNDATION FOR REUSE AND DEMOLISH REMAINING BASEMENT.
- C-010: DEMOLISH EXISTING PORCHES
- C-011: DEMOLISH AND INFILL EXISTING BASEMENT.
- C-012: ENSURE NEW SITE GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.
- C-013: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

- C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)
- C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
- C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.
- C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.
- C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
- C-200 MASONRY
- C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.
- C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.
- C-203: REPAIR CRACKS IN BRICKWORK
- C-204: RESET MASONRY.
- C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED
- C-206: CONSTRUCT NEW DOOR OPENING IN EXISITNG OPENING.
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- C-300 WINDOWS AND DOORS
- C-301: PROVIDE NEW WOOD WINDOWS (TYP)
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- C-407: CONSTRUCT NEW MAIN PORCH.
- C-408: CONSTRUCT NEW STAIR.

CONSERVATION REPAIR LEGEND

- BRICKWORK**
- NEW BRICKWORK TO MATCH EXISTING
- REPAIR BRICKWORK
- REPAIR CRACK IN BRICKWORK
- WOOD**
- REPAIR EXTERIOR WOOD

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LEGEND

- EXISTING TO BE RETAINED
- NEW CONSTRUCTION

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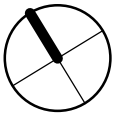
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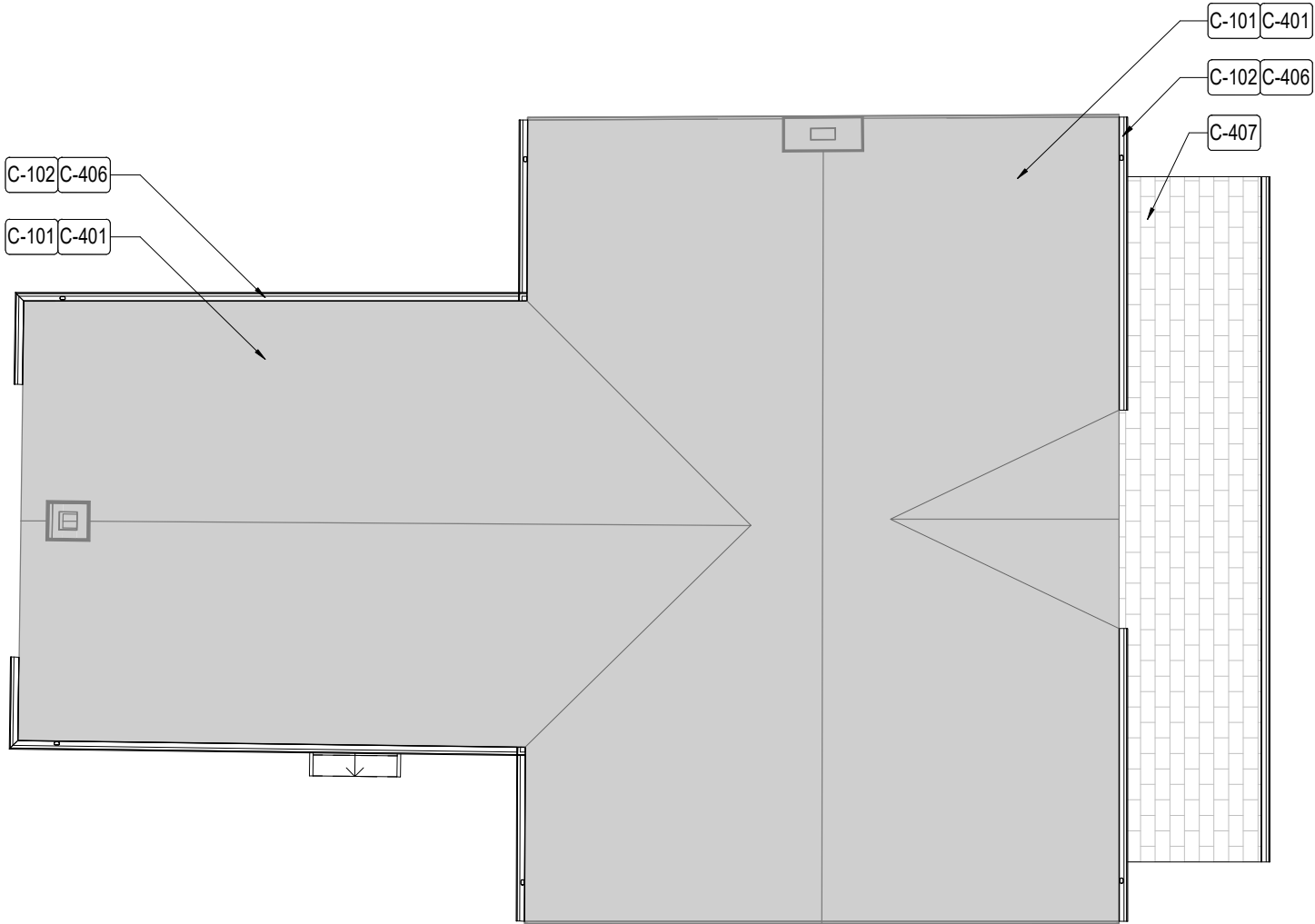


Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1:100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

SECOND FLOOR PLAN - PROPOSED

Sheet no.

HA302



CONSERVATION NOTES

- C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION**
- C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.
- C-002: RETAIN ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOOTPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.
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- C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.
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- C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)**
- C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
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- C-203: REPAIR CRACKS IN BRICKWORK
- C-204: RESET MASONRY.
- C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED
- C-206: CONSTRUCT NEW DOOR OPENING IN EXISITNG OPENING.
- C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISITNG OPENING.

- C-300 WINDOWS AND DOORS**
- C-301: PROVIDE NEW WOOD WINDOWS (TYP)
- C-302: PROVIDE NEW WOOD DOORS (TYP)
- C-303: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE.
- C-304: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES AS REQUIRED (TYP.)
- C-400 WOOD, ROOF AND METAL WORK**
- C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DETERMINED), ROOF INSULATION, ROOF VENTS AND NEW FLASHINGS.
- C-402: REPAIR EXTERIOR WOOD.
- C-403: PREPARE, PRIME AND PAINT ALL EXTERIOR WOOD (TYP).
- C-404: REPAIR, PRIME AND PAINT EXISTING WOOD SHUTTERS.
- C-405: FABRICATE NEW WOOD SHUTTERS TO MATCH EXISTING.
- C-406: PROVIDE NEW METAL GUTTERS, DOWNSPOUTS AND SPLASH PADS.
- C-407: CONSTRUCT NEW MAIN PORCH.
- C-408: CONSTRUCT NEW STAIR.

CONSERVATION REPAIR LEGEND

- BRICKWORK**
- NEW BRICKWORK TO MATCH EXISTING
- REPAIR BRICKWORK
- REPAIR CRACK IN BRICKWORK
- WOOD**
- REPAIR EXTERIOR WOOD

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NO.	DATE	REVISION / ISSUANCE
1	2019-08-21	CONSERVATION PLAN - DRAFT
2	2019-09-11	CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND

- EXISTING TO BE RETAINED
- NEW CONSTRUCTION

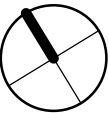
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E.R.A. Architects Inc.

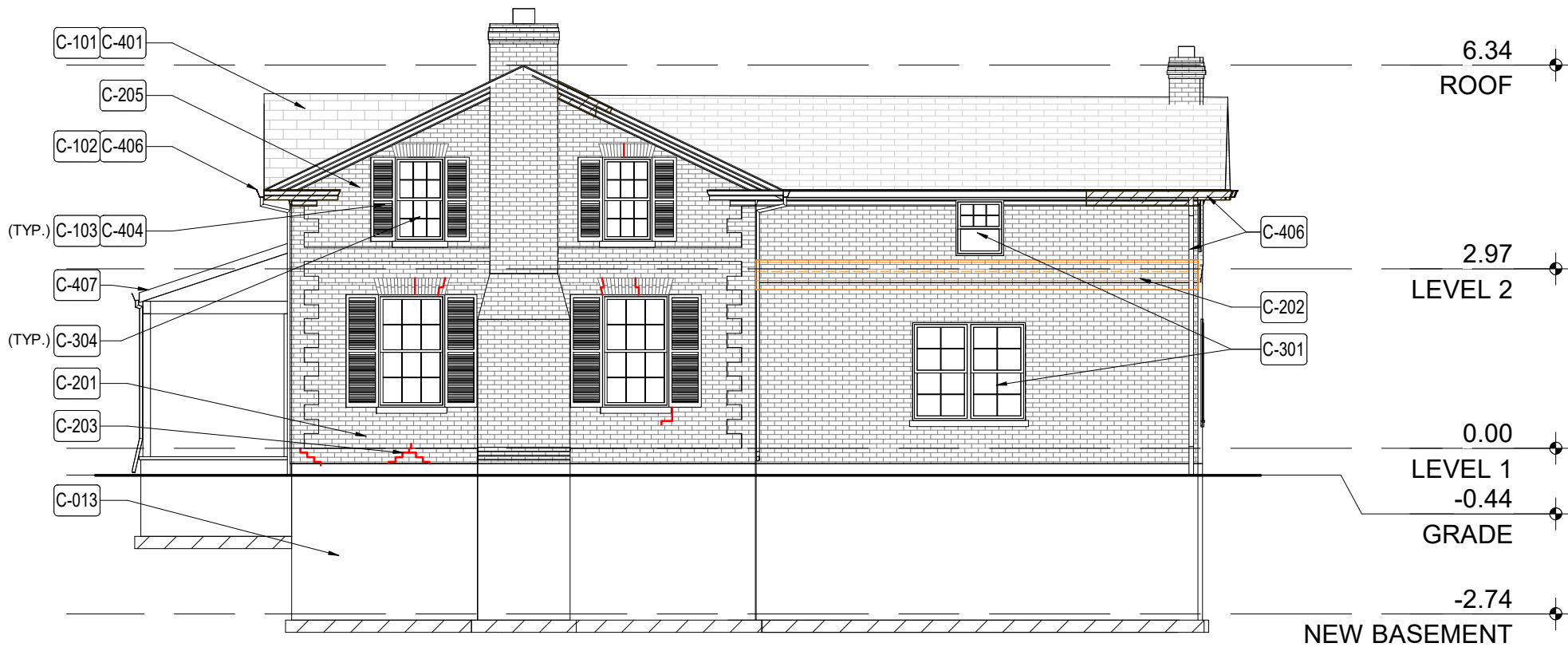


Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1:100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

ROOF PLAN - PROPOSED

Sheet no.

HA303



NORTH ELEVATION - PROPOSED

1 : 100

2

HA304



SOUTH ELEVATION - PROPOSED

1 : 100

1

HA304

CONSERVATION NOTES

C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION

C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.

C-002: RETAIN ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOOTPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.

C-003: DEMOLISH EXISTING c. 1984 BASSINGTHWAITE HOUSE 2 STOREY AND 1 STOREY ADDITION.

C-004: SALVAGE STONE FROM EXISTING 1-STOREY SMOKEHOUSE STRUCTURE AND DEMOLISH REMAINING BUILDING.

C-005: STABILIZE EXISTING FRAMING OF BASSINGTHWAITE BEFORE RELOCATION.

C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.

C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.

C-009: SALVAGE BRICKS FROM ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOUNDATION FOR REUSE AND DEMOLISH REMAINING BASEMENT.

C-010: DEMOLISH EXISTING PORCHES

C-011: DEMOLISH AND INFILL EXISTING BASEMENT.

C-012: ENSURE NEW SITE GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.

C-013: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.

C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.

C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-200 MASONRY

C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.

C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.

C-203: REPAIR CRACKS IN BRICKWORK

C-204: RESET MASONRY.

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CONSERVATION REPAIR LEGEND

BRICKWORK

NEW BRICKWORK TO MATCH EXISTING

REPAIR BRICKWORK

REPAIR CRACK IN BRICKWORK

WOOD

REPAIR EXTERIOR WOOD

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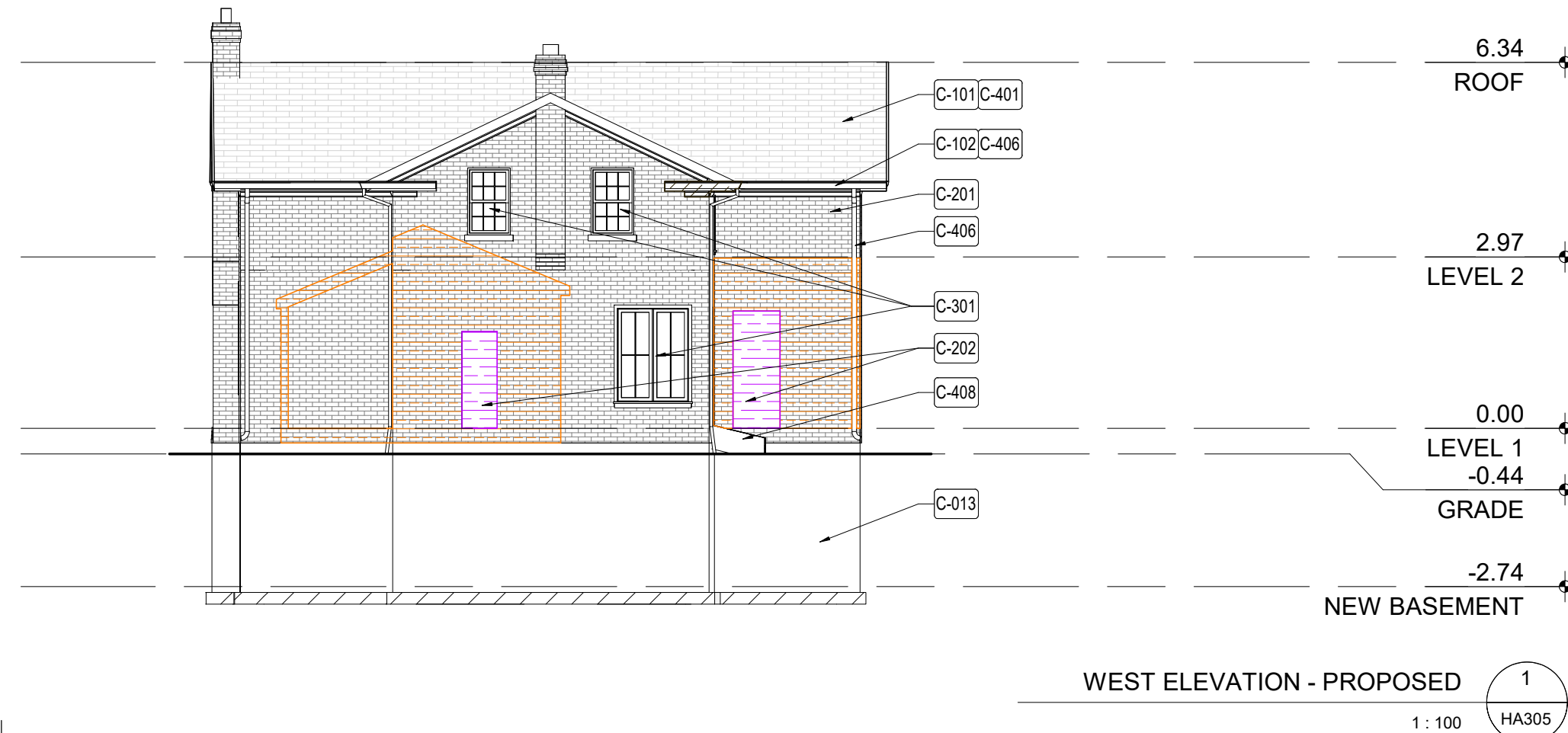
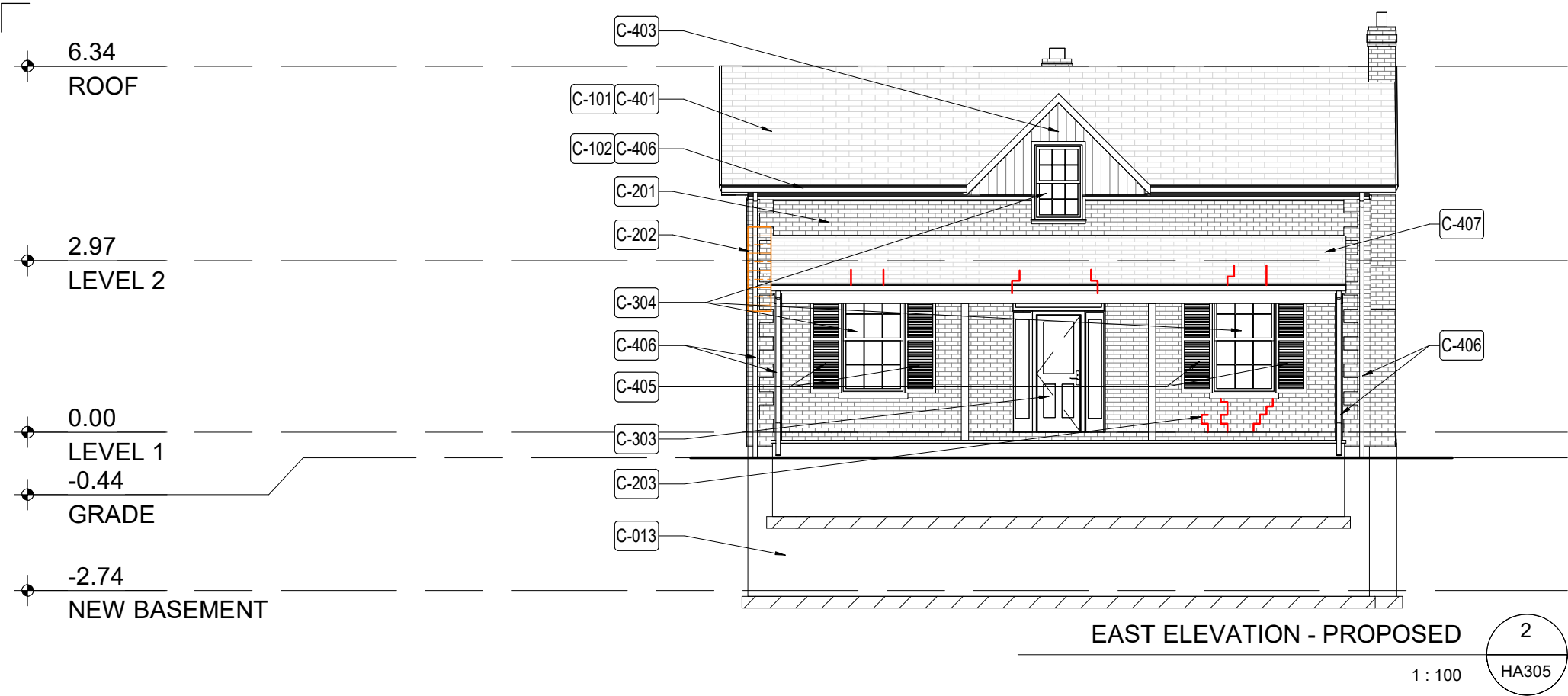
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E.R.A. Architects Inc.

Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1:100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

SOUTH & NORTH ELEVATION - PROPOSED

Sheet no.

HA304



CONSERVATION NOTES

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- REPAIR BRICKWORK
- REPAIR CRACK IN BRICKWORK

WOOD

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LEGEND

- EXISTING TO BE RETAINED
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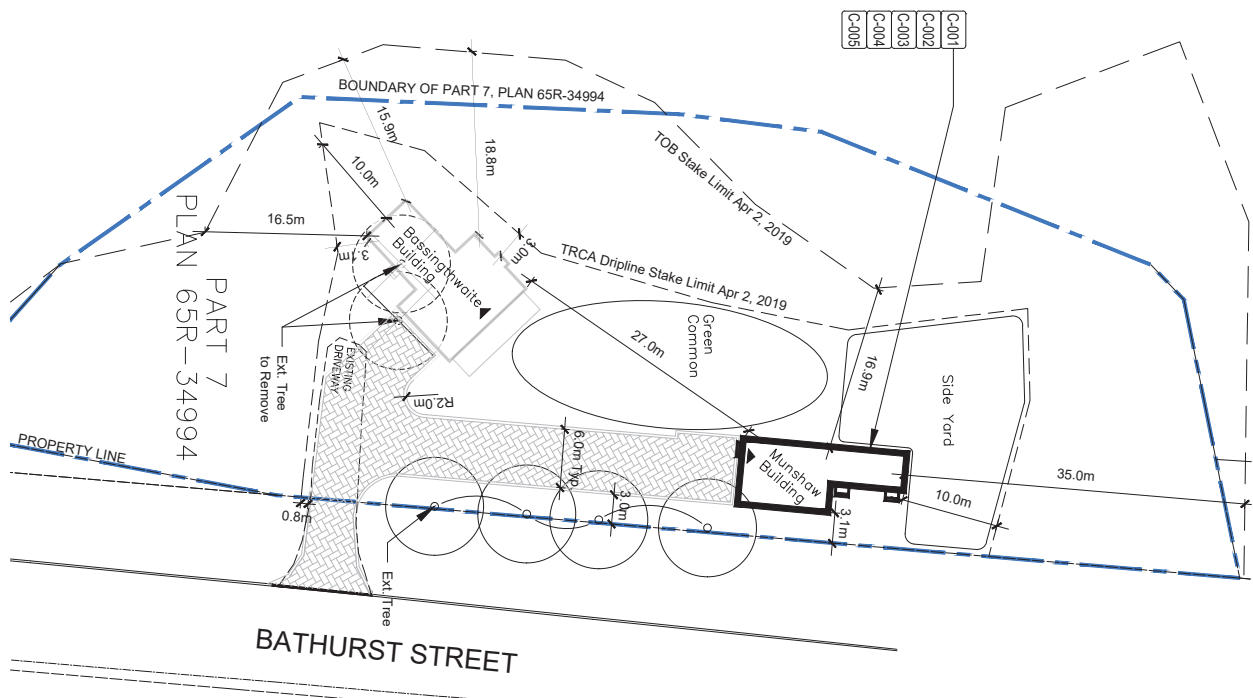
625 Church St. Suite 600
Toronto, Ontario, M4Y 2G1

E.R.A. Architects Inc.

Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1:100
Drawn by	EJ
Reviewed by	JQ
Drawing title	WEST & EAST ELEVATION - PROPOSED

Sheet no.

HA305



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LEGEND

LEGEND



ERA
E.R.A. Architects Inc.

479

Project

GEORGE MUNSHAW HOUSE CP

980 MAJOR MACKENZIE DR., VAUGHAN, ON

no.	13-106
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TE PLANT NEW LOCATION

Sheet no. _____

HA002

**CITY OF VAUGHAN
REPORT NO. 6 OF THE
ACCESSIBILITY ADVISORY COMMITTEE**

*For consideration by the Committee of the Whole
of the City of Vaughan
on November 5, 2019*

The Accessibility Advisory Committee met at 7:20 p.m., on October 15, 2019.

Present: Regional Councillor Linda D. Jackson, Chair
Brenndon Goodman, Vice Chair
Yasmin Bhabha
Nancy Camilli
Paresh Jamnadas
Olumuyiwa Olorunfemi
Franca Porcelli

Also Present: Gus Michaels, Director, By-law Compliance, Licensing & Permit Services
Robert Orrico, Manager, Occupational Health, Safety & Wellness
Warren Rupnarain, Accessibility & Diversity Coordinator
John Britto, Council / Committee Administrator

The following items were dealt with:

1. BY-LAW OVERVIEW

The Accessibility Advisory Committee advises Council:

- 1) That the presentation by the Director & Chief Licensing Officer, By-law & Compliance, Licensing & Permit Services, and C1, presentation material titled *“By-law Overview”* was received.

2. ACCESSIBILITY PLAN UPDATE

The Accessibility Advisory Committee advises Council:

- 1) That the presentation by the Accessibility and Diversity Coordinator, and C2, presentation material titled *“Multi-Year Accessibility Plan”* was received.

3. INTERNATIONAL DAY OF PERSONS WITH DISABILITIES

The Accessibility Advisory Committee advises Council:

- 1) That the verbal update by the Accessibility and Diversity Coordinator with respect to the above, was received.

4. NEW BUSINESS - RESIGNATION – ALBINA ZAVAGLIA

The Accessibility Advisory Committee advises Council:

- 1. That the resignation of Albina Zavaglia was received; and**
- 2. That Council was requested to consider filling the vacancy caused by the resignation.**

5. NEW BUSINESS - PRESENTATION – OFFICE OF THE CHIEF INFORMATION OFFICER

The Accessibility Advisory Committee advises Council:

- 1) That staff from the Office of the Chief Information Officer was invited to make a presentation at the November 27, 2019 Accessibility Advisory Committee meeting.**

The meeting adjourned at 8:40 p.m.

Respectfully submitted,

Regional Councillor Linda Jackson, Chair

**CITY OF VAUGHAN
REPORT NO. 4 OF THE
HERITAGE VAUGHAN COMMITTEE**

***For consideration by the Committee of the Whole
of the City of Vaughan
on November 5, 2019***

The Heritage Vaughan Committee met at 7:04 p.m., on October 16, 2019.

Present: Giacomo Parisi, Chair
Antonella Strangis, Vice-Chair
Councillor Marilyn Iafrate
Sandra Colica
Erica He
Diana A. Hordo
Waseem Malik
Riccardo Orsini
Elly Perricciolo
John Senisi
Dave Snider

Staff Present: Rob Bayley, Manager of Urban Design & Cultural Heritage
Katrina Guy, Cultural Heritage Co-ordinator
Wendy Whitfield Ferguson, Cultural Heritage Coordinator
Nick Borcescu, Senior Heritage Planner
Rose Magnifico, Council/Committee Administrator

The following items were dealt with:

1. **NEW DEVELOPMENT – PROPOSED DEMOLITION OF TWO EXISTING SINGLE DETACHED DWELLINGS AND CONSTRUCTION OF 16 RESIDENTIAL UNITS COMPRISED OF 8 SEMI-DETACHED UNITS AND 8 TOWNHOUSE UNITS LOCATED AT 9785/9797 KEELE STREET, VICINITY OF KEELE STREET AND BARRHILL ROAD**

The Heritage Vaughan Committee recommended that the following recommendation be forwarded to Council for approval:

- 1) **That the recommendation contained in the following report of the Deputy City Manager, Planning and Growth Management, dated October 16, 2019, be approved.**

**REPORT NO. 4 OF THE HERITAGE VAUGHAN COMMITTEE FOR
CONSIDERATION BY THE COMMITTEE OF THE WHOLE,
NOVEMBER 5, 2019**

The Heritage Vaughan Committee advises Council:

- 1) That the applicant was requested to provide the Keele Street elevations to the Heritage Vaughan members, at their earliest convenience; and**
- 2) That the following deputations were received:**
 - 1. Mr. Dave Eckler, AREA Architects, and Julia Pierdon, Weston Consulting, representing the applicant.**

Recommendations

1. THAT Heritage Vaughan Committee recommend Council approve the proposed demolition of two existing single detached dwellings and new construction of 16 residential units comprised of 8 semi-detached units and 8 townhouse units at 9785 and 9797 Keele Street under Section 42 of *Ontario Heritage Act*, subject to the following conditions:
 - a. Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning and Manager of Urban Design and Cultural Heritage;
 - b. That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application;
 - c. That the Owner submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Vaughan Development Planning Department;
 - d. The standard Archaeology Clauses apply:
 - i. Should archaeological resources be found on the property during construction activities, all work must cease and both the Ontario Ministry of Tourism, Culture and Sport and the City of Vaughan's Planning Department shall be notified immediately.

**REPORT NO. 4 OF THE HERITAGE VAUGHAN COMMITTEE FOR
CONSIDERATION BY THE COMMITTEE OF THE WHOLE,
NOVEMBER 5, 2019**

- ii. *In the event that human remains are encountered during construction activities, the Owner must immediately cease all construction activities. The Owner shall contact the York Regional Police Department, the Regional Coroner and the Registrar of the Cemeteries Regulation Unit of the Ministry of Consumer and Business Services.*

(A copy of the foregoing report has been attached for reference and the report attachments are on file in the Office of the City Clerk.)

**2. REMOVAL OF ADDITION FROM SINGLE FAMILY DWELLING
LOCATED AT 8109 KIPLING AVENUE**

The Heritage Vaughan Committee advises Council:

- 1) That the recommendation contained in the following report of the Deputy City Manager, Planning and Growth Management, dated October 16, 2019, was approved.**

Recommendations

- 1. THAT Heritage Vaughan recommend Council approve the proposed removal of a 3-storey apartment addition from a single-family dwelling at 8109 Kipling Avenue under Section 42 of *Ontario Heritage Act*, subject to the following conditions:
 - a) Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning and Manager of Urban Design and Cultural Heritage;
 - b) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the Ontario Planning Act or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application;
 - c) That the Owner submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Vaughan Development Planning Department, Urban Design and Cultural Heritage Division.

(A copy of the foregoing report has been attached for reference and the report attachments are on file in the Office of the City Clerk.)

**REPORT NO. 4 OF THE HERITAGE VAUGHAN COMMITTEE FOR
CONSIDERATION BY THE COMMITTEE OF THE WHOLE,
NOVEMBER 5, 2019**

3. RELOCATION OF ONE DESIGNATED PART IV HOUSE (58 FANNING CIRCLE) AND A LISTED HOUSE (39 KEATLEY DRIVE) TO 10090 BATHURST STREET, VICINITY OF BATHURST STREET AND MAJOR MACKENZIE DRIVE WEST

The Heritage Vaughan Committee recommended that the following recommendation be forwarded to Council for approval:

- 1) That the recommendation contained in the following report of the
Deputy City Manager, Planning and Growth Management,
dated October 16, 2019, be approved.

The Heritage Vaughan Committee advises Council:

- 2) That the deputation of Janice Quieta, ERA Architects Inc.,
representing the applicant, was received.

Recommendations

1. THAT Heritage Vaughan recommend Council approve the proposed relocation and restoration of the George Munshaw House located at 58 Fanning Mills Circle to 10090 Bathurst Street under Section 34 of *Ontario Heritage Act*, subject to the following conditions:
 - a. The Owner shall enter into a Heritage Easement Agreement under Section 37 of the *Ontario Heritage Act* with the City of Vaughan for the preservation / conservation of cultural heritage value;
 - b. The Owner shall provide a Letter of Undertaking with financial securities calculated to the cost of relocation and restoration of the George Munshaw House;
 - c. The Owner shall provide the City with an updated legal description of the new location to facilitate the amendment of the designation by-law;
 - d. The George Munshaw House shall be relocated, stabilized and footings, foundation and site services be installed prior to the relocation and restoration of the Bassingthwaite House;
 - e. Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning and Manager of Urban Design and Cultural Heritage;

**REPORT NO. 4 OF THE HERITAGE VAUGHAN COMMITTEE FOR
CONSIDERATION BY THE COMMITTEE OF THE WHOLE,
NOVEMBER 5, 2019**

- f. That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application; and
 - g. The Owner shall submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Vaughan Development Planning Department.
- 2. THAT Heritage Vaughan recommend Council approve the proposed relocation of the Bassingthwaite House located at 39 Keatley Drive to 10090 Bathurst Street of *Ontario Heritage Act*, subject to the following conditions:
 - a. The Owner shall enter into a Heritage Easement Agreement under Section 37 of the OHA with the City of Vaughan for the preservation of the conservation of cultural heritage value;
 - b. That the Owner provide a Letter of Undertaking with financial securities calculated to the cost of relocation and restoration of the Bassingthwaite House;
 - c. The Owner shall provide the City with an updated Statement of Cultural Heritage Value in order to facilitate the inclusion of the Bassingthwaite House into the amendment of the designation by-law;
 - d. Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning and Manager of Urban Design and Cultural Heritage;
 - e. That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application; and

**REPORT NO. 4 OF THE HERITAGE VAUGHAN COMMITTEE FOR
CONSIDERATION BY THE COMMITTEE OF THE WHOLE,
NOVEMBER 5, 2019**

- f. The Owner shall submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Vaughan Development Planning Department.

(A copy of the foregoing report has been attached for reference and the report attachments are on file in the Office of the City Clerk.)

4. NEW BUSINESS – REQUEST FOR REPORT ON DESIGNATING TREES ON KEELE STREET

The Heritage Vaughan Committee advises Council:

- 1) That a report was requested for Q1 2020, on the feasibility of designating the trees on Keele Street as heritage trees.**

The foregoing matter was brought to the attention of the Committee by Councillor Iafrate.

5. NEW BUSINESS – REQUEST FOR REPORT ON CONDITION OF HERITAGE PROPERTIES

The Heritage Vaughan Committee advises Council:

- 1) That a report was requested on the condition of the City's heritage properties.**

The foregoing matter was brought to the attention of the Committee by Elly Perricciolo.

6. NEW BUSINESS – REQUEST FOR MAP SHOWING HERITAGE PROPERTIES

The Heritage Vaughan Committee advises Council:

- 1) That a map was requested showing the location of the City's heritage properties.**

The foregoing matter was brought to the attention of the Committee by Councillor Iafrate.

**REPORT NO. 4 OF THE HERITAGE VAUGHAN COMMITTEE FOR
CONSIDERATION BY THE COMMITTEE OF THE WHOLE,
NOVEMBER 5, 2019**

**7. NEW BUSINESS – REQUEST FOR INFORMATION ON THE PORTION
OF PIONEER VILLAGE LOCATED IN VAUGHAN**

The Heritage Vaughan Committee advises Council:

- 1) That information was requested on the portion of Pioneer
Village located in Vaughan.**

The foregoing matter was brought to the attention of the Committee by
John Senisi.

The meeting adjourned at 9:25 p.m.

Respectfully submitted,

Giacomo Parisi, Chair

Heritage Vaughan Committee Report

DATE: Wednesday, October 16, 2019

WARD(S): 1

TITLE: NEW DEVELOPMENT – PROPOSED DEMOLITION OF TWO EXISTING SINGLE DETACHED DWELLINGS AND CONSTRUCTION OF 16 RESIDENTIAL UNITS COMPRISED OF 8 SEMI-DETACHED UNITS AND 8 TOWNHOUSE UNITS LOCATED AT 9785/9797 KEELE STREET, VICINITY OF KEELE STREET AND BARRHILL ROAD

FROM:

Jason Schmidt-Shoukri, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To seek a recommendation from the Heritage Vaughan Committee regarding the proposed demolition of two existing single detached dwellings and new construction of 16 residential units comprised of 8 semi-detached units and 8 townhouse units located at 9785 and 9797 Keele Street, a property located in the Maple Heritage Conservation District and designated under Part V of the *Ontario Heritage Act*.

Report Highlights

- The Owner is proposing the demolition of two existing single detached dwellings and construction of 16 residential units comprised of 8 semi-detached units and 8 townhouse units at 9785/9797 Keele Street.
- The existing two dwellings are identified as deteriorated non-contributing properties in the Maple Heritage Conservation District Plan (“Maple HCD Plan”).
- The proposal is consistent with the relevant policies of the Maple HCD Plan.
- Heritage Vaughan review and Council approval is required under the *Ontario Heritage Act*.
- Staff is recommending approval of the proposal as it conforms with the policies of the Maple HCD Plan.

Recommendations

1. THAT Heritage Vaughan Committee recommend Council approve the proposed demolition of two existing single detached dwellings and new construction of 16 residential units comprised of 8 semi-detached units and 8 townhouse units at 9785 and 9797 Keele Street under Section 42 of *Ontario Heritage Act*, subject to the following conditions:
 - a) Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning and Manager of Urban Design and Cultural Heritage;
 - b) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application;
 - c) That the Owner submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Vaughan Development Planning Department;
 - d) The standard Archaeology Clauses apply:
 - i. *Should archaeological resources be found on the property during construction activities, all work must cease and both the Ontario Ministry of Tourism, Culture and Sport and the City of Vaughan's Planning Department shall be notified immediately.*
 - ii. *In the event that human remains are encountered during construction activities, the Owner must immediately cease all construction activities. The Owner shall contact the York Regional Police Department, the Regional Coroner and the Registrar of the Cemeteries Regulation Unit of the Ministry of Consumer and Business Services.*

Background

On June 12, 2014, the Owner engaged Architects Rasch Eckler and Associates Ltd. ('AREA') to prepare a Cultural Heritage Resource Impact Assessment ('CHIA') for three (currently severed) properties within the Village of Maple Heritage Conservation District ('HCD'). The property has since been sold and AREA continued as the heritage consultant for the new Owner. These properties are treated as a single land assembly comprising of three lots, with two of them having municipal addresses, 9785 and 9797 Keele Street, and the third identified as "Block 176", PCL 176-1 SEC 65M2407. As part of the Maple HCD, all properties are designated under Part V of the *Ontario Heritage*

Act ('OHA'). The land assembly is proposed to be redeveloped as low-rise residential townhomes and semi-detached houses.

The potential heritage impact in the HCD by the proposed development is outlined in the CHIA, which evaluates the heritage context of, and the development impacts on 9785-9797 Keele Street as properties within the Maple HCD that did not individually form part of the City's Heritage Inventory. The Maple HCD Study (Vol.2 pg.32), however, identifies the property at 9797 Keele Street as a potential Victory Home version (with a photograph). Prior to the HCD Study, neither property was individually listed in the City's Heritage Register or Inventory ('Inventory'), nor was designated under Part IV of the OHA. However, since the properties are located within the boundaries of the Village of Maple HCD, they are protected under Part V of the OHA.

The research findings of the submitted CHIA attribute little heritage significance to the properties at 9785 & 9797 Keele Street. They score low on their historical, environmental / contextual, and architectural values. The subdivided lots themselves were not associated with any historic figure, and have never functioned as landmark sites – although the property at 9797 Keele Street may have been the earliest example of a Victory House in Maple. The existing one-storey and 1-1/2 storey residential structures within the property land assembly are in poor condition and do not fully represent unique stylistic features and construction techniques.

In consideration of the low heritage value of 9785 and 9797 Keele Street, the redevelopment of this land assembly is not precluded. However, any redevelopment must be compatible with the Maple HCD character by designing new buildings with appropriate regard to the Maple HCD Design Guidelines.

Previous Reports/Authority

NOT APPLICABLE.

Analysis and Options

The City's CHIA Guidelines identifies three types of mitigation options:

1. "Avoidance Mitigation" permits developments to proceed with the retention of the subject buildings in-situ;
2. "Salvage Mitigation" explores the possibility of building relocation or architectural salvage;
3. "Historical Commemoration" recalls the historical development of the property and the subject buildings through a feature within a new development.

Among the three types of mitigation options, only "(iii)' Historical Commemoration" is suitable for the subject property. The deteriorating conditions of the buildings within the

properties will not permit their in-situ retention or their relocation within the combined land assembly. But most importantly, their low cultural significance does not warrant their retention or even partial salvage of these modest structures. However, Historical Commemoration, as opposed to physical retention, can be achieved with the following measures:

1. partial salvage
2. documentation through drawings or photographs
3. naming of streets and public spaces, or
4. installation of historical plaques

As such, the historical documentation contained in the CHIA report complies with measure #2: commemorative measures as set out in the guidelines.

All new development must conform to the policies and guidelines within the Maple Heritage Conservation District Plan.

The following is an analysis of the proposed development according the Maple HCD Plan.

2.4.3 Objectives for Non-Heritage Buildings

*To retain and enhance complementary characteristics of nonheritage buildings.
To encourage improvements to non-complementary buildings so that they further enhance the heritage character of the District.*

The proposed development consists of buildings that are respectful to the scale, massing, frontage, and architectural styles present within the HCD. The street facing semi-detached houses maintain the diversity sought after by the HCD's residential area through flanking one architectural style (Ontario Second Empire) with another style (Victorian Gothic) that creates a harmonious progression of architectural language. The rest of the townhouses in the rear offer a sympathetic and proportioned inner elevation that is in keeping with the vision of smaller side streets.

2.4.5 Objectives for New Development

To ensure compatible infill construction that will enhance the District's heritage character and complement the area's village-like, human scale of development, while promoting densities sufficient to secure the District's future economic viability. To guide the design of new development to be sympathetic and compatible with the

heritage resources and character of the District while providing for contemporary needs.

The proposed architectural styles of the new construction respect the pedestrian-scale feeling of the streetscape, and provide a density that reflect current city living standards, without detracting or negatively impacting the density presented by the historic HCD residential core.

4.3.3 Demolition of Non-Heritage Buildings

Generally, the demolition of a Non-Heritage building is not supported, if the building is supportive of the overall heritage character of the District.

The HCD Study Vol.1 identified (in 2006) the structure at 9797 Keele Street as “a 1-1/2 storey Cape Cod house with a cantilevered rectangular bay window” likely built between 1948-1949. It is, admittedly, a bit more unusual as it has a side-hall plan and a box window – but still it was constructed in the simplified style known as “Victory House” (an accepted Heritage Style within the Maple HCD) with wood siding and a simple high-pitched roof clad in asphalt shingles. The building, in its present condition (15 years since the last evaluation), is in a state of advanced disrepair and offers no salvageable building materials or architectural/historical details of noteworthy significance.

The neighbouring property at 9785 Keele Street is a single-storey non-contributing building that resembles aspects of two different architectural styles (Ranch, and suburban Bungalow) and does not adhere to either style. Presently, it is also in a state of advanced disrepair, and offers no salvageable or noteworthy elements for preservation. This property was not included in the initial Inventory of the HCD.

4.4 New Residential Buildings

New residential buildings will have respect for and be compatible with the heritage character of the District. Designs for new residential buildings will be based on the patterns and proportions of the 19th century and early 20th century building stock that are currently existing or once existed in the village. Architectural elements, features, and decorations should be in sympathy with those found on heritage buildings.

The proposed new buildings represent an appropriate urban street mix of individual Victorian Gothic and Ontario Second Empire architectural examples that employ only the most minimal modernized details. The massing and form of the buildings conform to the architectural styles in materials and proportions, and they pay homage to the existing buildings in the neighbourhood and on the city block through choice of colour palette. Together, they are in keeping with the heritage building styles of the Village of Maple, and

sympathetic to the architectural style that would be prevalent to a main street residential setting.

4.4.1 Design Approach

- a) *The design of new buildings will be products of their own time, but should reflect one of the historic architectural styles traditionally found in the District.*
- b) *New residential buildings will complement the immediate physical context and streetscape by: being generally the same height, width, and orientation of adjacent buildings; being of similar setback; being of like materials and colours; and using similarly proportioned windows, doors, and roof shapes.*
- c) *New residential building construction will respect natural landforms, drainage, and existing mature vegetation.*
- d) *Larger new residential buildings will have varied massing, to reflect the varied scale of built environment of the historical village.*
- e) *Historically appropriate façade heights for residential buildings has been 1 -1/2 or 2 storeys. The façade height of new residential buildings should be consistent with the façade height of existing buildings. Differences in façade heights between buildings on adjacent properties within the district should be no more than 1 storey. In all instances the height of new buildings shall conform to the provisions of the City's Zoning By-law.*

New residential building construction in the District will conform with the Guidelines found in Section 9.5.2.

The proposed development is within a one-storey height difference from the neighbouring heritage structures on the same block, and complement the immediate context of the block, through the architectural style and the proposed height of the building. The streetscape and lateral setbacks are within acceptable limits for the neighbourhood.

9.0 Guidelines for Buildings and Surroundings

The City has recognized this special character by creating the Village of Maple Heritage Conservation District. The purpose of these Design Guidelines is to help maintain the historic qualities that make up that sense of distinctness. They are intended to clarify and illustrate, in a useful way, the recognizable heritage characteristics found in the Village. They serve as reference guidelines and not prescribed policy for anyone contemplating alterations or new development within the Heritage Conservation District. The Guidelines examine the past in order to plan for the future. They recognize that change must and will come to Maple. The objective of

the Guidelines is not to prevent change, but to ensure that change is complementary to the heritage character that already exists, and enhances, rather than harms it.

Guidelines:

- *The intent of the Guidelines is to preserve and enhance the existing heritage character of Village of Maple, which is widely appreciated by the citizens*
- *It is recommended that design professionals with experience in heritage design and restoration be retained for work on significant heritage buildings in the District.*

The character of Maple consists of many elements

Significant natural features include the park, a small tributary of the West Don River, the open spaces of the cemeteries and church yards, and the mature urban forest. Significant cultural elements include the informal village plan, with its varied lot sizes and setbacks, rich planting, and almost 150 years of architectural history. The historic buildings serve to define the heritage character of the village. These Design Guidelines are based on the concepts of preserving the existing heritage buildings, maintaining their character when they are renovated or added to, and ensuring that new development respects the qualities of place established by the existing heritage environment. The Guidelines begin with a handbook of the architectural styles found in Maple. Over the years, many buildings have lost original detail such as trims, doors, and windows. The stylebook will be helpful to owners who want to restore original character, or who want to maintain what remains. It will assist in designing additions that respect the original style of the building. And it will provide a basis for authentic local historic references in the design of new buildings. The stylebook is also a tool for looking at the existing heritage buildings, which offer the best guidelines of all: they are full-scale and in three dimensions. The best test of new work in the Village is whether or not it shows “good manners” towards its heritage neighbours and its neighbourhood.

As a new development within the fabric of the HCD residential district, this proposal adheres to and complies with the guidelines set out by the HCD study. The proposed buildings conform to the approved architectural styles identified in the Guidelines.

9.1 Architectural Styles

Architectural style means the identifying characteristics of construction as it has evolved under the force of changing technology and fashion. Before the industrial age, often minor details were custom-made for each building and it would be hard to find even two identical front door designs from the early 19th century. Nonetheless, each period produced buildings that shared a design vocabulary, including elements of massing, composition, proportions, window and door details, and decorative elements.

This section shows the principal styles that have appeared in Maple, both heritage styles and more recent ones. This section is necessarily brief and does not replace the real research needed for authentic work, as described in Section 9.3.2 and 9.5.1. In the Guidelines that follow, reference is made to architectural styles for all types of buildings in the Village of Maple: existing heritage buildings, existing non-heritage buildings, and new development. The following pages show the characteristics of the local architectural styles.

Guideline:

Additions and alterations to an existing heritage building should be consistent with the style of the original building. New developments should be designed in a style that is consistent with the vernacular heritage of the community. All construction should be of a particular style, rather than a hybrid of many styles. Recent developments have tended to use hybrid designs, with inauthentic details and proportions; for larger homes, the French manor or château style (not indigenous to Ontario) has been heavily borrowed from. These kinds of designs are not appropriate for the Village of Maple.

The HCD lists a number of architectural styles that are not appropriate; however, both proposed architectural styles of this development (Victorian Gothic and Second Empire) are in keeping with the approved heritage styles of the Village of Maple, and conform to the time period of the streetscape. They represent a clean architectural language that respects the vernacular detailing of each of the two styles without mixing in inauthentic details or improper proportions.

9.5 New Development

9.5.1 Overview

The overall heritage character of the District is composed of buildings, streetscapes, landscapes, and vistas. This overall character has more significance than any individual building, even if it is one of the finest. Within the design of any individual building, architectural elements contribute to the character of the public realm of the street. Massing, materials, scale, proportions, rhythm, composition, texture, and siting all contribute to the perception of whether or not a building fits its context. Different settings within the district have different characters of siting, landscaping and streetscaping. New development within the District should conform to qualities established by neighbouring heritage buildings, and the overall character of the setting. Designs should reflect a suitable local heritage precedent style. Research should be conducted so that the style chosen is executed properly, with suitable proportions, decoration, and detail.

Guidelines:

- *New buildings should reflect a suitable local heritage style. Use of a style should be consistent in materials, scale, detail, and ornament*
- *Use Section 9.1 for preliminary guidance on styles*
- *Use Section 9.2 gives further preliminary guidance on details of design and construction*

The scale, detail level, and modest ornamentation of the proposed designs are in keeping with the guidelines set out by the HCD Study. The materials and proportions are reflective of the comprehensive study undertaken by the architect(s) to respect and integrate the proposed buildings within the existing fabric of the Maple HCD.

9.5.2.2. Architectural Style

New buildings in the residential areas should reflect the historic built form of their historic neighbours.

Guidelines:

Design houses to reflect one of the local heritage Architectural Styles. See Section 9.1.

- *Hybrid designs that mix elements from different historical styles are not appropriate. Historical styles that are not indigenous to the area, such as Tudor or French Manor, are not appropriate.*
- *Use authentic detail, consistent with the Architectural Style. See Section 9.2.1.*

Devoid of lavish decorations, the Victorian Gothic semi-detached buildings a minimalist roof-line gable trim (known as “carpenter Gothic” for its simplicity) and an inverted mini-baluster trim under the ground floor overhang porch roof. In contrast to this, the adjacent Second Empire style presents a purposely-designed elegance through the simplicity of architectural details: high arched windows with keystones on the upper floors (to denote an implied forced height, often associated with social status or wealth), a formal entry with vaulted canopy, strong ground floor lintels, and a mansard roof “tower”.

9.5.2.3 Scale and Massing

New residential construction in the residential villages should respect local heritage precedents in scale and massing. In almost every case, new construction will be replacing houses on existing built lots.

Guidelines:

- *New buildings should be designed to preserve the scale and pattern of the historic District*
- *New houses should be no higher than the highest building on the same block, and no lower than the lowest building on the same block*

- *As far as possible, modern requirements for larger houses should be accommodated without great increases in building frontage. For example, an existing 1½-storey house could be replaced by a 2-storey house with a plan that included an extension to the rear. This might double the floor area without affecting the scale of the streetscape*

Although the proposed design exceeds [in actual height] that of the immediate neighbours and the general height of the buildings on the city block, the measured height of the buildings (±8.6m to midpoint of roof) complies with the current zoning and by-law limitations (9.5m to the midpoint of the roof). Additionally, the proposed design height conforms to the previously-approved design parameters of the property on the opposite side of the street within the adjacent city blocks – and is reflective of the current [modern] suburban development noted in Section 7 of the HCD Study as a recommendation.

9.8.2 Non-Heritage Buildings: Appropriate Materials

Exterior Finish: Use materials compatible with the original design

Roofs: Slopes and layouts compatible with the original design

Doors: Use materials and designs compatible with the original design

Windows: Use windows compatible with the original design

The proposed development replaces two buildings deemed to be of low-to-none Heritage value, and which are not listed in the City's Inventory. Furthermore, the proposed design adheres and conform to the materials, proportions, details, colours, and architectural language of the two distinct styles (Victorian Gothic, and Second Empire) that they represent.

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The Urban Design and Cultural Heritage Division of the Development Planning Department is satisfied the proposed demolition, and the new construction conforms to the policies and guidelines within the Maple Heritage Conservation District Plan. Accordingly, staff can support Council approval of the proposed demolition of two existing single detached dwellings and establishment of 16 residential units comprised of 8 semi-detached units and 8 townhouse units located at 9785 and 9797 Keele Street under the Ontario Heritage Act.

For more information, please contact: Nick Borcescu, Senior Heritage Planner, ext. 8191

Attachments

1. Cultural Heritage Impact Assessment
2. Context Plan
3. Site Plan
4. Keele Street: Victorian Gothic unit
5. Keele Street: Second Empire unit
6. Rear Unit (typical)
7. Floor plans
8. Inner streetscape conceptual rendering
9. Keele Street conceptual rendering
10. Proposed landscape plan
11. Proposed exterior colour palette

Prepared by

Nick Borcescu, Senior Heritage Planner, ext. 8191

Reviewed by

Rob Bayley, Manager of Urban Design/Cultural Services, Development Planning
Mauro Peverini, Director of Development Planning

Heritage Vaughan Committee Report

DATE: Wednesday, October 16, 2019

WARD(S): 2

**TITLE: REMOVAL OF ADDITION FROM SINGLE FAMILY DWELLING
LOCATED AT 8109 KIPLING AVENUE**

FROM:

Jason Schmidt-Shoukri, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To seek a recommendation from the Heritage Vaughan Committee regarding the proposed demolition of a 3-storey apartment addition attached to a single-family dwelling located at 8109 Kipling Avenue; a property located in the Woodbridge Heritage Conservation District and designated under Part V of the *Ontario Heritage Act*, as shown on Attachment 4.

Report Highlights

- The Owner is proposing the demolition of a 3-storey apartment addition attached to a single-family dwelling at 8109 Kipling Avenue.
- The existing main dwelling is identified as a contributing property in the Woodbridge Heritage Conservation District Plan ("Woodbridge HCD Plan").
- The proposal is consistent with the relevant policies of the Woodbridge HCD Plan.
- Heritage Vaughan review and Council approval is required under the *Ontario Heritage Act*.
- Staff is recommending approval of the proposal as it conforms with the policies of the Woodbridge HCD Plan.

Recommendations

1. THAT Heritage Vaughan recommend Council approve the proposed removal of a 3-storey apartment addition from a single-family dwelling at 8109 Kipling Avenue under Section 42 of *Ontario Heritage Act*, subject to the following conditions:

- a) Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning and Manager of Urban Design and Cultural Heritage;
- b) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the Ontario Planning Act or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application;
- c) That the Owner submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Vaughan Development Planning Department, Urban Design and Cultural Heritage Division.

Background

8109 Kipling is a rectangular parcel of land presently containing a 19th century single-family Gothic Revival residence with a 1950's apartment block attached to the rear of the house. 8109 Kipling Avenue is designated under Part V of the Ontario Heritage Act as part of the Woodbridge Heritage District.

The property fronts onto Kipling Avenue at the southwest corner of the intersection with Porter Avenue. The existing residence is a 1½ storey brick and wood framed house with a small front porch facing Kipling Avenue. The three-storey concrete block addition is attached at the existing east side brick party wall of the 19th Century residence (Attachment 4). Existing surface parking spaces are located at the rear of the property.

Previous Reports/Authority

NOT APPLICABLE

Analysis and Options

The Owner is proposing to demolish the 3-storey apartment addition at 8109 Kipling Avenue. The building has been functioning as a rental income property with the apartment ceasing to be in use in 2014. The house is planned to be restored for use as single-family dwelling leased for residential use, with maintenance restoration of the building exterior. Existing surface parking spaces adjacent to the apartment block are proposed to be returned to lawn area, and new surface parking to service the heritage house is planned to be located near the rear entry to the house.

All redevelopment that impact heritage attributes of designated buildings must conform to the policies and guidelines within the Woodbridge HCD Plan and the

Vaughan Official Plan 2010 ('VOP 2010'). The following is an analysis of the request according the notices of VOP 2010' and the Woodbridge HCD Plan.

Woodbridge HCD Plan 6.2.6 ACTIVITIES THAT ARE SUBJECT TO REVIEW

- *The erection, demolition, or removal of any building or structure, or the alteration of any part of a property other than the interior of a building or structure are subject to review*

Vaughan Official Plan 2010 – Section 6.2.2.5

To require that, for an alteration, addition, demolition or removal of a designated heritage property, the applicant shall submit a Cultural Heritage Impact Assessment, as set out in this Plan and in the Vaughan Heritage Conservation Guidelines when:

- b. the proposed demolition involves the demolition of a building in whole or part or the removal of a building or designated landscape feature.*

The proposed plan is consistent with the Woodbridge HCD Plan and the VOP 2010 as the Owner has provided a complete Cultural Heritage Impact Assessment (Attachment 1), that supports staff's analysis and comments.

Woodbridge HCD Plan 6.2.1 STANDARDS AND GUIDELINES FOR CONSERVATION

The Woodbridge HCD states:

"As a starting point, this HCD Plan adopts the Federal "Standards and Guidelines for the Conservation of Historic Places in Canada" (Standards and Guidelines). These Standards and Guidelines provide a foundation for the conservation of archaeological sites, landscapes and buildings.

The Standards and Guidelines should be applied in tandem with the Woodbridge HCD Plan. Where a discrepancy may occur between these two documents, the Woodbridge HCD Plan will prevail.

It is the intent of this HCD Plan to conserve and restore the heritage resources within the District and prevent their demolition or relocation. The retention of the existing heritage resources is essential to maintaining the village character of Woodbridge."

Conservation

The conservation of heritage buildings involves actions or processes that are aimed at safeguarding the heritage attributes of the resource to retain its heritage value and extend its physical life. Conservation can involve preservation, rehabilitation, restoration or a combination of these actions. These terms are defined as follows:

- **Preservation**

The action or process of protecting, maintain, and/or stabilizing the heritage attributes (materials, form, integrity) of the entire heritage resource (or an individual component of the resource) while protecting its heritage value.

- **Rehabilitation**

The action or process of ensuring a continuing use or a compatible contemporary use of a heritage resource (or an individual component) through repair, alterations, or additions, while protecting its heritage value. This can include replacing missing historic features either as an accurate replica of the feature or may be a new design that is compatible with the style, era, and character of the heritage resource.

- **Restoration**

The action or process of accurately revealing, recovering, or representing the state of the heritage resource (or of an individual component), as it appeared at a particular period in its history, while protecting its heritage value. This could include removal of features from other periods in its history and the reconstruction of missing features from the restoration period (based on clear evidence and detailed knowledge).

The proposed plan aligns with the Woodbridge HCD Plan, Standards and Guidelines for Conservation extracts above. By safely removing the addition at 8109 Kipling the 19th Century residence will be fully revealed. These guidelines are met by a satisfactory engineering report outlining the removal process (Attachment 5). Maintenance restoration of the building exterior will occur after the removal of the addition as identified in the Cultural Heritage Impact Assessment (Attachment 1).

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The Cultural Heritage Division of the Development Planning Department is satisfied the proposed demolition of a 3-storey apartment addition on the subject property conforming to the policies and guidelines within the Woodbridge HCD Plan and VOP 2010. Accordingly, staff can support Council approval of the proposed demolition of the addition at 8109 Kipling Avenue under the *Ontario Heritage Act*.

For more information, please contact: Wendy Whitfield Ferguson, Cultural Heritage Coordinator, ext. 8813

Attachments

1. Cultural Heritage Impact Assessment
2. General Site Location
3. Site Plan and Survey
4. Photos of building
5. Engineering Plan

Prepared by

Nick Borcescu, Senior Heritage Planner, ext. 8191

Reviewed by

Rob Bayley, Manager of Urban Design/Cultural Services, Development Planning
Mauro Peverini, Director of Development Planning

Heritage Vaughan Committee Report

DATE: Wednesday, October 16, 2019

WARD(S): 4

TITLE: RELOCATION OF ONE DESIGNATED PART IV HOUSE (58 FANNING CIRCLE) AND A LISTED HOUSE (39 KEATLEY DRIVE) TO 10090 BATHURST STREET, VICINITY OF BATHURST STREET AND MAJOR MACKENZIE DRIVE WEST

FROM:

Jason Schmidt-Shoukri, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To seek a recommendation from the Heritage Vaughan Committee regarding the proposed relocation and restoration of the George Munshaw House (Designated under By-law 403-87 as Amended by By-law 103-2016) located at 58 Fanning Mills Circle, and the relocation of the Bassingthwaite House (Listed under Section 27 of the *Ontario Heritage Act*) currently located at 39 Keatley Drive (formerly 10244 Bathurst) to a new location known as 10090 Bathurst Street.

Report Highlights

- The Owner is proposing to relocate 2 heritage structures to a new location at 10090 Bathurst Street
- One structure is known as the “George Munshaw House” (Designated Part IV under By-law 403-87, as amended by by-law 146-2016)
- One structure is known as the “Bassingthwaite House” and is Listed under Section 27 of the *Ontario Heritage Act*.
- Heritage Vaughan review and Council approval is required under the *Ontario Heritage Act*
- Staff recommends approval of the proposal as it conforms with the policies of Vaughan Official Plan 2010 regarding the relocation of heritage structures.

Recommendations

1. THAT Heritage Vaughan recommend Council approve the proposed relocation and restoration of the George Munshaw House located at 58 Fanning Mills Circle to 10090 Bathurst Street under Section 34 of *Ontario Heritage Act*, subject to the following conditions:
 - a) The Owner shall enter into a Heritage Easement Agreement under Section 37 of the *Ontario Heritage Act* with the City of Vaughan for the preservation / conservation of cultural heritage value;
 - b) The Owner shall provide a Letter of Undertaking with financial securities calculated to the cost of relocation and restoration of the George Munshaw House;
 - c) The Owner shall provide the City with an updated legal description of the new location to facilitate the amendment of the designation by-law;
 - d) The George Munshaw House shall be relocated, stabilized and footings, foundation and site services be installed prior to the relocation and restoration of the Bassingthwaite House;
 - e) Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning and Manager of Urban Design and Cultural Heritage;
 - f) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application; and
 - g) The Owner shall submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Vaughan Development Planning Department.
2. THAT Heritage Vaughan recommend Council approve the proposed relocation of the Bassingthwaite House located at 39 Keatley Drive to 10090 Bathurst Street of *Ontario Heritage Act*, subject to the following conditions:
 - a) The Owner shall enter into a Heritage Easement Agreement under Section 37 of the OHA with the City of Vaughan for the preservation of the conservation of cultural heritage value;
 - b) That the Owner provide a Letter of Undertaking with financial securities calculated to the cost of relocation and restoration of the Bassingthwaite House;

- c) The Owner shall provide the City with an updated Statement of Cultural Heritage Value in order to facilitate the inclusion of the Bassingthwaite House into the amendment of the designation by-law;
- d) Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning and Manager of Urban Design and Cultural Heritage;
- e) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application; and
- f) The Owner shall submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Vaughan Development Planning Department.

Background

Both the George Munshaw House and the Bassingthwaite House were originally located within Draft Plan of Subdivision file 19T-03V13. In 2005, several structures in the subject area were approved for demolition with the exception of the George Munshaw House (designated under by-law 403-87) which was located at 980 Major Mackenzie Drive West and the structure known as the Bassingthwaite House located at 10244 Bathurst Street. The two houses were to be integrated into the future subdivision due to their strong cultural heritage value.

The following is an extract from the August 24, 2005, Council approved recommendation:

“That the Bassingthwaite House (at 10244 Bathurst Street) be preserved and integrated into the subject Draft Plan of Subdivision to the satisfaction of Cultural Services staff.
That the owner continue to have the George Munshaw House (the small building at 980 Major Mackenzie Drive) preserved and eventually integrated into the subject Draft Plan of Subdivision to the satisfaction of Cultural Services staff.”

The George Munshaw House

The George Munshaw House was built circa 1825-1850, with vertical plank sheathing as a frame support and represented the transition period from post and beam construction to balloon frame construction. Originally located on Concession 2, Lot 44 West Half, it was moved to 980 Major Mackenzie Drive West in 1984 and in 1987 was

designated under Part IV of the *Ontario Heritage Act* ('OHA') due to its historical and architectural value.

In May 2015, the Owner proposed the relocation of the George Munshaw House to its current location (Lot 104 of Phase 2 of Draft Plan of Subdivision file 19T-03V13) on Major Mackenzie Drive West, west of Bathurst Street. This proposal was recommended for approval at the 13 May 2015 Heritage Vaughan meeting and was approved by Council on June 23, 2015. Subsequently, the George Munshaw House was relocated in September of 2016 to its current location municipally known as 58 Fanning Mills Circle. The relocation was not entirely completed as the house has remained on stages and has been kept on supports with no new foundation.

As part of the proposal, a current condition survey was completed and the house was found to be in relatively good condition as outlined in the submitted Cultural Heritage Resource Impact Assessment (CHRIA). It is imperative that the house be stabilized as soon as possible in the proposed new location however, to prevent further deterioration.

The Bassingthwaite House

According to the initial research provided in the Archeological Services Inc., March 2005 report entitled "Cultural Heritage Impact Assessment for Helmhorst Investment Limited," The Bassingthwaite House is a two-storey structure constructed in approximately 1860, which was renovated and enlarged in the 1980s with a two-storey rear addition that "was constructed to the south elevation." The time period of this later addition is confirmed through the review of aerial photos from this period.

The Bassingthwaite House was identified in 2005 as containing significant cultural heritage value and Listed under Section 27 of the *Ontario Heritage Act*. At the early stages of the application process it was identified as one of the buildings to be retained and integrated into Draft Plan of Subdivision file 19T-03V13. The house remains in its original place, although its municipal address was changed from 10244 Bathurst Street to 59 Keatley Drive. In 2012, demolition clearances were given to demolish the collection of outbuildings (a garage and 3 barns) located on the original property. In 2014 a Letter of Undertaking was issued for the structure's restoration, but conservation work has yet to begin. The dwelling is currently unoccupied.

10090 Bathurst Street

The proposed new location for both houses is 10090 Bathurst Street. This property located on the west side of Bathurst Street, just north of Major Mackenzie Drive West. This property was the location of the Patterson School Secondary School No.19, built in 1870 and decommissioned in 1964. Upon its decommission it was sold and readapted into a private home on the site. As the site was never Listed or Designated by the City

of Vaughan, it was not identified as a heritage property and was demolished in 2018.

Previous Reports/Authority

Heritage Vaughan August 24, 2005

Heritage Vaughan Committee – April 23, 2014

Heritage Vaughan Committee May 13, 2015

Analysis and Options

Ontario Heritage Act

Under the *Ontario Heritage Act*, the relocation and restoration of the George Munshaw House must follow the process outlined in the following Sections of the OHA;

Section 33 – the alteration of a designated property, both in the removal of the structure and its restoration and renovation.

Section 30 – the amendment of the designation by-law to update and amend the new legal description of the property.

Section 34 – the relocation of the structure is to be treated as a demolition of the structure, with the subsequent repeal of the previous designation (i.e. Fanning Mills Circle).

The ongoing preservation of the cultural heritage value of the Munshaw House will be ensured by the City entering into an easement agreement with the Owners under Section 37 of the OHA, for the conservation of property of cultural heritage value. This covenant is to be entered into after Council approves the proposed works presented in this report.

The Bassingthwaite House is not designated under Part IV and therefore its relocation and restoration does not require a heritage permit. However, as the intent is relocate the house to what will have become a designated Part IV property consisting of the George Munshaw House, it too will therefore be covered under Part IV protection upon relocation, and its restoration should be considered in the context of conserving its cultural heritage value. To this end, there will be another Section 37 heritage easement agreement needed, to identify and conserve the additional cultural heritage value of the Bassingthwaite House.

All new development must conform to the Cultural Heritage policies and guidelines within the *City of Vaughan Official Plan 2010* ('VOP 2010').

Section 6.1 of VOP 2010 promotes an active and engaged approach to the recognition and conservation of cultural heritage resources and their integration into future development.

Section 6.2.2.4 of VOP 2010 states that Designated heritage properties shall be conserved in accordance with good heritage conservation practice, and that the City may permit alterations or additions to designated heritage properties when those properties and their heritage attributes are conserved in accordance with good heritage conservation practice.

Section 6.2.2.7(c) of VOP 2010 allows for the alternative to relocate a designated heritage property to another site within the same development if all options for on-site retention have been explored. Conservation in-situ of the same use or through adaptive reuse are the preferred first and second options, while relocation to another site within the same development is the third option.

Staff supports the relocation and retention of the George Munshaw House given that the house was previously moved in 1984 from its original site in modern-day Richmond Hill and that the proposed relocation within the new proposed subdivision provides a viable continued residential use and siting that is sympathetic to its character defining elements. It will also provide for the stabilization and restoration of the structure. The proposed new location will be visible along Bathurst Street and not far from its original location on the east side of Bathurst.

The initial intent was for Bassingthwaite House to be retained in-situ but it was determined that the proposed location will improve the setting of the Bassingthwaite House by providing it with a naturalized setting. The original orientation of the Bassingthwaite House, facing east towards Bathurst Street, can be maintained. This will improve the visual prominence of the resource. Depending on its use, it may also facilitate greater accessibility to and appreciation by the public.

The Owner has submitted a combined Cultural Heritage Resource Impact Assessment (CHRIA) and Conservation Plans for both locations. Cultural Heritage staff has reviewed these reports and find that they meet the City of Vaughan Guidelines. The documents do not set out a sequence of when the buildings are to be moved, but recognizes that if the George Munshaw House is to be saved, relocating it to a location where it can be restored and rehabilitated is a priority.

By contrast, the relocation of the Bassingthwaite House is not as urgent, and Cultural Heritage staff recommends that it be stabilized in place until the Munshaw House has been relocated with a new foundation, footings and site services have been installed. Once the George Munshaw House has been stabilized at the new location, the Bassingthwaite House may be prepared for relocation.

Cultural Heritage staff notes that the Toronto and Region Conservation Authority ('TRCA') regulates the construction, reconstruction or placement of a building or structure of any kind on the proposed site as it is under Ontario Regulation 166/06. Based on a preliminary review of the site plan, the TRCA has no concern with the proposed locations of the buildings and the intent that the programming of the buildings will be completed after the move, through the related *Planning Act* approvals.

For the time being the use of property will be maintained as residential, with one of the buildings identified as a dwelling unit and the other as an accessory structure. Any future changes in use will require a Zoning By-law amendment. Furthermore, once the designation is updated, any proposed alterations to the property will require an application to alter a structure under Section 33 of the *OHA*.

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The Urban Design and Cultural Heritage Division of the Development Planning Department is satisfied the proposed relocation and restoration proposals conforms to the policies and guidelines within the Vaughan 2010 Official Plan. Accordingly, staff can support Council approval of the proposed relocation of the Part IV designated George Munshaw House located at 59 Fanning Mills Circle, and the relocation of the Bassingthwaite House (Listed under Section 27) currently located at 59 Keatley Drive (formerly 10244 Bathurst) to a new location known as 10090 Bathurst Street, as shown on Attachment 1.

For more information, please contact: Katrina Guy, Cultural Heritage Coordinator, ext. 8115

Attachments

1. Context Plan
2. Aerial Plan
3. Existing Site Plan for Fanning Mills Circle
4. Existing Site Plan for 39 Keatley Drive
5. By-law 403-87 as amended by bylaw 146-2016
6. Cultural Heritage Resource Impact Assessment
7. *Conservation Plan for the George Munshaw House*
8. *Conservation Plan for the Bassingthwaite House*
9. Proposed Site Plan for 10090 Bathurst Street

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