



**CITY OF VAUGHAN
COMMITTEE OF THE WHOLE (PUBLIC MEETING)
AGENDA**

If you wish to speak to an item listed on the Agenda, please pre-register by completing a Request to Speak Form online, emailing clerks@vaughan.ca, or contacting Service Vaughan at 905-832-2281, by 12 noon on the last business day before the meeting.

Tuesday, May 5, 2026

7:00 p.m.

Council Chamber

2nd Floor, Vaughan City Hall

2141 Major Mackenzie Dr., Vaughan, ON

and Online via Electronic Participation

Indigenous Land Acknowledgement (prior to the commencement of the meeting)

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4. CONSIDERATION OF PUBLIC MEETING ITEMS	
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WESTON RD. AND PART 15, PLAN 65R-37024 PART OF LOT 21,
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5. ADJOURNMENT

ALL APPENDICES ARE AVAILABLE FROM THE CITY CLERK'S OFFICE
 PLEASE NOTE THAT THIS MEETING WILL BE AUDIO RECORDED
 AND VIDEO BROADCAST

www.vaughan.ca (Agendas, Minutes and Live Council Broadcast)

Committee of the Whole (Public Meeting) Report

DATE: Tuesday, May 5, 2026

WARD(S): 3

TITLE: GANLAN DEVELOPMENTS LTD.
OFFICIAL PLAN AMENDMENT FILE OP.26.004
ZONING BY-LAW AMENDMENT FILE Z.26.012
165 CITYVIEW BOULEVARD
VICINITY OF CITYVIEW BOULEVARD AND MAJOR
MACKENZIE DRIVE WEST

FROM:

Vince Musacchio, Deputy City Manager, Planning and Infrastructure Development

ACTION: FOR INFORMATION

Purpose

To receive comments from the public and the Committee of the Whole on applications to amend the Vaughan Official Plan 2010 and Zoning By-law 001-2021 to permit a mix of employment and commercial uses within the existing non-residential building on the subject lands as shown on Attachment 3.

Report Highlights

- The Owner proposes to permit a mix of employment and commercial uses within a portion of a low-rise non-residential building that was previously approved through the Site Development Application DA.24.025 for industrial uses.
- An Official Plan Amendment Application and a Zoning By-law Amendment Application are required to permit the proposed uses.
- This report identifies preliminary issues to be considered in a technical report to be prepared by the Development and Parks Planning Department at a future Committee of the Whole meeting.

Recommendations

1. That the Public Meeting report for Official Plan and Zoning By-law Amendment Files OP.26.004 and Z.26.012 (Ganlan Developments Ltd.) be received, and that

any issues identified be addressed by the Development and Parks Planning Department in a comprehensive report to the Committee of the Whole.

Background

Location: 165 Cityview Blvd. (the Subject Lands). The Subject Lands and the surrounding land uses are shown on Attachment 1.

Date of Pre-Application Consultation Meeting: Nov. 7, 2025

The Subject Lands are within a mixed-use subdivision development.

In 2003, a Zoning By-law Amendment Application (Z.03.042) and a Draft Plan of Subdivision Application (19T-03V08) were filed for a 29.74 ha site to permit a mixed-use subdivision development consisting of low-rise residential lots, a park, a public school block, commercial use blocks, and employment use blocks. Zoning By-law 131-2005 was approved by Council on May 9, 2005, and the Plan of Subdivision was registered on Feb. 9, 2006. The Subject Lands are located within the Subdivision identified as Part of Block 60, Plan 65M-3885, and were rezoned from A – Agricultural Zone to EM1 – Prestige Employment Zone.

On April 18, 2019, Consent Application B009/19 was approved by the Committee of Adjustment to sever Block 60, Plan 65M-3885 into two lots municipally known as 165 and 169 Cityview Blvd., each with a lot area of 0.91 ha. The Subject Lands were created through this severance and are identified as Parts 3, 4, 5, 6, and 7 of Plan 65R-38451.

The Subject Lands are being developed in accordance with the approved 2024 Site Development Application and Building Permit No. 24-124250.

On July 30, 2024, Site Development Application file DA.24.025 was approved by the Development and Parks Planning Department to permit a low-rise non-residential building for an office and warehousing uses with 112 surface and underground parking spaces with a Gross Floor Area of 6,118.04 square metres.

A Building Permit was issued on Dec. 13, 2024, for a low-rise multi-unit building containing office and warehousing uses in accordance with the approved Site Development Application file DA.24.025. Construction is nearing completion.

Official Plan Amendment and Zoning By-law Amendment Applications have been submitted to permit the proposed uses.

Ganlan Developments Ltd. (the Owner) has submitted the following applications (the Applications) for the Subject Lands to permit a wide range of employment and commercial uses within the approved low-rise building (the Development), as shown on Attachment 2 to 4, for the following:

1. Official Plan Amendment File OP.26.004 to:
 - Amend York Region Official Plan 2022 to redesignate the Subject Lands from “Employment Area” to “Community Area”.

- Amend Vaughan Official Plan 2010 to redesignate the Subject Lands from “Employment Areas” to “Community Areas”, as shown on Attachment 2.
 - Amend the policies of Vaughan Official Plan 2010 (VOP 2010), to redesignate the Subject Lands from “Prestige Employment” to “Employment Commercial Mixed-Use”.
 - Introduce a Site-Specific Policy to VOP 2010, Volume 2, to permit additional employment uses including manufacturing and processing, research and development, and warehousing uses.
2. Zoning By-law Amendment File Z.26.012 to amend Comprehensive Zoning By-law 001-2021 to:
- rezone the Subject Lands from EM1 – Prestige Employment Zone subject to site-specific exception 14.865, as shown on Attachment 1, to EMU – Employment Commercial Mixed-Use Zone in the manner shown on Attachment 3, together with the site-specific zoning exceptions identified in Attachment 4.

No new Site Development Applications have been submitted as the Development does not contemplate any modification to the existing gross floor area, building envelope, building elevations, or site layout.

Public Notice was provided in accordance with the Planning Act and Council’s Notification Protocol

- a) Date the Notice of Public Meeting was circulated: April 10, 2026.

The Notice of Public Meeting was also posted on the City’s website at www.vaughan.ca and a Notice Sign was installed along Cityview Boulevard. in accordance with the City’s Notice Signs Procedures and Protocols.

- b) Circulation Area: To all property owners within 150 metres of the Subject Lands, the Vellore Woods Ratepayers’ Association, and to anyone on file with the Office of the City Clerk having requested notice.
- c) No comments have been received as of April 21, 2026, by the Development and Parks Planning Department.

Any written comments received will be forwarded to the Office of the City Clerk to be distributed to the Committee of the Whole as a Communication and be reviewed and addressed by the Development and Parks Planning Department in a future technical report to the Committee of the Whole.

Previous Reports/Authority

The following are links to previous reports regarding the Subject Lands:

Argento Developments Inc. – Zoning By-law Amendment File Z.03.042 and Draft Plan of Subdivision File 19T-03V08 – Public Hearing Report:
[Dec. 8, 2003, Committee of the Whole \(Public Hearing\) \(Item 7, Report No. 74\)](#)

Argento Developments Inc. – Zoning By-law Amendment File Z.03.042 and Draft Plan of Subdivision File 19T-03V08 – Committee of the Whole Report: [June 21, 2004, Committee of the Whole \(Item 71, Report No. 55\)](#)

Analysis and Options

An amendment to York Region Official Plan 2022 is required to permit the Development.

York Region Official Plan 2022 Designation:

- “Urban Area” on Map 1 – Regional Structure
 - “Employment Area” on Map 1A – Land Use Designations
 - “Highway 400 North” Employment Area Zone on Appendix 1 – Employment Area Zones and Densities.
 - The “Employment Area” designation does not permit the proposed commercial uses.
 - An “Employment Area” conversion is required through an amendment to York Region Official Plan 2022 to redesignate the Subject Lands from “Employment Areas” to “Community Area” to permit the Development.
- York Region Official Plan 2022 policies have been incorporated into the Council adopted Vaughan Official Plan 2025, which designates the Subject Lands as “Prestige Mixed-Use II” in Schedule 13 – Land Use Designations

An amendment to Vaughan Official Plan 2010 is required to permit the Development.

Official Plan Designation:

- “Employment Area” on Schedule 1 – Urban Structure by VOP 2010
- “Prestige Employment” on Schedule 13 – Land Use by VOP 2010
- The “Prestige Employment” designation permits a wide range of employment uses such as manufacturing, warehousing, distribution, and accessory retail and office uses.
- An amendment to VOP 2010 is required to amend Schedule 1 – Urban Structure to convert the Subject Lands from “Employment Areas” to “Community Area”, as shown on Attachment 2.
- An amendment to VOP 2010 is required to redesignate the Subject Lands from “Prestige Employment” to the “Employment Commercial Mixed-Use” designation.
- An amendment to the VOP 2010, Volume 2, Chapter 13 is required to introduce a new Site-Specific Policy to permit a range of employment uses that are currently permitted on the Subject Lands under the “Prestige Employment” designation and any other applicable policies.
- The Subject Lands are designated “Prestige Mixed-Use II” in the Vaughan Official Plan 2025. The proposed uses are intended to maintain consistency with the uses permitted by the “Prestige Mixed-Use II” designation in the Council adopted Vaughan Official Plan 2025.

The recently adopted Vaughan Official Plan 2025 is not the in-force policy for the Subject Lands.

The Vaughan Official Plan 2025, which represents the City’s new policy direction, was adopted by the City on Oct. 28, 2025 as the new official plan for the City. The Vaughan

Official Plan 2025 is subject to approval by the Minister of Municipal Affairs and Housing and is not in force. Should the Applications be deemed complete prior to the approval of the Vaughan Official Plan 2025, the VOP 2010, in addition to certain York Region Official Plan 2022 policies deemed to be the City’s official plan policies, will be the in-force policies against which conformity of the Applications are reviewed and assessed.

Amendments to Zoning By-law 1-21 are required to permit the Development.

- EM1 – Prestige Employment Zone by Zoning By-law 001-2021, subject to Site-Specific Exception 14.865.
- The Prestige Employment Zone and Exception 14.865 do not permit commercial uses.
- The Owner proposes to rezone the Subject Lands to EMU – Employment Commercial Mixed-Use Zone, together with site-specific zoning exceptions shown in Attachment 4 to permit the Development.

Additional zoning exceptions may be identified through the detailed review of the Applications and will be considered in a technical report to a future Committee of the Whole meeting.

Following a preliminary review of the applications, the Development and Parks Planning Department has identified the following matters to be reviewed in greater detail.

	MATTERS TO BE REVIEWED	COMMENT(S)
a.	Conformity and Consistency with Provincial Policies and City Official Plan Policies	<ul style="list-style-type: none"> ▪ The Applications will be reviewed for consistency and conformity to the Provincial Planning Statement, 2024, and the policies of VOP 2010 and any other deemed City official plan policies. ▪ The Applications will be removing the Subject Lands from the “Employment Areas” designations in both York Region Official Plan 2022 and VOP 2010. ▪ The Applications will be reviewed based on the conversion criteria set out by Policy 2.8.5 of Provincial Planning Statement 2024 to ensure: <ol style="list-style-type: none"> 1. there is an identified need for the removal and the land is not required for employment area uses over the long term; 2. the proposed uses would not negatively impact the overall viability of the employment area by: <ul style="list-style-type: none"> ▪ Avoiding, or where avoidance is not possible, minimizing and mitigating potential impacts to

	MATTERS TO BE REVIEWED	COMMENT(S)
		<p>existing or planned employment area uses in accordance with policy 3.5;</p> <ul style="list-style-type: none"> ▪ Maintaining access to major goods movement facilities and corridors; <p>3. existing or planned infrastructure and public service facilities are available to accommodate the proposed uses; and</p> <p>4. the municipality has sufficient employment lands to accommodate projected employment growth to the horizon of the approved official plan.</p>
b.	<p>Appropriateness of Amendments to York Region Official Plan 2022, VOP 2010, and Zoning By-law 1-21</p>	<ul style="list-style-type: none"> ▪ The appropriateness of the amendments to York Region Official Plan will be reviewed in consideration of the impact that the proposed employment conversion will have on adjacent employment and residential uses. ▪ The appropriateness of the amendments to VOP 2010 will be reviewed in consideration of the proposed land use designation and Site-Specific Policy, as well as the ability for the existing building to accommodate the proposed uses and its associated parking demand. ▪ The appropriateness of the rezoning and site-specific exceptions will be reviewed in consideration of the existing and planned surrounding land uses in VOP 2010.
c.	<p>Studies and Reports</p>	<ul style="list-style-type: none"> ▪ The Owner submitted studies and reports in support of the Applications available on the city's website at https://maps.vaughan.ca/planit/ (PLANit Viewer) and must be approved to the satisfaction of the City or respective approval authority. Additional studies and/or reports may be required as part of the application review process.
d.	<p>Urban Design Guidelines</p>	<ul style="list-style-type: none"> ▪ The Development will be reviewed in consideration of the City of Vaughan City-wide Urban Design Guidelines.
e.	<p>Public Agency/Municipal Review</p>	<ul style="list-style-type: none"> ▪ The Applications must be reviewed by York Region, Ministry of Transportation, the Toronto and Region Conservation Authority, and external public agencies and utilities.
f.	<p>Traffic Impacts, Road Widening and Access</p>	<ul style="list-style-type: none"> ▪ A Parking Study, dated April 2026 and a Traffic Operations Letter dated February 2026, both prepared by Crozier Consulting Engineers have been received and will be reviewed in accordance with the City's Parking Study

	MATTERS TO BE REVIEWED	COMMENT(S)
		<p>Guidelines and Transportation Impact Study Guidelines to the satisfaction of the Development Engineering Department.</p> <ul style="list-style-type: none"> ▪ The proposed traffic and parking demand generated by the development for the proposed uses will be reviewed in consideration of existing traffic conditions along Cityview Boulevard and in consideration of existing parking supply, being 112 parking spaces, within the Subject Lands. ▪ Although no site alteration is being proposed, the feasibility of the existing site to accommodate the proposed change in use, including matters to do with the driveway entrance, parking, ramps to the underground parking garage, truck manoeuvring, bicycle parking and Transportation Demand Management are required to be reviewed to the satisfaction of the Development Engineering Department. ▪ The Subject Lands are located on Cityview Boulevard, a minor collector road under the jurisdiction of the City of Vaughan.
g.	Related Site Development Application	<ul style="list-style-type: none"> ▪ The Development will be reviewed for consistency with the approved Site Development Application File DA.24.025. Any site alterations deemed necessary to facilitate the Development will require additional review and approval through an amending Site Development Application.

Financial Impact

There are no financial requirements for new funding associated with this report.

Operational Impact

Development and Parks Planning staff have circulated the Applications to internal City Departments and external agencies for review.

Broader Regional Impacts/Considerations

York Region Council adopted the York Region Official Plan 2022 in June 2022. York Region Official Plan 2022 was approved, as modified, by the Minister of Municipal Affairs and Housing in November 2022, bringing it into full force and effect. Bill 150 (*Planning Statue Law Amendment Act, 2023*) and Bill 162 (*Get It Done Act, 2024*) later rescinded some of those modifications.

On June 6, 2024, Bill 185 (*Cutting Red Tape to Build More Homes Act, 2024*) (“Bill 185”) received Royal Assent which includes amendments to the Planning Act. In accordance with the amendments to the *Planning Act* implemented through Bill 185, York region became a Region without planning responsibilities effective July 1, 2024.

Pursuant to subsection 70.13(2) of the *Planning Act*, York Region Official Plan 2022 is deemed to constitute an official plan of the City in respect of any area in the City to which it applies and will remain in effect until the City revokes or amends it.

The Applications are being circulated to York Region for the purpose of receiving comments on matters of Regional interest i.e., roads and servicing infrastructure. Further comments will be discussed in the future comprehensive report.

Conclusion

The preliminary issues identified in this report and any other issues identified through the processing of the Applications will be considered in the technical review of the Applications. Comments from the public and Vaughan Council expressed at the Public Meeting or in writing will be addressed in a comprehensive report to a future Committee of the Whole meeting.

For more information, please contact Harry Zhao, Planner, Development and Parks Planning Department, ext. 8507.

Attachments

1. Context and Location Map
2. Proposed Amendment to Schedule 1 – Urban Structure
3. Site Plan and Proposed Zoning
4. Proposed Exceptions to Zoning By-law 001-2021

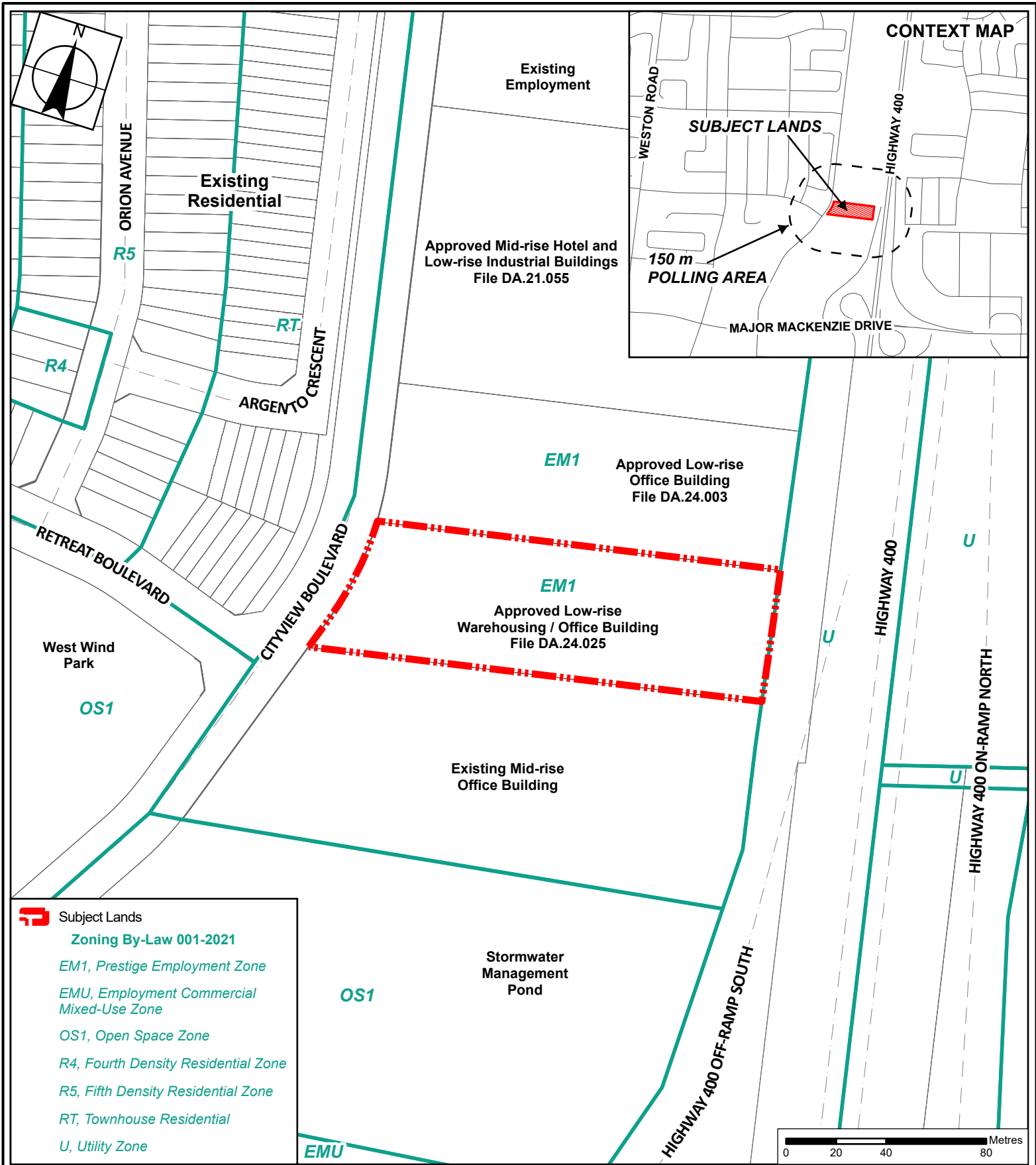
Prepared by

Harry Zhao, Planner, ext. 8507

Kaveen Fernando, Senior Planner, ext. 8592

Carmela Marrelli, Senior Manager of Development Planning, ext. 8791

Nancy Tuckett, Director of Development and Parks Planning, ext. 8529



-  Subject Lands
- Zoning By-Law 001-2021**
- EM1, Prestige Employment Zone*
- EMU, Employment Commercial Mixed-Use Zone*
- OS1, Open Space Zone*
- R4, Fourth Density Residential Zone*
- R5, Fifth Density Residential Zone*
- RT, Townhouse Residential*
- U, Utility Zone*

Context and Location Map

LOCATION:
165 Cityview Boulevard
Part of Block 60, Registered Plan 65M-3885

APPLICANT:
Ganlan Developments Ltd.

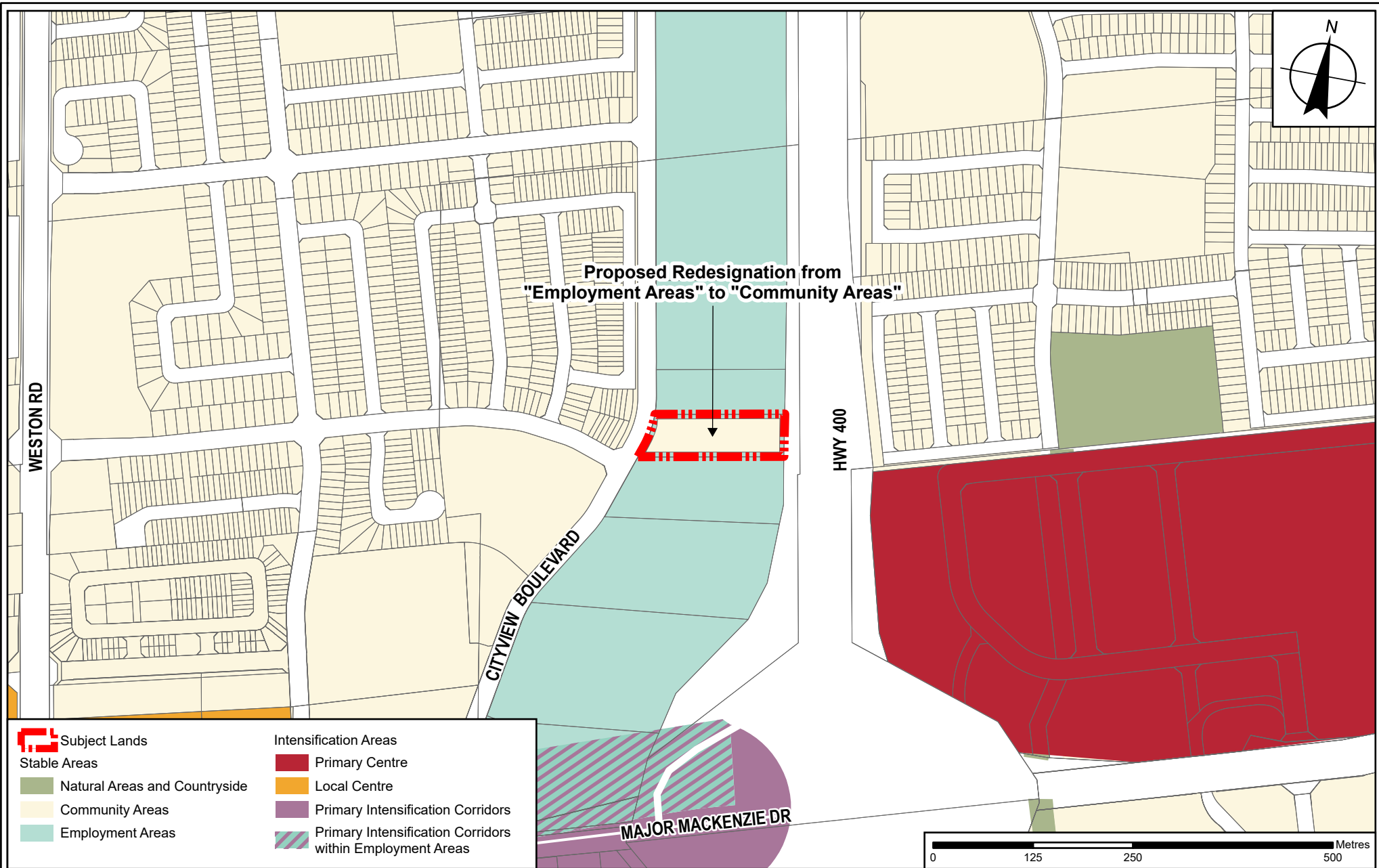


Development and
Parks Planning

Attachment

FILES:
OP.26.004 and Z.26.012
RELATED FILE:
DA.24.025
DATE:
May 5, 2026

1



Proposed Amendment to Schedule 1 – Urban Structure

LOCATION:
165 Cityview Boulevard
Part of Block 60, Registered Plan 65M-3885

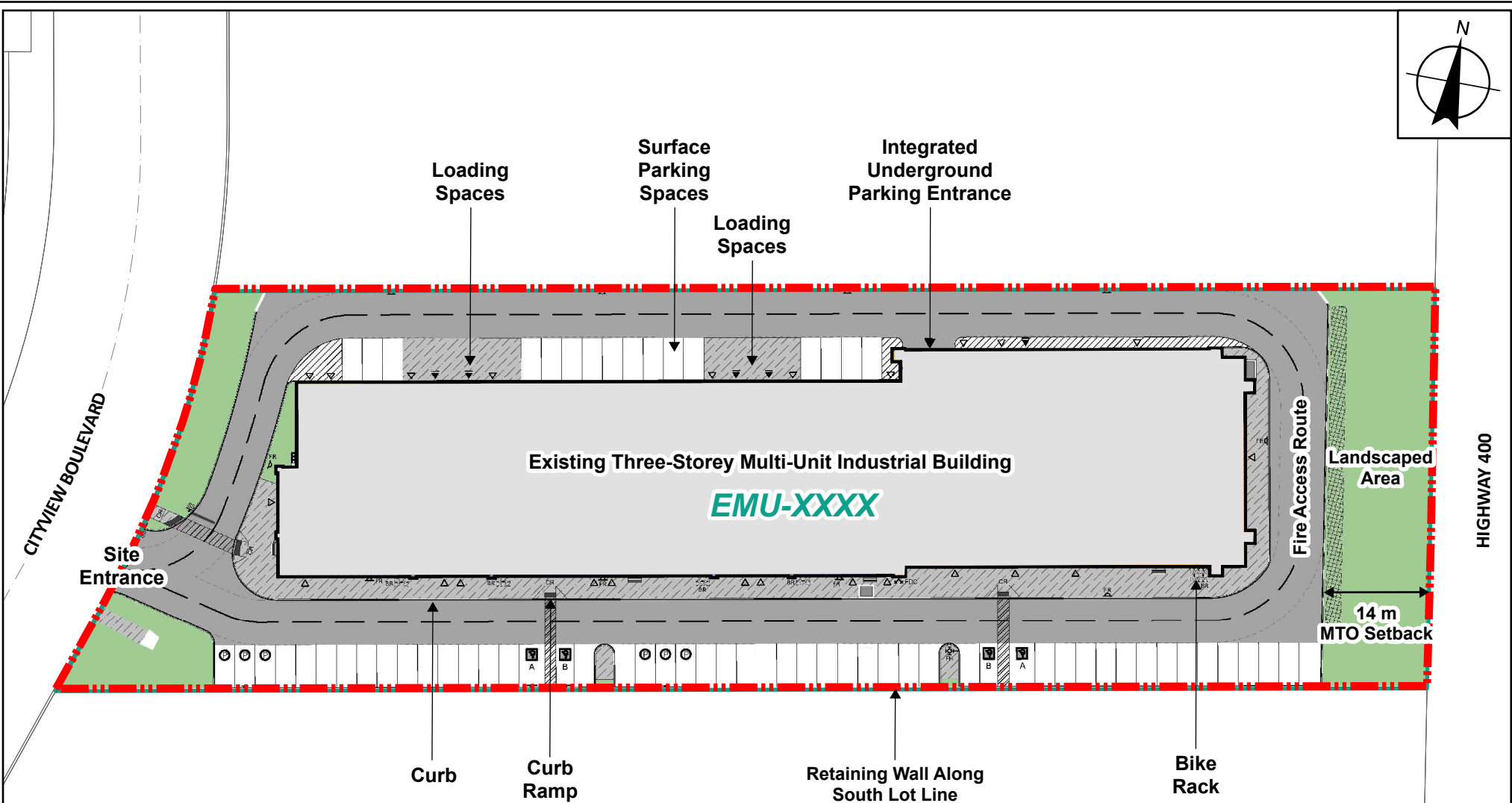
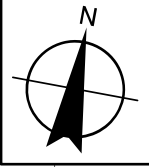
APPLICANT:
Ganlan Developments Ltd.



Attachment

FILES:
OP.26.004 and Z.26.012
RELATED FILE:
DA.24.025
DATE:
May 5, 2026

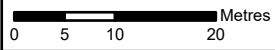
2



 Subject Lands

Zoning By-Law 001-2021

Proposed EMU, Employment Commercial Mixed-Use Zone, subject to Site-Specific Exceptions



Site Plan and Proposed Zoning

LOCATION:
165 Cityview Boulevard
Part of Block 60, Registered Plan 65M-3885

APPLICANT:
Ganlan Developments Ltd.



Attachment

FILES:
OP.26.004 and Z.26.012

RELATED FILE:
DA.24.025

DATE:
May 5, 2026

3

Attachment 4 – Proposed Exceptions to Zoning By-law 001-2021

Table 1:

	Zoning By-law 001-2021 Standard	EMU – Employment Commercial Mixed-Use Zone	Proposed Exceptions to the EMU – Employment Commercial Mixed-Use Zone Requirements
a.	Permitted Uses	<p>The following additional uses are not permitted in the EMU Zone:</p> <ul style="list-style-type: none"> • Manufacturing or processing facility • Research and development • Warehousing and distribution facility 	<p>The following additional uses shall be permitted on the Subject Lands:</p> <ul style="list-style-type: none"> • Manufacturing or processing facility • Research and development • Warehousing and distribution facility
b.	Minimum Parking Requirements	Where any combination of the permitted commercial uses are developed on a lot within the EMU Zone, the parking requirements shall be subject to the shopping centre parking standard of 2.0 per 100 square metres of Gross Floor Area	A minimum of 112 parking spaces shall be permitted.
c.	Build to Zone Setback	5 -10 m shall apply to a minimum of 50 percent of the street frontage	No build-to Zone shall apply to the Subject Lands
d.	45-degree Angular Plane	A 45-degree angular plane shall be required in the EMU Zone and shall be applied from the rear lot line and interior side lot line	No 45-degree angular plane shall apply to the Subject Lands
g.	Minimum Ground Floor Height	6 m	4.905 m

Committee of the Whole (Public Meeting) Report

DATE: Tuesday, May 5, 2026

WARD(S): 3

TITLE: IKORE (MAJOR WESTON) LTD.

OFFICIAL PLAN AMENDMENT FILE OP.23.003

ZONING BY-LAW AMENDMENT FILE Z.23.005

10069 WESTON RD. AND PART 15, PLAN 65R-37024

PART OF LOT 21, CONCESSION 5

VICINITY OF MAJOR MACKENZIE DRIVE AND WESTON ROAD

FROM:

Vince Musacchio, Deputy City Manager, Planning and Infrastructure Development

ACTION: FOR INFORMATION

Purpose

To receive comments from the public and the Committee of the Whole on applications to amend the “Mid-Rise Mixed-Use” policies and rezone the subject lands to permit a mid-rise development consisting of two, 10-storey buildings with a total gross floor area of 33,549.6 square metres and a Floor Space Index of 5.87 times the area of the lot for a total of 443 residential apartment units, as shown on Attachments 3 and 4.

Report Highlights

- The Owner proposes to amend the “Mid-Rise Mixed-Use” policies and rezone the subject lands to permit a mid-rise development consisting of two, 10-storey buildings with a total gross floor area of 33,549.6 square metres and a FSI of 5.87 times the area of the lot for a total of 443 residential apartment units.
- The development has been changed from condominium apartment units to purpose built rental apartment units for both buildings.
- This is the second Public Meeting for the development. The first Public Meeting was held on Sept. 12, 2023.
- This report identifies preliminary issues to be considered in a technical report to be prepared by the Development and Parks Planning Department at a future Committee of the Whole meeting.

Recommendations

1. THAT the Public Meeting report for Official Plan and Zoning By-law Amendment Files OP.23.003 and Z.23.005 (Ikore (Major Weston) Ltd.) be received, and that any issues identified be addressed by the Development and Parks Planning Department in a comprehensive report to the Committee of the Whole.

Background

Location: 10069 Weston Rd. and Part 15, Plan 65R-37024 (the Subject Lands). The Subject Lands and surrounding land uses are shown on Attachment 1.

Date of Pre-Application Consultation Meeting: May 6, 2022

Date application(s) were deemed complete: June 30, 2023

Official Plan Amendment and Zoning By-law Amendment Applications have been submitted to permit the Development

The Owner has submitted the following applications (Applications) for the Subject Lands to permit the Development as shown on Attachments 3 and 4:

1. Official Plan Amendment File OP.23.005 to amend the policies of Vaughan Official Plan 2010 Volume 1 and Volume 2 (Area Specific Policy 21.6), Northeast Quadrant of Major Mackenzie Drive and Weston Road, (VOP 2010) respecting the policies of “Mid-Rise Mixed-Use” designation pertaining to increasing the maximum permitted building height from six storeys to 10 storeys and increasing the maximum density / floor space index (FSI) from 2.0 times the area of the lot to 5.87 times the area of the lot with no gross floor area exceptions as per VOP 2010 or 3.78 times the area of the lot with gross floor exceptions on Attachment 2. The definition of FSI requires modifications to the gross floor area to provide for floor area exclusions in alignment with By-law 001-2021.
2. Zoning By-law Amendment File Z.23.005 to rezone the Subject Lands from “GMU(H) 963 General Mixed Use” Zone with a Holding Symbol “(H)” and subject to site-specific exception 14.963 to “RM2(H) - Multiple Unit Residential” Zone with a Holding Symbol (H) in Zoning By-law 001-2021 in the manner shown on Attachment 3, together with the site-specific zoning exceptions identified in Table 1 in Attachment 7.

The Committee of the Whole (Public Meeting) considered the Applications on Sept. 12, 2023

The first public meeting for the Applications was held on Sept. 12, 2023. A second public meeting is required as it has been over two years since the first public meeting and a decision on the Applications from Council has not occurred, in accordance with Policy 10.1.4.1. of VOP 2010 which states (in part):

That at least one public meeting shall be held prior to the adoption of an Official Plan or Zoning By-law amendment at which the public may make representations in respect of the matter being considered. A new public meeting for a planning application(s) shall automatically be required when any of the following circumstances occur:

- a. any application(s) that has not been considered by Council within two years after the date it was considered at a previous statutory public meeting.

The Owner has undertaken the following key modifications to the Development since the first Public Meeting as follows:

	Sept. 12, 2023 Public Meeting (Attachments 5 and 6)	May 5, 2026 Public Meeting (Attachments 3 and 4)	Modifications
Building Height	<ul style="list-style-type: none"> i. 10 Storeys (31.35 metres excluding the mechanical rooftop room) ii. 34 metres to the top of the roof 	<ul style="list-style-type: none"> i. 10 Storeys (30.8 metres excluding the mechanical rooftop room) ii. 34.5 metres to the top of the roof 	Small decrease in building height of 0.55 metres based on the definition of building height in Zoning By-law 001-2021 which excludes the mechanical rooftop room. However, the actual building to the top of the roof is 0.5 metres higher.
FSI	6.43 times the area of the lot with no gross floor area exceptions as per VOP 2010 or 3.71 times the area of the lot with gross floor exceptions	5.87 times the area of the lot with no gross floor area exceptions as per VOP 2010 or 3.78 times the area of the lot with gross floor exceptions	The FSI with no gross floor exceptions is reduced.
Units	461 Units	443 Units	Decrease of 18 units
Building Form	The two buildings were connected to each other on the third, fourth and fifth floors. The buildings are connected through the three-	Two separate buildings at-grade. The buildings are connected through the two-level underground parking structure.	Provides for an unobstructed north-south driveway connection to the lands to the south.

	Sept. 12, 2023 Public Meeting (Attachments 5 and 6)	May 5, 2026 Public Meeting (Attachments 3 and 4)	Modifications
	level underground parking structure.		
Tenure	Condominium apartment units	Purpose built rental apartment units	Change in tenure

Public Notice was provided in accordance with the Planning Act and Council’s Notification Protocol

a) Date the Notice of Public Meeting was circulated: April 10, 2026.

The Notice of Public Meeting was also posted on the City’s website at www.vaughan.ca and a Notice Sign was installed along Weston Road in accordance with the City’s Notice Signs Procedures and Protocols.

b) Circulation Area: To all property owners within 150 metres of the Subject Lands and to the Vellore Woods and Millwood Woodend Ratepayers’ Associations and to anyone on file with the Office of the City Clerk having requested notice.

c) The following is a summary of written comments received as of April 21, 2026. The comments are organized by theme as follows:

Sunlight and View

- the building height will decrease the sunlight and the view of the neighborhood

Traffic Congestion / Access

- the Development will increase traffic congestion in the area and impact vehicle and pedestrian safety
- the Development proposes one driveway access onto Thule Street which will impact traffic movement on the street

Density, Built Form and Building Design

- the Development will further add to the increasing high density in the area, which was not planned for high density, destroying the neighbourhood
- there is not sufficient infrastructure, as schools, roads and transit, to support the increased density from the Development
- the Development is not compatible with the surrounding low-rise context
- a low-rise building form such as detached dwelling units would be more appropriate

Environmental Impacts/Crime

- the Development will result in increased air pollution and noise due to the increased number of vehicles

- the increased vehicles will lead to congestion creating safety concerns for drivers and pedestrians
- the increased density will lead to an influx of crime

Any additional written comments received will be forwarded to the Office of the City Clerk to be distributed to the Committee of the Whole as a communication and be reviewed and addressed by the Development and Parks Planning Department in a future technical report to the Committee of the Whole.

Previous Reports/Authority

The following is the link to a previous report regarding the Subject Lands:
[Sept. 12, 2023, Committee of the Whole \(Public Meeting\) \(Item 2, Report 33\)](#)

Analysis and Options

An amendment to Vaughan Official Plan 2010 is required to permit the Development.

Official Plan Designation:

- “Community Area” on Schedule 1 - Urban Structure by VOP 2010, Volume 1
- “Mid-Rise Mixed Use” with a maximum permitted building height of six storeys and a maximum FSI of 2.0 times the area of the lot on Schedule 13 - Land Use by VOP 2010, Volume 1
- “Mid-Rise Mixed Use” with a “Commercial District” overlay with a 9-metre Pedestrian Walkway on Map 12.6.A by VOP 2010, Volume 2, Area Specific Policy 12.6, Northeast Quadrant of Major Mackenzie Drive and Weston Road
- This designation permits mid-rise buildings / apartment buildings up to a maximum building height of six storeys and a FSI of 2.0 times the area of the lot.
- An amendment to VOP 2010 is required to permit the 10-storey buildings with a FSI of 5.87 times the area of the lot with no gross floor area exceptions as per VOP 2010 or 3.78 times the area of the lot with gross floor exceptions.

The recently adopted Vaughan Official Plan 2025 is not the in-force policy for the Subject Lands

The Vaughan Official Plan 2025, which represents the City’s new policy direction, was adopted by the City on Oct. 28, 2025, as the new official plan for the City. The Vaughan Official Plan 2025 is subject to approval by the Minister of Municipal Affairs and Housing and is not in force. The Applications were deemed complete prior to the approval of the Vaughan Official Plan 2025. As such, the VOP 2010, in addition to certain York Region Official Plan 2022 policies deemed to be the City’s official plan policies, are the in-force policies against which conformity of the Applications are reviewed and assessed.

The York Region Official Plan is deemed to constitute an Official Plan of the City of Vaughan

York Region Council adopted the York Region Official Plan 2022 in June 2022. York Region Official Plan 2022 was approved, as modified, by the Minister of Municipal Affairs and Housing in November 2022, bringing it into full force and effect. Bill 150

(*Planning Statute Law Amendment Act, 2023*) and Bill 162 (*Get It Done Act, 2024*) later rescinded some of those modifications. On June 6, 2024, Bill 185 (*Cutting Red Tape to Build More Homes Act, 2024*) (“Bill 185”) received Royal Assent which includes amendments to the *Planning Act*. In accordance with the amendments to the *Planning Act* implemented through Bill 185, York Region became a region without planning responsibilities effective July 1, 2024. Pursuant to subsection 70.13(2) of the *Planning Act*, the York Region Official Plan 2022 is deemed to constitute an official plan of the City in respect of any area in the City to which it applies and will remain in effect until the City revokes or amends it.

Official Plan Designation (York Region Official Plan 2022):

- “Urban Area” on Map 1 - Regional Structure
- “Community Area” on Map 1A - Land Use Designations
- “Designated Greenfield Area” on Map 1B - Urban System Overlays
- “2 to 5 year Zone / WHPA-C” on Map 6 - Wellhead Protection Areas (WHPA) and Intake Protection Zones
- “Proposed Cycling Facilities” (Weston Road) on Map 9A - Regional Road Cycling Network
- “Recharge Management Area (Wellhead Protection Area Q1/Q2)” on Map 12A - Significant Groundwater Recharge Areas and Recharge Management Areas
- The Application conforms to York Region Official Plan 2022.

Amendments to Zoning By-law 001-2021 are required to permit the Development
Zoning:

- “GMU(H)-963 General Mixed Use” Zone with a Holding Symbol “(H)” and subject to site-specific exception 14.963
- This Zone does not permit the Development.
- The Owner proposes to rezone the Subject Lands to “RM2(H) - Multiple Unit Residential” Zone with a Holding Symbol (H) together with the site-specific zoning exceptions to permit the Development, identified in Table 1 as shown in Attachment 7.

Additional zoning exceptions to Table 1 may be identified through the detailed review of the Applications and will be considered in a technical report to a future Committee of the Whole meeting.

Following a preliminary review of the Applications, the Development and Parks Planning Department has identified the following matters to be reviewed in greater detail:

	MATTERS TO BE REVIEWED	COMMENT(S)
a.	Conformity and Consistency with Provincial Policies and City Official Plan Policies	<ul style="list-style-type: none"> ▪ The Applications will be reviewed for conformity and consistency with the Provincial Planning Statement, 2024, the York Region Official Plan (York Region Official Plan) 2022, VOP 2010 Volume 1 and Volume 2, Area Specific Policy 12.6, Northeast Quadrant of Major Mackenzie Drive and Weston Road, and any other deemed City official plan policies.
b.	Appropriateness of Amendments to VOP 2010 and the Zoning By-law	<ul style="list-style-type: none"> ▪ The appropriateness of the amendments to VOP 2010 will be reviewed in consideration of the proposed land use, building height and density. ▪ The appropriateness of the rezoning and site-specific exceptions will be reviewed in consideration of the existing and planned surrounding land uses. including the coordination of the Subject Lands with future developments.
c.	Studies and Reports	<ul style="list-style-type: none"> ▪ The Owner submitted studies and reports in support of the Applications available on the city's website at https://maps.vaughan.ca/planit/ (PLANit Viewer) and must be approved to the satisfaction of the City or respective approval authority. Additional studies and/or reports may be required as part of the application review process.
d.	Allocation and Servicing	<ul style="list-style-type: none"> ▪ The availability of water and sanitary servicing capacity for the Development must be identified and allocated by Vaughan Council, if the applications are approved. If servicing allocation is unavailable, the lands will be zoned with a Holding Symbol "(H)", which will be removed once servicing capacity is identified and allocated to the lands by Vaughan Council. ▪ The Development Engineering Department has identified that the Holding Symbol "(H)" will be required for servicing allocation.
e.	Urban Design Guidelines	<ul style="list-style-type: none"> ▪ The Development will be reviewed in consideration of the City of Vaughan City-wide Urban Design Guidelines.
f.	Design Review Panel	<ul style="list-style-type: none"> ▪ The Development was reviewed in consideration of the comments provided by the Design Review Panel on March 28, 2024.
g.	Public Agency/Municipal Review	<ul style="list-style-type: none"> ▪ The Applications must be reviewed by York Region, the Toronto and Region Conservation Authority, external public agencies and utilities, and the Public, Separate, and French School Boards.

	MATTERS TO BE REVIEWED	COMMENT(S)
h.	Sustainable Development	<ul style="list-style-type: none"> ▪ The Applications will be reviewed in consideration of the City of Vaughan’s Policies and Sustainability Metrics Program. The Development provides a bronze score of 44.
i.	Parkland Dedication	<ul style="list-style-type: none"> ▪ The Applications will be reviewed in consideration of the requirements of the <i>Planning Act</i> and the City of Vaughan’s Parkland Dedication Policy.
j.	Community Benefits Charges	<ul style="list-style-type: none"> ▪ The Development meets the criteria for Community Benefits Charges (CBC) being five or more storeys and 10 or more units. The City passed the Community Benefits Charges By-law on Sept. 14, 2022, which is therefore the applicable mechanism used to collect community benefits.
k.	Affordable Housing	<ul style="list-style-type: none"> ▪ The Applications will be reviewed in consideration of Provincial, Regional and City policies to ensure that the development provides an appropriate level, range and mix of unit sizes and types to meet the City’s affordable housing goals.
l.	City’s Tree Protection Protocol (TPP)	<ul style="list-style-type: none"> ▪ There are 11 trees on the Subject Lands, 10 of which are required to be removed to accommodate the Development. The Owner is required to provide 32 replacement trees in accordance with the City’s Tree Protection Protocol. ▪ Four of the 10 trees for removal will be removed by the Owner a tree protection agreement shall be required at the Site Plan stage. The remaining six trees located along or within six metres of the south property line will be removed by the landowner to the south (SmartCentres) and a permit or a tree protection agreement shall be required. ▪ The Owner is required to provide a letter of acknowledgement from the landowner owner to the south (SmartCentres) for submission to the Forestry Division as a condition prior to executing the tree protection agreement. ▪ The Development will be reviewed in accordance with the City’s Tree Protection Protocol, for the protection and the replacement of any tree(s) should they be damaged during construction, if the Applications are approved.

	MATTERS TO BE REVIEWED	COMMENT(S)
m.	Traffic Impacts, Road Widening and Access	<ul style="list-style-type: none"> ▪ The Transportation Impact Study will be reviewed in accordance with the City’s Transportation Impact Study Guidelines to the satisfaction of the Development Engineering Department ▪ The proposed traffic generated by the Development at the requested density will be reviewed in consideration of existing traffic conditions at Weston Road and Thule Street. ▪ Matters including the driveway entrance, parking, ramps to the underground parking garage, truck manoeuvring, bicycle parking, and Transportation Demand Management requirements are required to be reviewed to the satisfaction of the Development Engineering Department. ▪ The Subject Lands are located on Weston Road, an arterial road, under the jurisdiction of York Region. ▪ York Region has identified that 9.81 square metres are required for a road widening to accommodate a daylight (sight) triangle.
n.	Related Site Development Application	<ul style="list-style-type: none"> ▪ The Owner has submitted related Site Development File DA.23.019. ▪ In accordance with the City’s Site Plan Control By-law 123-2013, as amended by By-law 141-2022, the authority to issue conditions of site plan approval pursuant to section 41 of the <i>Planning Act</i> is delegated to the City’s Deputy City Manager, Planning and Infrastructure Development or designate. A technical report will not be required.
o.	Developer’s Group	<ul style="list-style-type: none"> ▪ Brattys Ltd., the trustee for the Thule Street Landowners Group Inc. (Thule Street LOG), in a letter dated Oct. 16, 2023, advised that the Owner of the Subject Lands, “will benefit directly from the overall planning and related work and costs which have been or will be provided, constructed and/or financed by the Thule Street LOG.” ▪ The Thule LOG advises that it “requires the City’s assistance in requiring all landowners within the Thule Street Development Area, to satisfy its obligations with respect to such costs, in order to ensure that such owner(s) bears its fair and equitable share of the costs and burdens related thereto

	MATTERS TO BE REVIEWED	COMMENT(S)
		<p>and to secure the trustee's clearance prior to proceeding with any development of its lands.”</p> <ul style="list-style-type: none"> ▪ The Owner will be required to fulfill all cost sharing and other obligations of the Thule Street LOG to the satisfaction of the Trustee for Thule Street LOG and the City of Vaughan, should the Applications and Site Development File DA.23.019 be approved.

Financial Impact

There are no financial requirements for new funding associated with this report.

Operational Impact

Development and Parks Planning staff have circulated the Applications to internal City Departments and external agencies for review.

Broader Regional Impacts/Considerations

York Region Council adopted the York Region Official Plan 2022 in June 2022. York Region Official Plan 2022 was approved, as modified, by the Minister of Municipal Affairs and Housing in November 2022, bringing it into full force and effect. Bill 150 (*Planning Statute Law Amendment Act, 2023*) and Bill 162 (*Get It Done Act, 2024*) later rescinded some of those modifications.

On June 6, 2024, Bill 185 (*Cutting Red Tape to Build More Homes Act, 2024*) (“Bill 185”) received Royal Assent which includes amendments to the *Planning Act*. In accordance with the amendments to the *Planning Act* implemented through Bill 185, York region became a Region without planning responsibilities effective July 1, 2024.

Pursuant to subsection 70.13(2) of the *Planning Act*, York Region Official Plan 2022 is deemed to constitute an official plan of the City in respect of any area in the City to which it applies and will remain in effect until the City revokes or amends it.

The Application are being circulated to York Region for the purpose of receiving comments on matters of Regional interest. i.e., roads and servicing infrastructure. Further comments will be discussed in the future comprehensive report.

Conclusion

The preliminary issues identified in this report and any other issues identified through the processing of the Applications will be considered in the technical review of the Applications. Comments from the public and Vaughan Council expressed at the Public Meeting or in writing will be addressed in a comprehensive report to a future Committee of the Whole meeting.

For more information, please contact: Judy Jeffers, Planner, Development and Parks Planning Department, ext. 8645.

Attachments

1. Context and Location Map
2. Vaughan Official Plan 2010, Volume 1 - Schedule 13 Land Use
3. Proposed Site Plan and Zoning
4. Proposed Building Elevations
5. Public Meeting September 12, 2023 - Proposed Site Plan and Zoning
6. Public Meeting September 12, 2023 - Proposed Building Elevations
7. Zoning By-law 001-2021 - Table 1

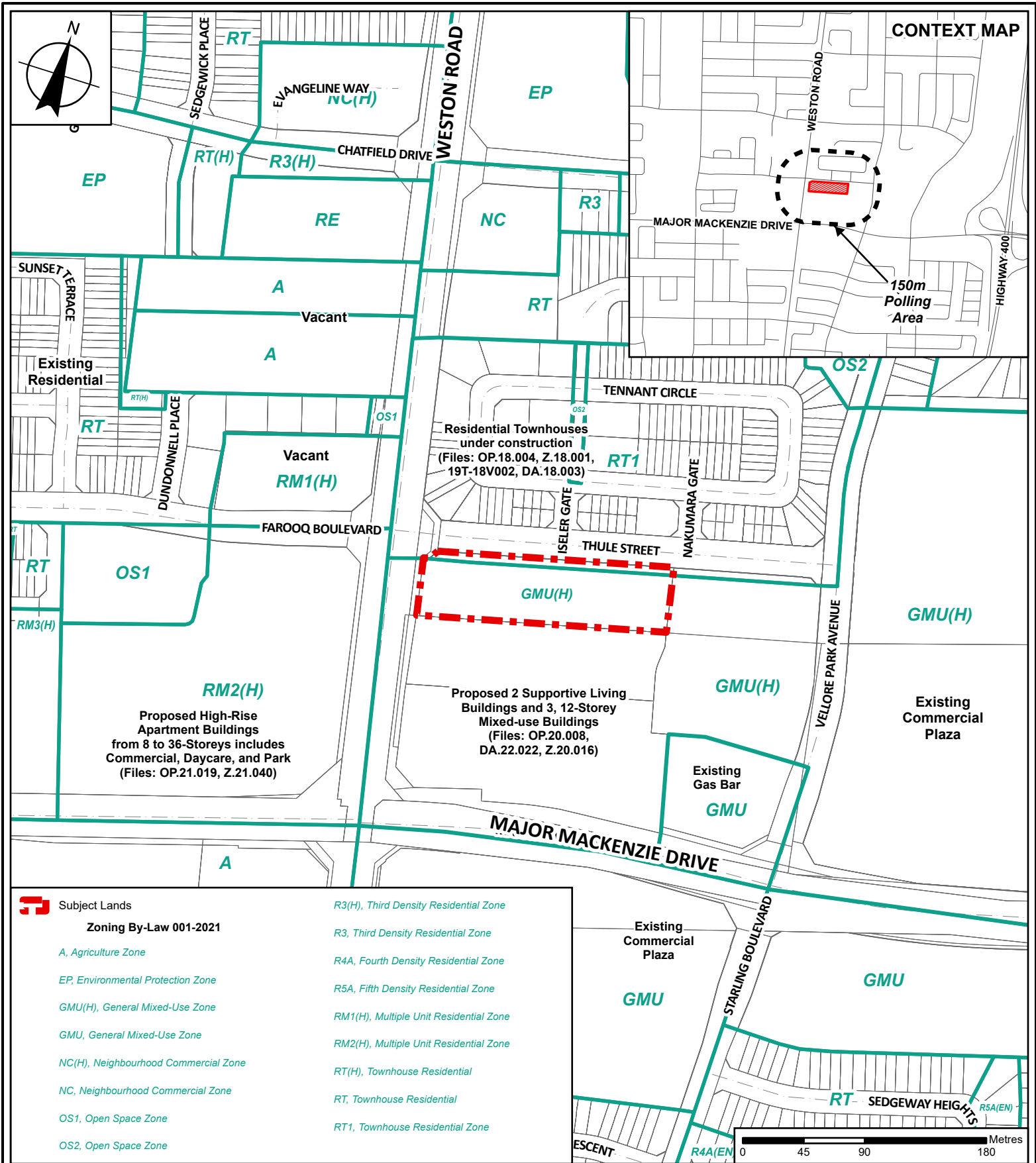
Prepared by

Judy Jeffers, Planner, ext. 8645

OluwaKemi (Kemi) Apanisile, Senior Planner, ext. 8210

Carmela Marrelli, Senior Manager of Development Planning, ext. 8791

Nancy Tuckett, Director of Development and Parks Planning, ext. 8529



Subject Lands

Zoning By-Law 001-2021

A, Agriculture Zone

EP, Environmental Protection Zone

GMU(H), General Mixed-Use Zone

GMU, General Mixed-Use Zone

NC(H), Neighbourhood Commercial Zone

NC, Neighbourhood Commercial Zone

OS1, Open Space Zone

OS2, Open Space Zone

R3(H), Third Density Residential Zone

R3, Third Density Residential Zone

R4A, Fourth Density Residential Zone

R5A, Fifth Density Residential Zone

RM1(H), Multiple Unit Residential Zone

RM2(H), Multiple Unit Residential Zone

RT(H), Townhouse Residential

RT, Townhouse Residential

RT1, Townhouse Residential Zone

Context and Location Map

LOCATION: 10069 Weston Road and Part 15, Plan 65R-37024 Part of Lot 21, Concession 5

APPLICANT: Ikore (Major Weston) Ltd.



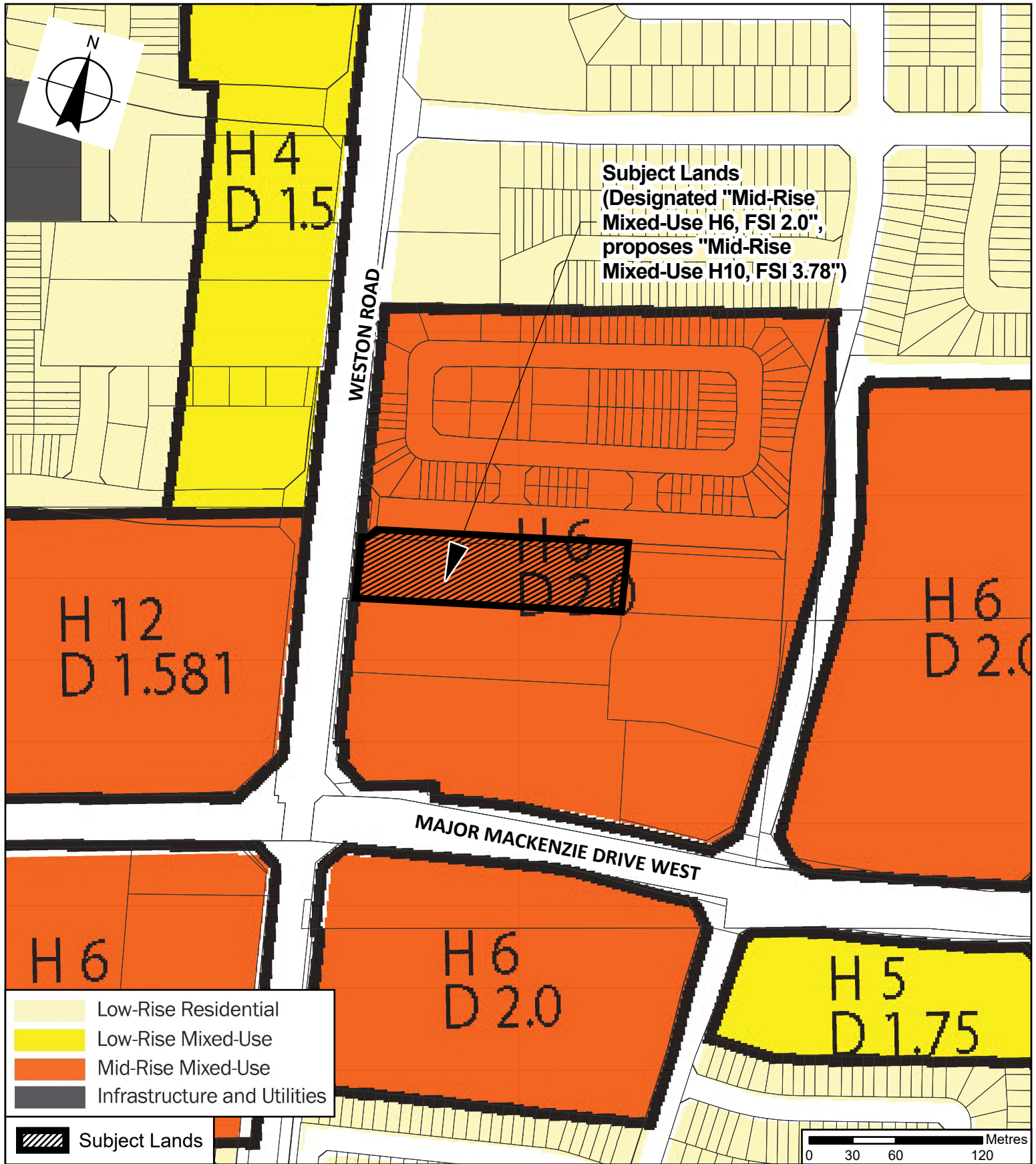
Development and Parks Planning

Attachment

FILES: OP.23.003, Z.23.005
RELATED FILE: DA.23.019

DATE: May 5, 2026

1



Vaughan Official Plan 2010, Volume 1 - Schedule 13 Land Use

Attachment

LOCATION: 10069 Weston Road and Part 15, Plan 65R-37024 Part of Lot 21, Concession 5



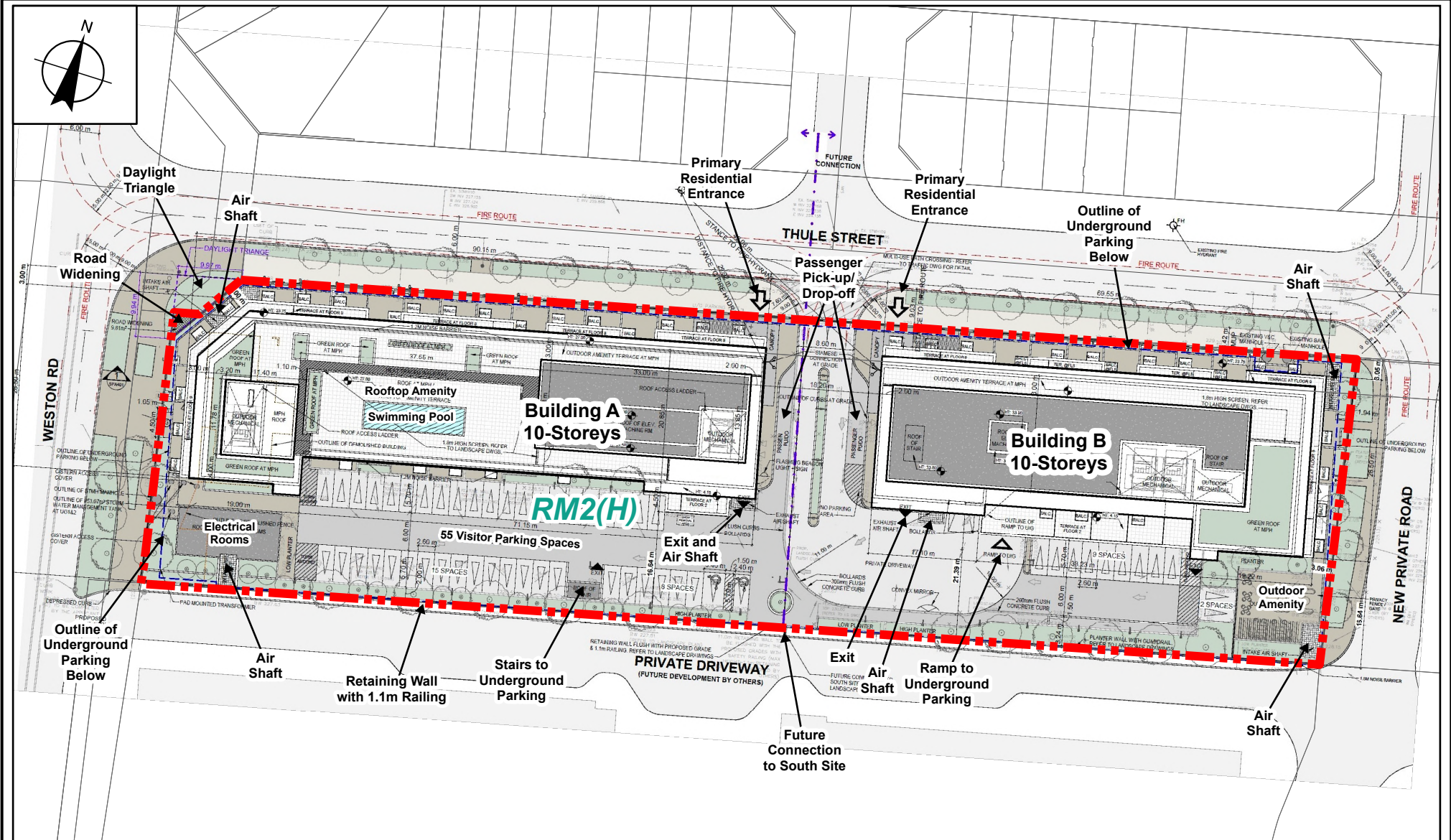
Development and Parks Planning

APPLICANT: Ikore (Major Weston) Ltd.

FILES: OP.23.003 and Z.23.005
RELATED FILE: DA.23.019

DATE: May 5, 2026

2



RM2(H) - Multiple Unit Residential Zone with Holding Symbol

Subject Lands

Proposed Site Plan and Zoning

LOCATION: 10069 Weston Road and Part 15, Plan 65R-37024
Part of Lot 21, Concession 5

APPLICANT:
Ikore (Major Weston) Ltd.



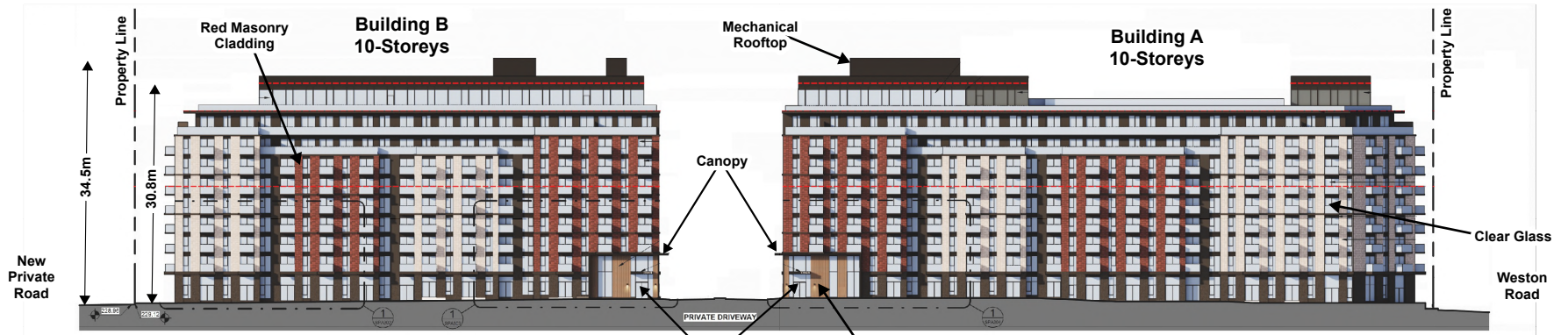
Development and
Parks Planning

Attachment

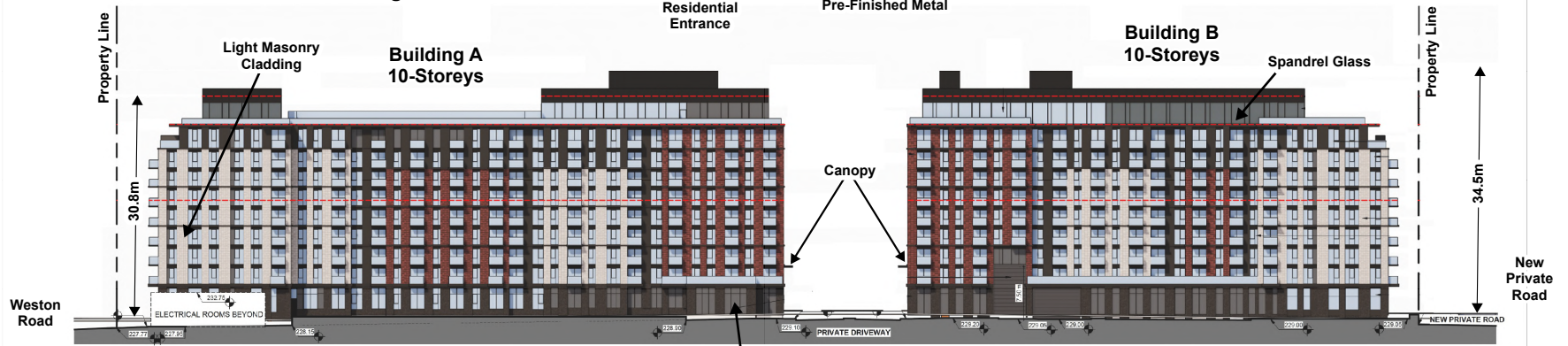
FILES:
OP.23.003, Z.23.005
RELATED FILE: DA.23.019

DATE: May 5, 2026

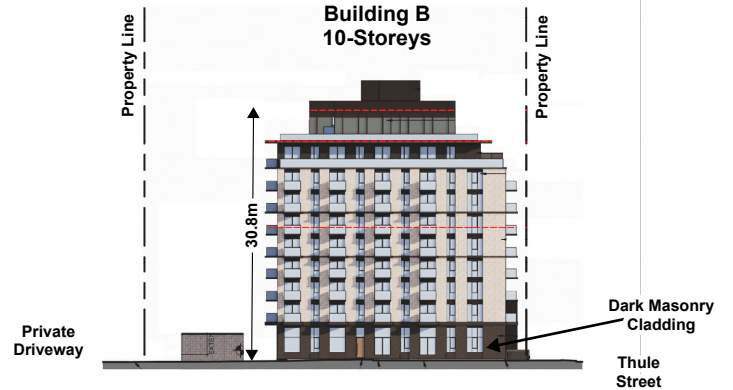
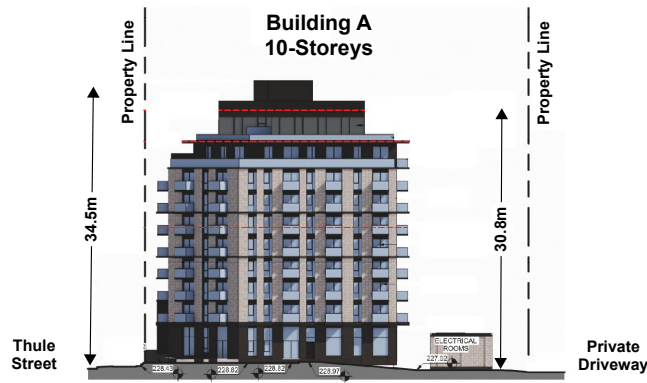
3



North Elevation - Facing Thule Street



South Elevation - Facing New Private Driveway



Proposed Building Elevations

LOCATION: 10069 Weston Road and
Part 15, Plan 65R-37024
Part of Lot 21, Concession 5

APPLICANT:
Ikore (Major Weston) Ltd.

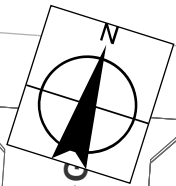
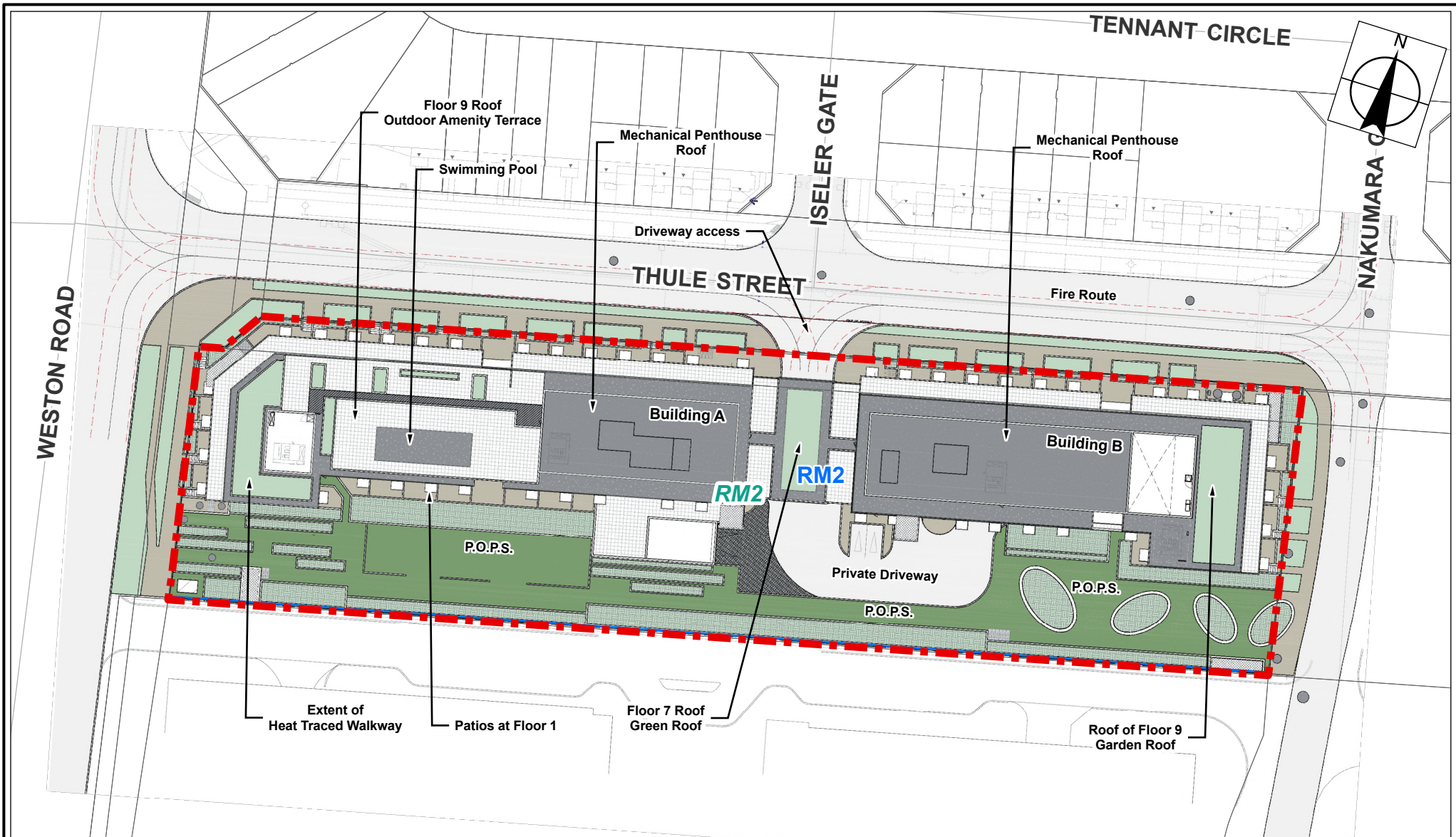


Development and
Parks Planning

Attachment

FILES:
OP.23.003, Z.23.005
RELATED FILE: DA.23.019

DATE: May 5, 2026

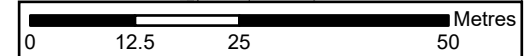


Zoning By-Law 1-88

Zoning By-Law 001-2021

RM2, Multiple Residential

RM2, Multiple Unit Residential Zone



Public Meeting September 12, 2023 - Proposed Site Plan and Zoning

Attachment

LOCATION:
10069 Weston Road and Part 15, Plan 65R-37024
Part of Lot 21, Concession 5

APPLICANT:
Ikore (Major Weston) Ltd.



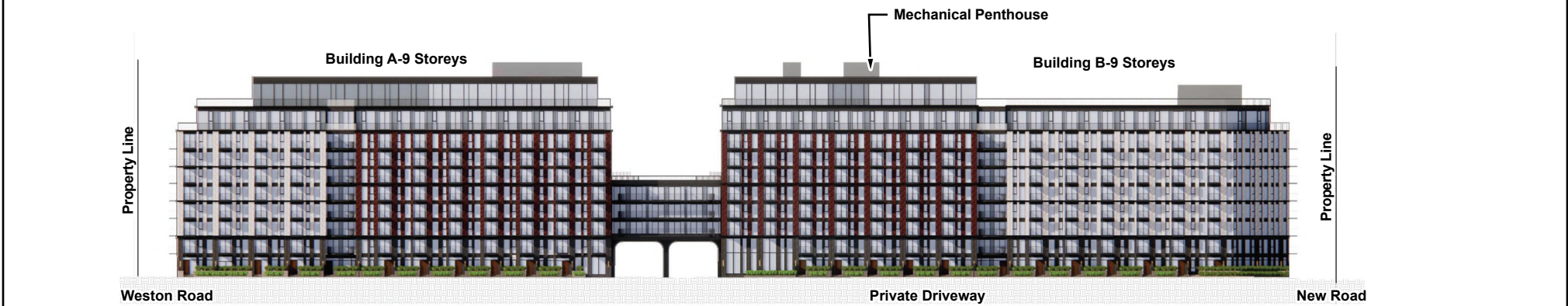
FILES:
OP.23.003, Z.23.005
RELATED FILE: DA.23.019

DATE: May 5, 2026

5



North Elevation



South Elevation



West Elevation



East Elevation

Not to Scale

Public Meeting September 12, 2023 - Proposed Building Elevations

Attachment

LOCATION:
10069 Weston Road and Part 15, Plan 65R-37024
Part of Lot 21, Concession 5

APPLICANT:
Ikore (Major Weston) Ltd.



FILES:
OP.23.003, Z.23.005
RELATED FILE: DA.23.019

DATE: May 5, 2026

6

Attachment 7 - Zoning By-law 001-2021 Table 1

	Zoning By-law 001-2021 Standards	RM2 – Multiple Unit Residential Zone Requirements	Proposed Exceptions to the RM2 – Multiple Unit Residential Zone Requirements
a.	Minimum Lot Area	35,440 m ²	8,896 m ²
b.	Minimum Front Yard (Weston Road)	4.5 m	3 m
c.	Minimum Rear Yard	7.5 m	3.5 m
d.	Minimum Exterior Side Yard (Thule Street)	4.5 m	3 m
e.	Minimum Podium Height	10.5 m	Not Applicable
f.	Minimum Tower Step-Back	3 m	Not Applicable
g.	Maximum Tower Floor Plate	850 ²	i) 2,126.1 m ² Building A ii) 1,676.4 m ² Building B
h.	Minimum Tower Separation	30 m	0 m
i.	Minimum Rear Yard Tower Setback	12.5 m	3
j.	Minimum Landscape Strip	3 m	1 m
k.	Maximum Encroachment of Uncovered Platforms including Access Stairs with a Height Less Than 1.2 m	2.4 m	3.27 m
l.	Maximum Encroachment of an Ornamental Building Feature (Canopies into Front, Exterior	0.6 m	1.5 m

	Zoning By-law 001-2021 Standards	RM2 – Multiple Unit Residential Zone Requirements	Proposed Exceptions to the RM2 – Multiple Unit Residential Zone Requirements
	and Rear Yards)		
m.	Maximum Encroachment of Exterior Stairs into Front, Exterior and Rear Yards	1.8 m	3 m
n.	Minimum Setback for a Below Grade Parking Structure	1.8 m	0.79 m
o.	Permitted Location of Air Ventilation Shafts	Not permitted in within the required front and exterior side yard.	Permitted in within the required front and exterior side yard.
p.	Minimum Setback for an Accessory Building or Structure (Air Shafts)	3 m	0 m
q.	Minimum Barrier Free Parking Spaces	Minimum of 4 Spaces for Visitors	Minimum of 2 Spaces for Visitors
r.	Minimum Parking Space Size	2.7 m x 5.7 m	2.6 m x 5.7 m
s.	Bicycle Parking Access to the Exterior (Ground Floor)	Direct Access to the Exterior (Ground Floor)	No Direct Access to the Exterior (Ground Floor)

Additional zoning exceptions to Table 1 may be identified through the detailed review of the Applications and will be considered in a technical report to a future Committee of the Whole meeting.

Committee of the Whole (Public Meeting) Report

DATE: Tuesday, May 5, 2026

WARD(S): 3

TITLE: LIONSTON DEVELOPMENTS INC.
OFFICIAL PLAN AMENDMENT FILE OP.26.003
201 AND 231 CITYVIEW BLVD.
VICINITY OF CITYVIEW BOULEVARD AND RETREAT
BOULEVARD

FROM:

Vince Musacchio, Deputy City Manager, Planning and Infrastructure Development

ACTION: FOR INFORMATION

Purpose

To receive comments from the public and the Committee of the Whole on an application to amend the York Region Official Plan 2022 and Vaughan Official Plan 2010 to introduce site-specific policies on the subject lands to allow the continuation of office and hotel uses with accessory uses, as shown on Attachment 2, as lawfully established uses that were established prior to Oct. 20, 2024, in accordance with the “Area of Employment” requirements of the *Planning Act*.

Report Highlights

- The Owner proposes to introduce new site-specific policies by amending York Region Official Plan 2022 and Vaughan Official Plan (VOP) 2010 to allow the continuation of office and hotel uses with an accessory restaurant use that were lawfully established under Comprehensive Zoning by-law 001-2021 prior to Oct. 20, 2024.
- An Official Plan Amendment application is required to introduce site-specific policies to bring the lawfully established uses to be consistent with the Provincial Planning Statement 2024 and to conform to the *Planning Act*.
- This report identifies preliminary issues to be considered in a technical report to be prepared by the Development and Parks Planning Department at a future Committee of the Whole meeting

Recommendations

1. That the Public Meeting report for Official Plan Amendment Files OP.26.003 (Lionston Developments Inc.) be received, and that any issues identified be addressed by the Development and Parks Planning Department in a comprehensive report to the Committee of the Whole.

Background

Location: 201 and 231 Cityview Blvd (the Subject Lands). The Subject Lands and surrounding land uses are shown on Attachment 1.

Date of Pre-Application Consultation Meeting: May 8, 2025

Date application was deemed complete: April 2, 2026

Site Development Application File DA.21.055 was approved for the Subject Lands

A Site Plan Agreement was executed on Nov. 23, 2022, to permit a phased development that consists of a hotel on the first phase and an industrial building and a four-storey office building on the second phase. A Building Permit (No. 22-137179) for the stand-alone hotel building for the first phase of the approved Site Development Application on the north-west corner of the Subject Lands, as shown on Attachment 2, was issued on Oct. 6, 2023, and is near complete.

Changes to permitted land uses were established in Employment Areas under the Provincial Planning Statement 2024 and *Planning Act*

The Provincial Planning Statement (PPS) 2024 came into effect on Oct. 20, 2024, with changes to Employment Area policies under Section 2.8 that prohibit commercial and institutional uses, including standalone retail and office uses.

The *Planning Act* definition of “Area of Employment” was also amended by Bill 97 (*Helping Homebuyers, Protecting Tenants Act, 2023*) to exclude institutional and commercial uses. However, Subsections 1(1.1) and 1(1.2) of the *Planning Act* allow for municipalities to adopt policies in local official plans authorizing the continuation of a use that is excluded from the definition of “Area of Employment”, provided that the use was lawfully established on the parcel of land before Oct. 20, 2024.

A Pre-Application Consultation (PAC) Meeting was held on May 8, 2025, to amend the approved second phase of the development

A Pre-Application Consultation meeting was held on May 8, 2025, to amend the previous Site Plan Approval (File No. DA.21.055) to introduce a new hotel on the second phase, reduce the previously approved industrial use area, and increase the height of the office building from four storeys to eight storeys, as shown on Attachment 2. The proposed increase in height for the office building and the introduction of a new hotel building with an accessory restaurant on the second phase is not consistent with the Provincial Planning Statement 2024 policies for an Employment Areas or the policies of the *Planning Act* respecting an Area of Employment.

An Official Plan Amendment Application has been submitted to recognize the proposed uses as lawfully established uses

Lionston Developments Inc. (the Owner) has submitted Official Plan Amendment Application File OP.26.003 (the Application) for the Subject Lands to amend York Region Official Plan 2022 and VOP 2010, specifically to recognize permitted office and hotel with an accessory restaurant use under Comprehensive Zoning By-law 001-2021 as lawfully established uses that was permitted prior to Oct. 20, 2024 to permit an eight storey hotel and eight storey office building on the Subject Lands (the Development) The Application would amend York Region Official Plan 2022 and VOP 2010 by introducing the following policies on a site-specific basis:

1. Amend the York Region Official Plan 2022 for the following:
 - a. designate the Subject Lands in the Vaughan Official Plan for employment uses for clusters of business and economic activities including manufacturing, warehousing, industrial, associated retail, hotel, and accessory and ancillary facilities;
 - b. authorize the continuation of uses that were excluded from the definition of an Employment Area, provided that the uses were lawfully established on the Subject Lands prior to Oct. 20, 2024; and
2. Amend VOP 2010 and Chapter 13 – Site Specific Policies and Schedule 14C – Areas Subject to Site-Specific Policies, for the following:
 - a. permit the continuation of uses that were lawfully established prior to Oct. 20, 2024, on the Subject Lands that are not manufacturing, warehousing, goods movement or ancillary uses;

The recently adopted Vaughan Official Plan 2025 is not the in-force policy for the Subject Lands

The Vaughan Official Plan 2025, which represents the City’s new policy direction, was adopted by the City on Oct. 28, 2025 as the new official plan for the City. The Vaughan Official Plan 2025 is subject to approval by the Minister of Municipal Affairs and Housing and is not in force. The Applications were deemed complete prior to the approval of the Vaughan Official Plan 2025. As such, the VOP 2010, in addition to certain York Region Official Plan 2022 policies deemed to be the City’s official plan policies, are the in-force policies against which conformity of the Applications are reviewed and assessed.

The Application is consistent with the intent of the Council adopted Vaughan Official Plan 2025

Vaughan Official Plan 2025 was adopted by Council on Oct. 28, 2025, and is subject to approval by the Minister of Municipal Affairs and Housing. The Application is consistent with the intent of Council’s direction as set out in the adopted Vaughan Official Plan 2025 for the Employment Area that conforms to the *Planning Act* and is consistent with the Provincial Planning Statement 2024. The Subject Lands are designated “Prestige Mixed-Use II” which identifies hotel and office uses as permitted uses in the newly adopted Vaughan Official Plan 2025. The “Prestige Mixed-Use II” designation Vaughan

Official Plan 2025 is not identified as an Employment Area as defined in the Provincial Planning Statement 2024.

Public Notice was provided in accordance with the Planning Act and Council's Notification Protocol

a) Date the Notice of Public Meeting was circulated: April 10, 2026.

The Notice of Public Meeting was also posted on the City's website at www.vaughan.ca and a Notice Sign was installed along Cityview Boulevard and Highway 400 in accordance with the City's Notice Signs Procedures and Protocols.

b) Circulation Area: To all property owners within 150 metres of the Subject Lands and to the Vellore Woods Ratepayers' Association and to anyone on file with the Office of the City Clerk having requested notice.

c) No comments have been received as of April 21, 2026, by the Development and Parks Planning Department.

Any additional written comments received will be forwarded to the Office of the City Clerk to be distributed to the Committee of the Whole as a Communication and be reviewed and addressed by the Development and Parks Planning Department in a future technical report to the Committee of the Whole.

Previous Reports/Authority

The following are links to previous reports regarding the Subject Lands:

Argento Developments Inc. – Zoning By-law Amendment and Draft Plan of Subdivision Approval Committee of Whole Report:

[June 11, 2004, Committee of Whole \(Item 71, Report 55\)](#)

Argento Developments Inc., - Zoning By-law Amendment Approval Committee of Whole Report:

[Nov. 21, 2005, Committee of Whole \(Item 19, Report 64\):](#)

Analysis and Options

An amendment to the Regional Official Plan 2022 is required to be consistent with the Provincial Planning Statement 2024 and to conform to the Planning Act

Official Plan Designation:

- "Urban Area" on Map 1 – Regional Structure by York Region Official Plan 2022.
- "Employment Area" on Map 1A – Land Use Designations by York Region Official Plan 2022, which permits the proposed office and hotel uses with accessory uses.
- The York Region Official Plan 2022 policies have been incorporated into the Council adopted Vaughan Official Plan 2025, which designates the Subject Lands "Prestige Mixed-Use II".

- An Amendment to the York Region Official Plan 2022 is required to introduce lawfully established use policies to bring the Subject Lands into conformity with the Provincial Planning Statement 2024 and to conform to *Planning Act* before VOP 2025 comes into effect.

An amendment to Vaughan Official Plan 2010 is required to be consistent with the Provincial Planning Statement 2024 and conform to the Planning Act

Official Plan Designation:

- “Employment Area” on Schedule 1 – Urban Structure by VOP 2010.
- “Prestige Employment” on Schedule 13 – Land Use by VOP 2010.
- The office and the warehouse uses are allowed uses under Prestige Employment Designation, and the proposed hotel use is deemed to conform to VOP 2010 as the use was permitted under Zoning By-law 1-88 prior to VOP 2010 was approved and implemented.
- An amendment to VOP 2010 is required to introduce the lawfully established policies to bring the VOP 2010 to be consistent with the Provincial Planning Statement 2024 and to conform to *Planning Act*.
- The Subject Lands are designated “Prestige Mixed-Use II” in the Vaughan Official Plan 2025 and the proposed uses are consistent with the permitted uses in the Council adopted Vaughan Official Plan 2025.

No Amendments to Zoning By-law 001-2021 are required to permit the Development

Zoning:

- EM1 – Prestige Employment Zone by Zoning By-law 001-2021, subject to Site-Specific Exception 14(865).
- This Zone permits the proposed uses including ancillary or accessory uses (e.g. Restaurants) to the primary uses on the Subject Lands.

Following a preliminary review of the applications, the Development and Parks Planning Department has identified the following matters to be reviewed in greater detail

	MATTERS TO BE REVIEWED	COMMENT(S)
a.	Conformity and Consistency with Provincial Policies, York region and City Official Plan Policies	<ul style="list-style-type: none"> ▪ The Application will be reviewed for consistency and conformity to the Section 2.8 of the Provincial Planning Statement 2024 and the policies of York Region Official Plan 2022, and VOP 2010 ▪ The Application will also be reviewed under following sections of the Planning act: <ul style="list-style-type: none"> ▪ Section 1.1 of the <i>Planning Act</i> identifies an “Area of Employment” as an area of land designated in an official plan for clusters of business and economic uses is an area of employment for the purposes of this Act even if

	MATTERS TO BE REVIEWED	COMMENT(S)
		<p>the area of land includes one or more parcels of land that are subject to official plan policies authorizing the continuation of a use that is excluded from being a business and economic use under paragraph 2 of the definition of “area of employment” in subsection (1), provided that the use was lawfully established on the parcel of land before the day subsection 1 (1) of Schedule 6 to the <i>Helping Homebuyers, Protecting Tenants Act, 2023</i> came into force.</p> <ul style="list-style-type: none"> ▪ Section 1.2 of the <i>Planning Act</i> further states that for greater certainty, the official plan policies referred to in subsection (1.1) shall not authorize a use that is excluded from being a business and economic use under paragraph 2 of the definition of “area of employment” in subsection (1) on any parcels of land in the area on which the use was not lawfully established before the day subsection 1 (1) of Schedule 6 to the <i>Helping Homebuyers, Protecting Tenants Act, 2023</i> came into force.
b.	Appropriateness of Amendments to York Region Official Plan 2022 and VOP 2010	<ul style="list-style-type: none"> ▪ The appropriateness of the amendments to York Region Official Plan 2022 and VOP 2010 will be reviewed in consideration of the existing uses on the property and adopted new Vaughan Official Plan 2025 policies.
c.	Studies and Reports	<ul style="list-style-type: none"> ▪ The Owner submitted studies and reports in support of the Applications available on the city’s website at https://maps.vaughan.ca/planit/ (PLANit Viewer) and must be approved to the satisfaction of the City or respective approval authority. Additional studies and/or reports may be required as part of the application review process
d.	Public Agency/Municipal Review	<ul style="list-style-type: none"> ▪ The Application must be reviewed by York Region, and external public agencies and utilities.
e.	Traffic Impacts, Road Widening and Access	<ul style="list-style-type: none"> ▪ The Transportation Impact Study will be reviewed in accordance with the City’s Transportation Impact Study Guidelines to the satisfaction of the Development Engineering Department

	MATTERS TO BE REVIEWED	COMMENT(S)
		<ul style="list-style-type: none"> ▪ The proposed traffic generated by the development at the requested density will be reviewed in consideration of existing traffic conditions at Cityview Boulevard. ▪ Matters including the driveway entrance, parking, Transportation Demand Management requirements are required to be reviewed to the satisfaction of the Development Engineering Department. ▪ The Subject Lands are located on Cityview Boulevard a minor collector road under the jurisdiction of City of Vaughan.
f.	Required Applications	<ul style="list-style-type: none"> ▪ The Owner is required to submit a Site Development Application to facilitate the second phase of the Development.

Financial Impact

There are no financial requirements for new funding associated with this report.

Operational Impact

Development and Parks Planning staff have circulated the Applications to internal City Departments and external agencies for review.

Broader Regional Impacts/Considerations

York Region Council adopted the York Region Official Plan 2022 in June 2022. York Region Official Plan 2022 was approved, as modified, by the Minister of Municipal Affairs and Housing in November 2022, bringing it into full force and effect. Bill 150 (*Planning Statue Law Amendment Act, 2023*) and Bill 162 (*Get It Done Act, 2024*) later rescinded some of those modifications.

On June 6, 2024, Bill 185 (*Cutting Red Tape to Build More Homes Act, 2024*) (“Bill 185”) received Royal Assent which includes amendments to the Planning Act. In accordance with the amendments to the *Planning Act* implemented through Bill 185, York region became a Region without planning responsibilities effective July 1, 2024.

Pursuant to subsection 70.13(2) of the *Planning Act*, York Region Official Plan 2022 is deemed to constitute an official plan of the City in respect of any area in the City to which it applies and will remain in effect until the City revokes or amends it.

The Application is being circulated to York Region for the purpose of receiving comments on matters of Regional interest i.e., roads and servicing infrastructure. Further comments will be discussed in the future comprehensive report.

Conclusion

The preliminary issues identified in this report and any other issues identified through the processing of the Application will be considered in the technical review of the Applications. Comments from the public and Vaughan Council expressed at the Public Meeting or in writing will be addressed in a comprehensive report to a future Committee of the Whole meeting.

For more information, please contact Kaveen Fernando, Acting Senior Planner, Development and Parks Planning Department, ext. 8592.

Attachments

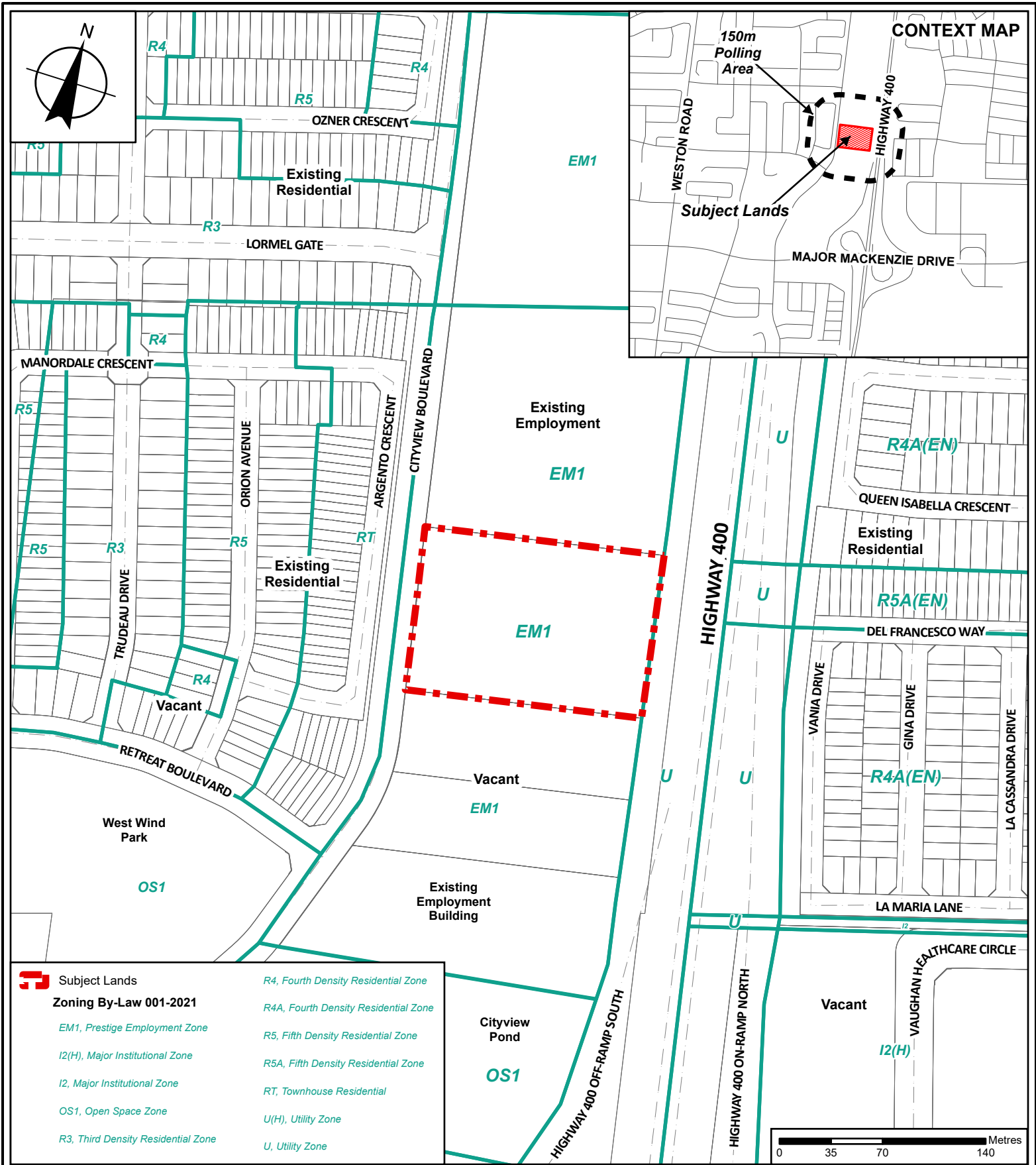
1. Context and Location Map
2. Conceptual Site Plan

Prepared by

Kaveen Fernando, Actine Senior Planner, ext. 8592

Mark Antoine, Senior Manager of Development Planning, ext. 8212

Nancy Tuckett, Director of Development and Parks Planning, ext. 8529



Context and Location Map

LOCATION:
 201 and 231 Cityview Boulevard
 Block 59, Registered Plan 65M-3885

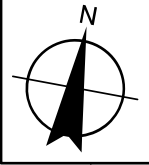


APPLICANT:
 Lionston Developments Inc.

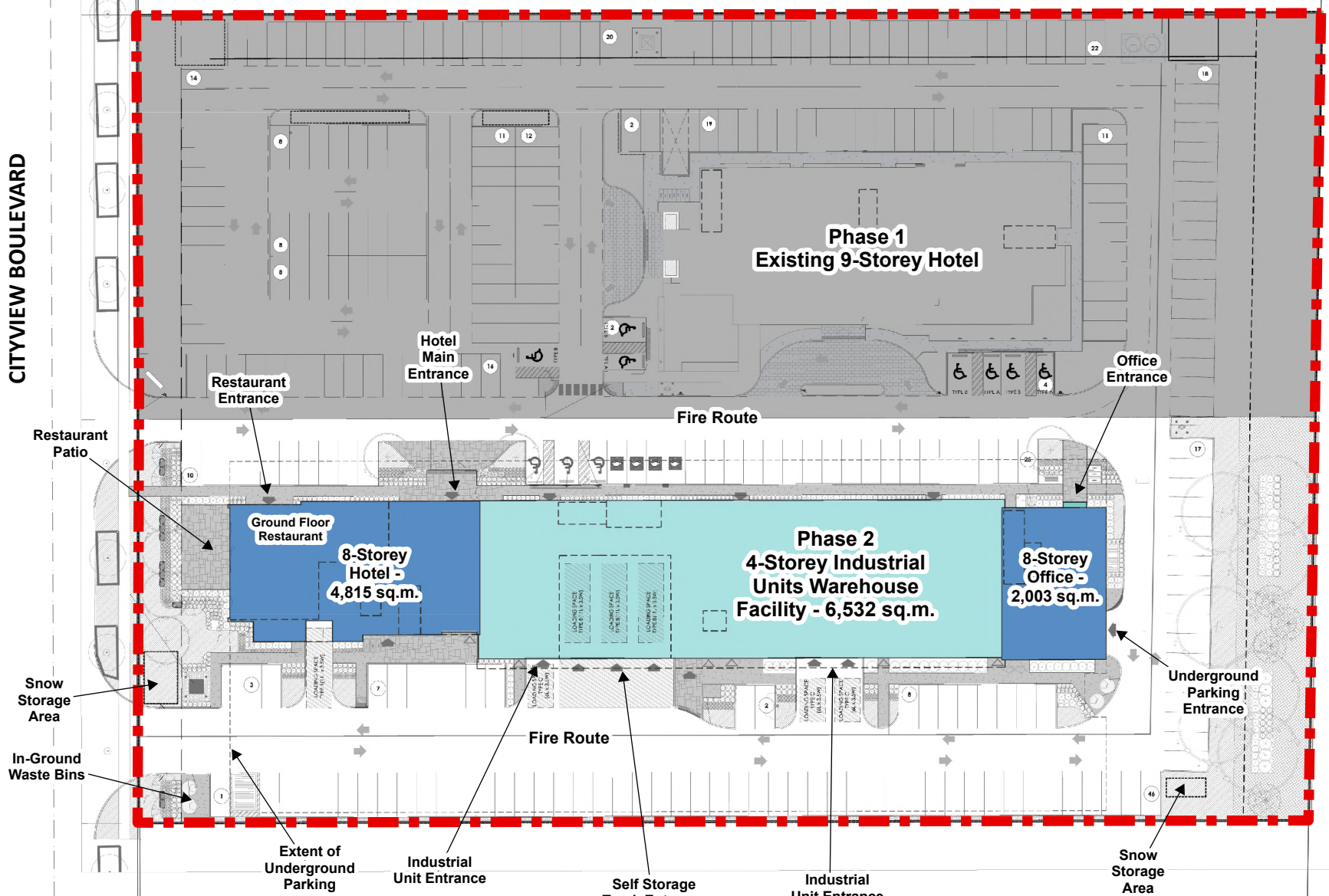
FILE: OP.26.003
RELATED FILE:
 DA.21.055


DATE: May 5, 2026

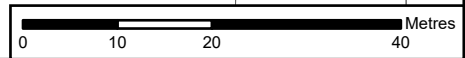
1



CITYVIEW BOULEVARD



 Subject Lands



Conceptual Site Plan

LOCATION:
 201 and 231 Cityview Boulevard
 Block 59, Registered Plan 65M-3885

APPLICANT:
 Lionston Developments Inc.



Attachment

FILE: OP.26.003
RELATED FILE:
 DA.21.055
DATE: May 5, 2026

2

Committee of the Whole (Public Meeting) Report

DATE: Tuesday, May 5, 2026

WARD(S): 1

TITLE: MILLRUN INVESTMENTS INC.

ZONING BY-LAW AMENDMENT FILE Z.25.051

11069, 11075, 11091 AND 11115 HUNTINGTON RD.

VICINITY OF HUNTINGTON ROAD AND NASHVILLE ROAD

FROM:

Vince Musacchio, Deputy City Manager, Planning and Infrastructure Development

ACTION: FOR INFORMATION

Purpose

To receive comments from the public and the Committee of the Whole on an application to rezone the subject lands to permit 150 single-detached dwellings and 172 townhouse dwellings, for a total of 322 dwelling units, 59 future development/part residential lots, a park block, an elementary school block, a stormwater management pond block, and open space blocks and the associated vegetation protection zone (buffer) blocks, with one vehicular access proposed to be provided from Huntington Road, as shown on Attachments 1 to 5.

Report Highlights

- The Owner proposes a phased residential subdivision containing a total of 322 dwelling units, 59 future development/part residential lots, a park block, an elementary school block, a stormwater management pond block, and open space blocks and associated vegetation protection zone (buffer) blocks, with one vehicular access provided from Huntington Road.
- A Zoning By-law Amendment application has been submitted to permit the proposed development.
- A Draft Plan of Subdivision application has been submitted concurrently with the Zoning By-law Amendment application to facilitate the proposed development.
- This report identifies preliminary issues to be considered in a technical report to be prepared by the Development and Parks Planning Department at a future Committee of the Whole meeting.

Recommendations

1. That the Public Meeting report for Zoning By-law Amendment File Z.25.051 (Millrun Investments Inc.) be received, and that any issues identified be addressed by the Development and Parks Planning Department in a comprehensive report to the Committee of the Whole.

Background

Location: 11069, 11075 and 11091 Huntington Rd. and Part of West ½ of East ½ of Lot 28, Concession 9; Part of the West ½ of Lot 28, Concession 9; Part Lot 29, Concession 9, and Part 1 of Plan 65R-33799, also known as 11115 Huntington Rd. (the Subject Lands). The Subject Lands and the surrounding land uses are shown on Attachment 1.

Date of Pre-Application Consultation Meeting: March 7, 2025

An Official Plan Amendment application is being reviewed by the Development and Parks Planning Department for the Subject Lands.

An amendment to Vaughan Official Plan 2010 (VOP 2010) is required to permit the Development. Official Plan Amendment File OP.21.029 has been submitted by the Block 62 West Landowners Group Inc. (the Landowners Group) in which Millrun Investments Inc. (the Owner) is a participating landowner, to amend the policies and schedules of VOP 2010 (Volume 1) and the North Kleinburg-Nashville Secondary Plan (Volume 2) to facilitate the development of a residential subdivision in Block 62 West, comprised of single-detached dwellings and townhouse dwellings of various types and sizes, park blocks and school blocks, as shown on Attachment 3.

The North Kleinburg-Nashville Secondary Plan contains three Focus Areas. The lands subject to Official Plan Amendment File OP.21.029 are located mostly within the Huntington Road Community (Focus Area 2) of the North Kleinburg-Nashville Secondary Plan, including the Subject Lands. Therefore, the Subject Lands are subject to the policies of the North Kleinburg-Nashville Secondary Plan.

A Block Plan application is being reviewed by the Policy Planning and Special Programs Department for the Subject Lands.

A Block Plan application is required in accordance with policy 10.1.1 of VOP 2010 and Policy 7.5 of the North Kleinburg-Nashville Secondary Plan which requires a Block Plan be prepared by participating property owners within the Secondary Plan area or a portion thereof. Block Plan Application File BL.62W.2021 has been submitted by the Landowners Group and is being reviewed concurrently by the Policy Planning and Special Programs Department with Official Plan Amendment File OP.21.029. Two Public Meetings have been held for Official Plan Amendment File OP.21.029 and for Block Plan Application File BL.62W.2021. The first public meeting for Official Plan Amendment and Block Plan Application Files OP.21.029 and BL.62W.2021 was held on Sept. 13, 2023, and a second public meeting was held on Nov. 18, 2025, in accordance with Policy 10.1.4.1. of VOP 2010, as it was over two years since the first public meeting and a decision from Council on Official Plan Amendment and Block Plan Application Files OP.21.029 and BL.62W.2021 had not occurred.

A Zoning By-law Amendment application has been submitted to permit the proposed development.

The Owner has submitted the following application (the Application) for the Subject Lands to permit the proposed development of a phased residential subdivision consisting of 150 single-detached dwellings (with frontages ranging from 9.2 metres to 15.24 metres), 172 townhouse dwellings (comprised of dual frontage townhouses, back-to-back townhouses, and lane townhouses townhouses), 59 future development/part residential lots (split ownership with Argo Kleinburg Limited to the north, resulting in an additional 34 dwelling units on the Subject Lands and the remaining dwelling units on the Argo Kleinburg Limited lands), a park block, an elementary school block, a stormwater management pond block, and open space blocks and the associated vegetation protection zone (buffer) blocks, with one vehicular access proposed to be provided from Huntington Road via Street 'A' (the Development), as shown on Attachments 2 to 3:

1. Zoning By-law Amendment File Z.25.051 to rezone the Subject Lands from FD - Future Development Zone and EP – Environmental Protection Zone, subject to exception 14. 459, as shown on Attachment 1, to RT2 – Townhouse Residential Zone, RM1 – Multiple Unit Residential Zone, R2 – Second Density Residential Zone, R3 – Third Density Residential Zone, R3A – Third Density Residential Zone, R4 – Fourth Density Residential Zone, R4A – Fourth Residential Zone, OS1 – Public Open Space Zone, and EP – Environmental Protection Zone under Zoning By-law 001-2021, as amended, in the manner shown on Attachment 2, together with the site-specific zoning exceptions identified in Attachment 6.

Public Meetings are no longer required for Draft Plan of Subdivision applications.

The Owner has submitted related Draft Plan of Subdivision File 19T-25V007, which is being reviewed together with the Application and will be addressed concurrently in a future technical report to the Committee of the Whole. Public Meetings are no longer required for Draft Plan of Subdivision applications. On Oct. 25, 2022, the Province of Ontario introduced Bill 23, the *More Homes Built Faster Act, 2022* (Bill 23), which received Royal Assent on Nov. 28, 2022. As a result of Bill 23, municipalities, including the City of Vaughan, are no longer required to hold Public Meetings for applications for Draft Plans of Subdivision; however, they will still need to provide Notices of Decision to all entitled persons and public bodies. This change applies to all Draft Plan of Subdivision applications that have not had a Public Meeting prior to Bill 23 receiving Royal Assent.

Public Notice was provided in accordance with the Planning Act and Council's Notification Protocol

- a) Date the Notice of Public Meeting was circulated: April 10, 2026.

The Notice of Public Meeting was also posted on the City's website at www.vaughan.ca and a Notice Sign was installed along Huntington Road in accordance with the City's Notice Signs Procedures and Protocols.

- b) Circulation Area: To all property owners within 150 metres of the Subject Lands and to the Kleinburg and Area Ratepayers' Association and to anyone on file with the Office of the City Clerk having requested notice.
- c) No comments have been received as of April 10, 2026, by the Development and Parks Planning Department.

Any written comments received following this date will be forwarded to the Office of the City Clerk to be distributed to the Committee of the Whole as a Communication and be reviewed and addressed by the Development and Parks Planning Department in a future technical report to the Committee of the Whole.

Previous Reports/Authority

The following are links to previous reports regarding the Subject Lands:

Block 62 West Landowners Group Inc. - Official Plan Amendment File OP.21.029:

[Sept. 13, 2023, Committee of the Whole \(Public Meeting\) \(Item 4, Report No. 36\)](#)
[Nov. 18, 2025, Committee of the Whole \(Public Meeting\) \(Item 3, Report No. 44\)](#)

Block 62 West Landowners Group Inc. - Block Plan Application File BL.62W.2021:

[Sept. 13, 2023, Committee of the Whole \(Public Meeting\) \(Item 3, Report No. 36\)](#)
[Nov. 18, 2025, Committee of the Whole \(Public Meeting\) \(Item 4, Report No. 44\)](#)

Analysis and Options

An amendment to VOP 2010 (Volumes 1 and 2) has been submitted to permit the Development.

Official Plan Designation – VOP 2010 (Volume 1):

- “Community Area” on Schedule 1 – Urban Structure of VOP 2010
- “Urban Area” on Schedule 1A – Urban Area of VOP 2010
- “Greenbelt Natural Heritage System” on Schedule 2 – Natural Heritage Network and Schedule 4 – Oak Ridges Moraine Conservation Plan and Greenbelt Plan Areas
- “North Kleinburg-Nashville Secondary Plan, Section 11.8 in Volume 2” on Schedule 13 – Land Use and Schedule 14A – Areas Subject to Secondary Plans

Official Plan Designation – North Kleinburg-Nashville Secondary Plan (Volume 2):

As shown on Schedule B2 – Land Use for the Huntington Road Community:

- “KN Low-Rise Residential I – H3 Max”, which permits detached houses with a maximum height of three storeys
- “Natural Areas” (within Greenbelt Plan Area) which is subject to the Greenbelt Plan, 2017 policies and Greenbelt Plan policies in Section 3.5 of VOP 2010
- “Agricultural” (within Greenbelt Plan Area) which is subject to the Greenbelt Plan, 2017 policies and Greenbelt Plan policies in Section 3.5 of VOP 2010

An Elementary School, Neighbourhood Park, Stormwater Management Pond, and Minor Collector Road are also identified for the Subject Lands on Schedule B2.

The Subject Lands are also identified within the GTA West Transportation Corridor Protection Area (for Highway 413), as shown on Schedule B2. The Ministry of Transportation has since confirmed the Highway 413 right-of-way and has been designated as a controlled access highway accordingly. The Subject Lands are located outside of the new Highway 413 right-of way and the associated additional setback (minimum 14 metres). No developments will be permitted within the new Highway 413 designated lands.

An amendment to VOP 2010 has been submitted by the Landowners Group on behalf of the Owner, as discussed earlier in this report, which is summarized in the Public Meeting report available in the link above, under the Previous Reports/Authority section of this report.

The Application shall conform to VOP 2010 (Volumes 1 and 2), as amended.

The recently adopted Vaughan Official Plan 2025 is not the in-force policy for the Subject Lands.

The Vaughan Official Plan 2025, which represents the City's new policy direction, was adopted by the City on Oct. 28, 2025, as the new official plan for the City. The Vaughan Official Plan 2025 is subject to approval by the Minister of Municipal Affairs and Housing and is not in force.

In accordance with the transition policies of Vaughan Official Plan 2025, the North Kleinburg-Nashville Secondary Plan in VOP 2010 remains in force until such time as the North Kleinburg-Nashville Secondary Plan is repealed and replaced pursuant to policies 1.3.2.2 and 1.3.2.3 of Vaughan Official Plan 2025.

As such, Volume 1 and Volume 2 of the VOP 2010, in addition to certain York Region Official Plan 2022 policies deemed to be the City's official plan policies, are the in-force policies against which conformity of the Application is reviewed and assessed.

The York Region Official Plan is deemed to constitute an Official Plan of the City of Vaughan.

York Region Council adopted the York Region Official Plan 2022 in June 2022. York Region Official Plan 2022 was approved, as modified, by the Minister of Municipal Affairs and Housing in November 2022, bringing it into full force and effect. Bill 150 (*Planning Statute Law Amendment Act, 2023*) and Bill 162 (*Get It Done Act, 2024*) later rescinded some of those modifications. On June 6, 2024, Bill 185 (*Cutting Red Tape to Build More Homes Act, 2024*) (Bill 185) received Royal Assent which includes amendments to the *Planning Act*. In accordance with the amendments to the *Planning Act* implemented through Bill 185, York Region became a region without planning responsibilities effective July 1, 2024. Pursuant to subsection 70.13(2) of the *Planning Act*, the York Region Official Plan 2022 is deemed to constitute an official plan of the City in respect of any area in the City to which it applies and will remain in effect until the City revokes or amends it.

Official Plan Designation – York Region Official Plan:

- “Urban Area”, “Agricultural System”, “Regional Greenlands System”, and within “Greenbelt Plan Boundary” on Map 1- Regional Structure
- “Community Area” and “Agricultural Area” on Map 1A – Land Use Designations
- “Designated Greenfield Area” and within “Greenbelt Plan Boundary” on Map 1B – Urban System Overlays
- “Provincial Natural Heritage System” and “Protected Countryside Designation” on Map 1C – Provincial Oak Ridges Moraine Plan and Greenbelt Plan Designations
- “Highly Vulnerable Aquifers” on Map 7 – Highly Vulnerable Aquifers within the Oak Ridges Moraine Conservation Plan Area and Clean Water Act
- “Significant Groundwater Recharge Area” and “Recharge Management Area (WHPA Q1/Q2)” on Map 12A – Significant Groundwater Recharge Area and Recharge Management Areas

Amendments to Zoning By-law 001-2021 are required to permit the Development Zoning:

- FD - Future Development Zone and EP – Environmental Protection Zone by Zoning By-law 001-2021 and subject to exception 14.459
- These Zones do not permit the uses.
- The Owner proposes to rezone the Subject Lands to RT2 – Townhouse Residential Zone, RM1 – Multiple Unit Residential Zone, R2 – Second Density Residential Zone, R3 – Third Density Residential Zone, R3A – Third Density Residential Zone, R4 – Fourth Density Residential Zone, R4A – Fourth Residential Zone, OS1 – Public Open Space Zone, and EP – Environmental Protection Zone under Zoning By-law 001-2021, as amended, in the manner shown on Attachment 2, together with the site-specific zoning exceptions to permit the Development, as shown in Attachment 6.

Additional zoning exceptions may be identified through the detailed review of the Application and will be considered in a technical report to a future Committee of the Whole meeting.

Following a preliminary review of the Application, the Development and Parks Planning Department has identified the following matters to be reviewed in greater detail:

	MATTERS TO BE REVIEWED	COMMENT(S)
a.	Conformity and Consistency with Provincial Policies and City Official Plan Policies	<ul style="list-style-type: none"> ▪ The Application will be reviewed for consistency and conformity to the Provincial Planning Statement, 2024 the Greenbelt Plan, 2017, and the policies of the York Region Official Plan, 2022, Vaughan Official Plan 2010 Volume 1 and Volume 2, Section 11.8 – North Kleinburg-Nashville Secondary Plan, should the related Block Plan Application and Official Plan Amendment Files BL.62W.2021 and OP.21.029 be approved.

	MATTERS TO BE REVIEWED	COMMENT(S)
		<ul style="list-style-type: none"> ▪ The related Official Plan Amendment and Block Plan Applications must be approved prior to the Application being recommended for approval.
b.	Appropriateness of Amendments to Zoning By-law 001-2021	<ul style="list-style-type: none"> ▪ The appropriateness of the rezoning and site- specific exceptions will be reviewed in consideration of the existing and planned surrounding land uses.
c.	Related Draft Plan of Subdivision	<ul style="list-style-type: none"> ▪ The Owner has submitted related Draft Plan of Subdivision File 19T-25V015 concurrently with the Application for the Subject Lands and are being reviewed together. ▪ A comprehensive technical report for both applications will be considered at a future Committee of the Whole meeting. ▪ Should related Draft Plan of Subdivision File 19T-25V015 be approved, the required conditions of approval will be included in a future technical report to address site access, road alignments and connections, servicing and grading, environmental, noise, and other municipal, regional and public agency and utility requirements.
d.	Studies and Reports	<ul style="list-style-type: none"> ▪ The Owner submitted studies and reports in support of the Applications available on the City’s website at https://maps.vaughan.ca/planit/ (PLANit Viewer) and must be approved to the satisfaction of the City or respective approval authority. Additional studies and/or reports may be required as part of the application review process.
e.	Allocation and Servicing	<ul style="list-style-type: none"> ▪ The availability of water and sanitary servicing capacity for the Development must be identified and allocated by Vaughan Council, if the applications are approved. If servicing allocation is unavailable, the lands will be zoned with a Holding Symbol “(H)”, which will be removed once servicing capacity is identified and allocated to the lands by Vaughan Council
f.	Urban Design Guidelines	<ul style="list-style-type: none"> ▪ The Development will be reviewed in consideration of Section 9.1.2 of VOP 2010 (Volume 1), Section 5.0 of the North Kleinburg-Nashville Secondary Plan (Volume 2), and the City of Vaughan City-wide Urban Design Guidelines.

	MATTERS TO BE REVIEWED	COMMENT(S)
g.	Public Agency/Municipal Review	<ul style="list-style-type: none"> ▪ The Application must be reviewed by York Region and the Toronto and Region Conservation Authority and external public agencies and utilities, municipalities and the Public, Separate, and French School Boards.
h.	Sustainable Development	<ul style="list-style-type: none"> ▪ The Application will be reviewed in consideration of the City of Vaughan's Policies and Sustainability Metrics Program through the related Draft Plan of Subdivision application. The Development shall achieve a minimum Bronze threshold score between 27 to 40 points for the related Draft Plan of Subdivision application.
i.	Parkland Dedication	<ul style="list-style-type: none"> ▪ The Application will be reviewed in consideration of the requirements of the <i>Planning Act</i> and the City of Vaughan's Parkland Dedication Policy.
j.	Affordable Housing	<ul style="list-style-type: none"> ▪ The Application will be reviewed in consideration of Provincial, Regional and City policies to ensure that the development provides an appropriate level, range and mix of unit sizes and types to meet the City's affordable housing goals.
k.	City's Tree Protection Protocol (TPP)	<ul style="list-style-type: none"> ▪ Based on the Arborist Report that was submitted with the Application, Parks, Forestry and Horticulture Operations staff were unable to determine how many individual trees are proposed for removal to accommodate the proposed development. ▪ On this basis, Parks, Forestry and Horticulture Operations staff have requested the submission of a revised and updated Arborist Report in order to determine how many trees there are on the Subject Lands, and how many are required to be removed to accommodate the proposed development. ▪ The Development will be reviewed in accordance with the City's Tree Protection Protocol, for the protection and the replacement of any tree(s) should they be damaged during construction, if the Application is approved. ▪ The Owner is required to enter into a Tree Protection Agreement with the Parks, Forestry and Horticulture Operations Department at the Draft Plan of Subdivision stage, to identify the standards and procedures required

	MATTERS TO BE REVIEWED	COMMENT(S)
		by the City to protect public and private trees through the development review processes as indicated in the Tree Protection Protocol.
i.	Traffic Impacts, Road Widening and Access	<ul style="list-style-type: none"> ▪ The Transportation Impact Study will be reviewed in accordance with the City's Transportation Impact Study Guidelines to the satisfaction of the Development Engineering Department ▪ The proposed traffic generated by the development at the requested density will be reviewed in consideration of existing traffic conditions along Huntington Road and Nashville Road. ▪ Matters including the road widths, accesses, parking, truck manoeuvring, and Transportation Demand Management requirements are required to be reviewed to the satisfaction of the Development Engineering Department ▪ The Subject Lands are located on Huntington Road, a major collector road (26 metres) under the jurisdiction of the City of Vaughan. ▪ The City of Vaughan will identify any required land conveyances.
m.	Greenbelt Conformity	<ul style="list-style-type: none"> ▪ The Subject Lands are located partially within the Greenbelt Plan Area ▪ The Development shall conform to the policies of the Greenbelt Plan, 2017 policies and Greenbelt Plan policies in Section 3.5 of VOP 2010
n.	WHPA-Q2/SGRA	<ul style="list-style-type: none"> ▪ The Subject Lands are partially located within the Wellhead Protection Area-Q2 (WHPA-Q2) and Significant Groundwater Recharge Area (SGRA). ▪ Confirmation is required from York Region that the uses being proposed do not trigger a review of the Region's Source Protection Plan.

	MATTERS TO BE REVIEWED	COMMENT(S)
o.	The Application has been Deemed Incomplete	<ul style="list-style-type: none"> ▪ The Application and the related Draft Plan of Subdivision application has been deemed incomplete. ▪ The Owner is required to submit the following material for the Application and the related Draft Plan of Subdivision to be deemed complete: <ul style="list-style-type: none"> ○ A proper Planning Justification Report, including a Housing Options Statement ○ Greenbelt Conformity Report ○ Confirmation of Development Limits ○ GIS Conformity Letter ○ Geo-referenced AutoCAD Drawings in accordance with GIS Digital Drawing Submission Standards ○ Site-specific Engineering Plans, specifically Erosion and Sediment Control Plan, Site Servicing Plan, Site Grading Plan & Supporting Drawings ○ Site-specific Functional Design Plans ○ Site-Specific Functional Servicing Report ○ Site-Specific Stormwater Management Report ○ Transportation Demand Toolkit ○ A site-specific Phase One ESA Update and a Phase Two ESA are required ○ New Stage 1-2 Archaeological Assessment ○ Architectural Design (Control) Guidelines ○ Edge Management and Restoration Plans ○ Acknowledgement/direction from York Region with respect to WHPA-Q2/SGRA, staff request confirmation from the Region that the uses being proposed do not trigger a review of the Region's Source Protection Plan.

Financial Impact

There are no financial requirements for new funding associated with this report.

Operational Impact

Development and Parks Planning staff have circulated the Application to internal City Departments and external agencies for review.

Broader Regional Impacts/Considerations

York Region Council adopted the York Region Official Plan 2022 in June 2022. York Region Official Plan 2022 was approved, as modified, by the Minister of Municipal Affairs and Housing in November 2022, bringing it into full force and effect. Bill 150

(*Planning Statue Law Amendment Act, 2023*) and Bill 162 (*Get It Done Act, 2024*) later rescinded some of those modifications.

On June 6, 2024, Bill 185 (*Cutting Red Tape to Build More Homes Act, 2024*) (“Bill 185”) received Royal Assent which includes amendments to the *Planning Act*. In accordance with the amendments to the *Planning Act* implemented through Bill 185, York Region became a region without planning responsibilities effective July 1, 2024.

Pursuant to subsection 70.13(2) of the *Planning Act*, York Region Official Plan 2022 is deemed to constitute an official plan of the City in respect of any area in the City to which it applies and will remain in effect until the City revokes or amends it.

The Application is being circulated to York Region for the purpose of receiving comments on matters of Regional interest i.e., roads and servicing infrastructure. Further comments will be discussed in the future comprehensive report.

Conclusion

The preliminary issues identified in this report and any other issues identified through the processing of the Application will be considered in the technical review of the Application. Comments from the public and Vaughan Council expressed at the Public Meeting or in writing will be addressed in a comprehensive report to a future Committee of the Whole meeting.

For more information, please contact Letizia D’Addario, Senior Planner, Development and Parks Planning Department, ext. 8213.

Attachments

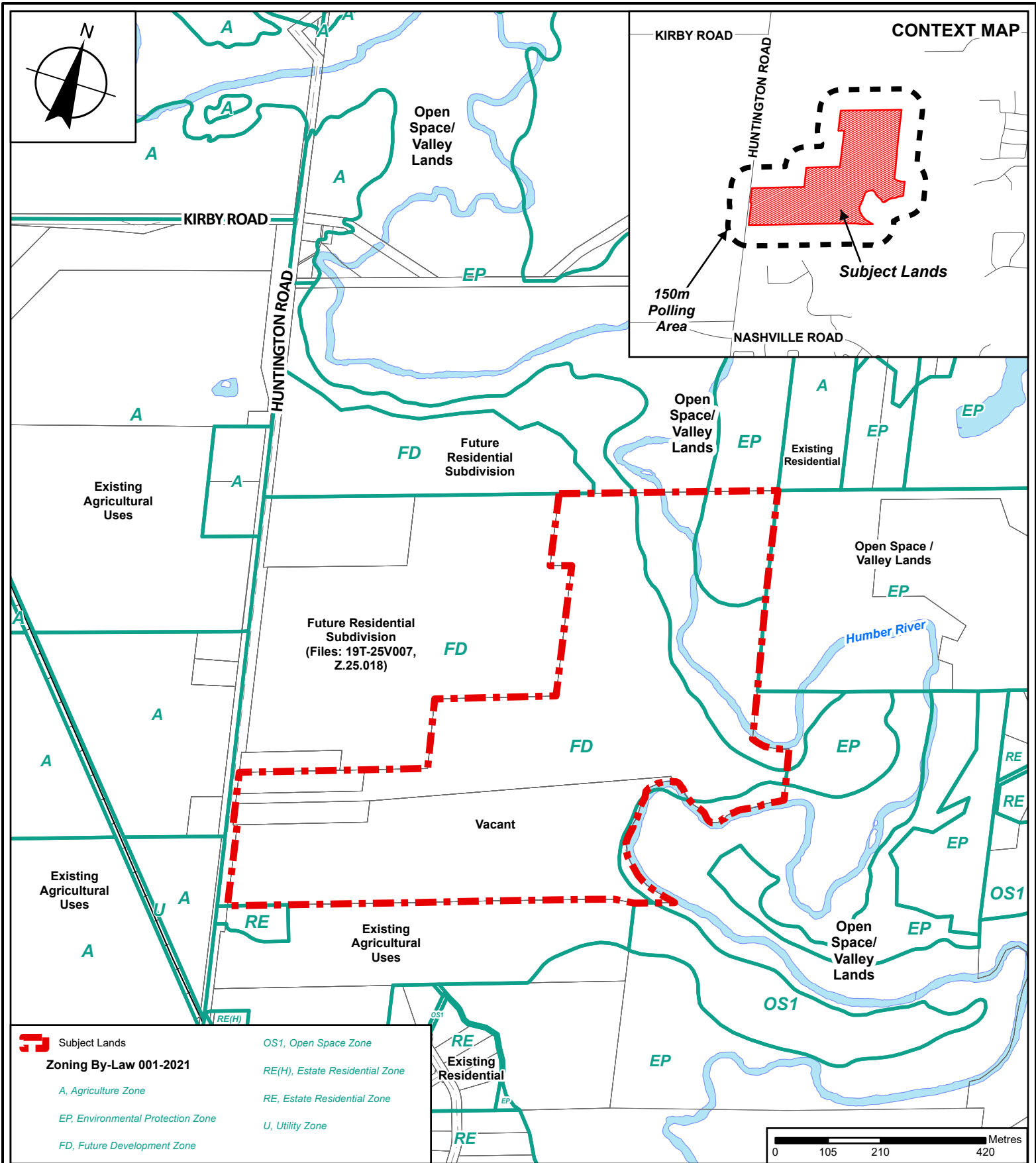
1. Context and Location Map
2. Proposed Zoning and Draft Plan of Subdivision 19T-25V015
3. Proposed Block 62 West Concept Plan
4. Proposed Building Elevations (Typical) – Single-Detached Dwelling
5. Proposed Building Elevations (Typical) – Townhouse Dwellings
6. Proposed Exceptions to Zoning By-law 001-2021 - Table 1

Prepared by

Letizia D’Addario, Senior Planner, ext. 8213

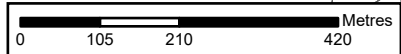
Carmela Marrelli, Senior Manager of Development Planning, ext. 8791

Nancy Tuckett, Director of Development and Parks Planning, ext. 8529



Zoning By-Law 001-2021

- - - Subject Lands
- A, Agriculture Zone
- EP, Environmental Protection Zone
- FD, Future Development Zone
- OS1, Open Space Zone
- RE(H), Estate Residential Zone
- RE, Estate Residential Zone
- U, Utility Zone



Context and Location Map

LOCATION:
 11069, 11075, 11091, 11115 Huntington Road
 Part of West 1/2 of East 1/2 Lot 28, Concession 9
 Part of West 1/2 of Lot 28, Concession 9
 Part of Lot 29, Concession 9



Development and
Parks Planning

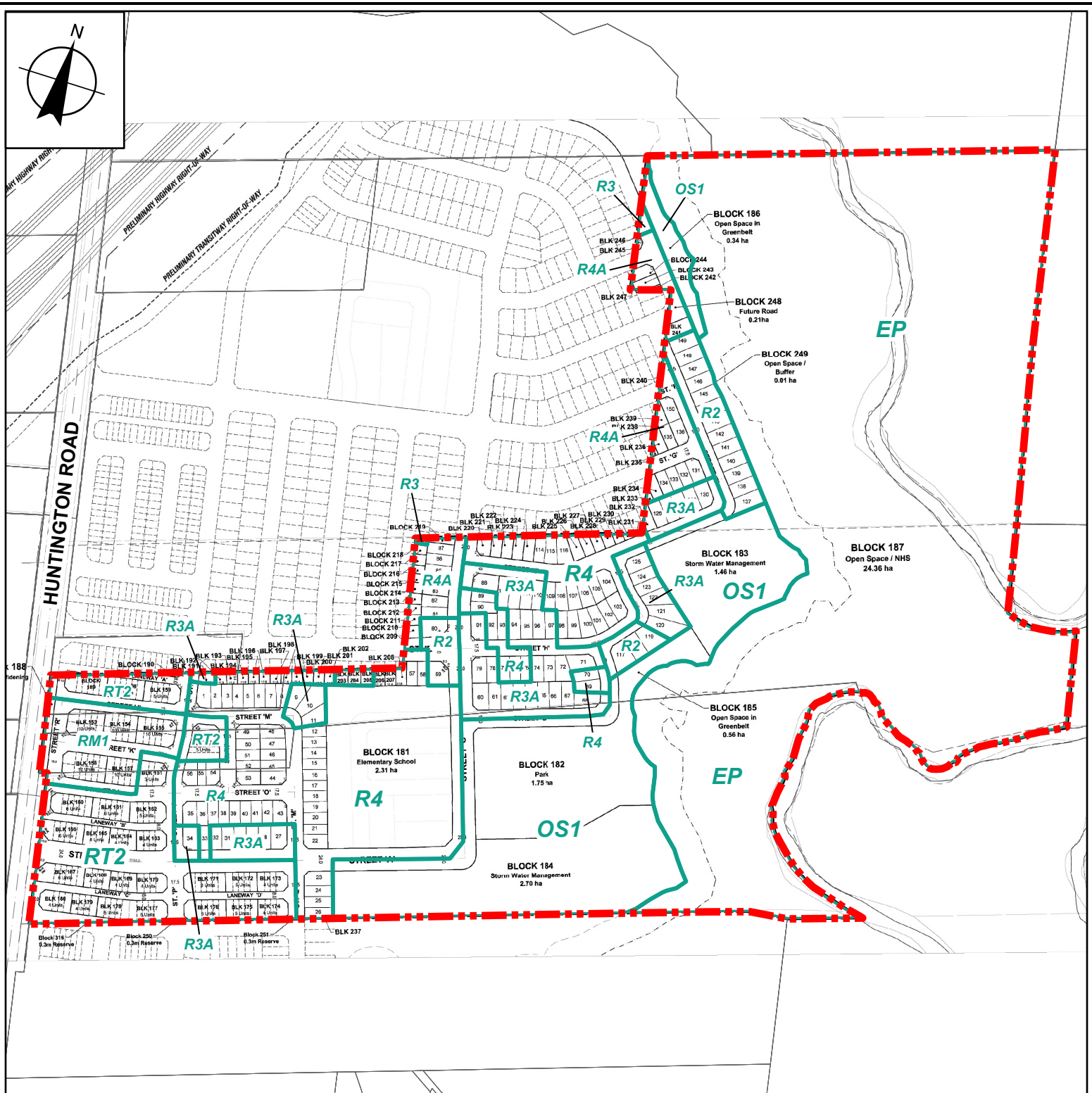
APPLICANT: Millrun Investments Inc.

Attachment

FILE: Z.25.051
RELATED FILES: OP.21.029,
 19T-25V015

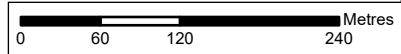
DATE: May 5, 2026

1



Subject Lands
Zoning By-Law 001-2021

- EP, Environmental Protection Zone*
- OS1, Open Space Zone*
- R2, Residential Second Density Zone*
- R3, R3A Residential Third Density Zone*
- R4, R4A, Residential Fourth Density Zone*
- RT2, Residential Townhouse Zone*
- RM1, Multiple Unit Residential Zone*



Proposed Zoning and Draft Plan of Subdivision 19T-25V015

Attachment

LOCATION:
 11069, 11075, 11091, 11115 Huntington Road
 Part of West 1/2 of East 1/2 Lot 28, Concession 9
 Part of West 1/2 of Lot 28, Concession 9
 Part of Lot 29, Concession 9



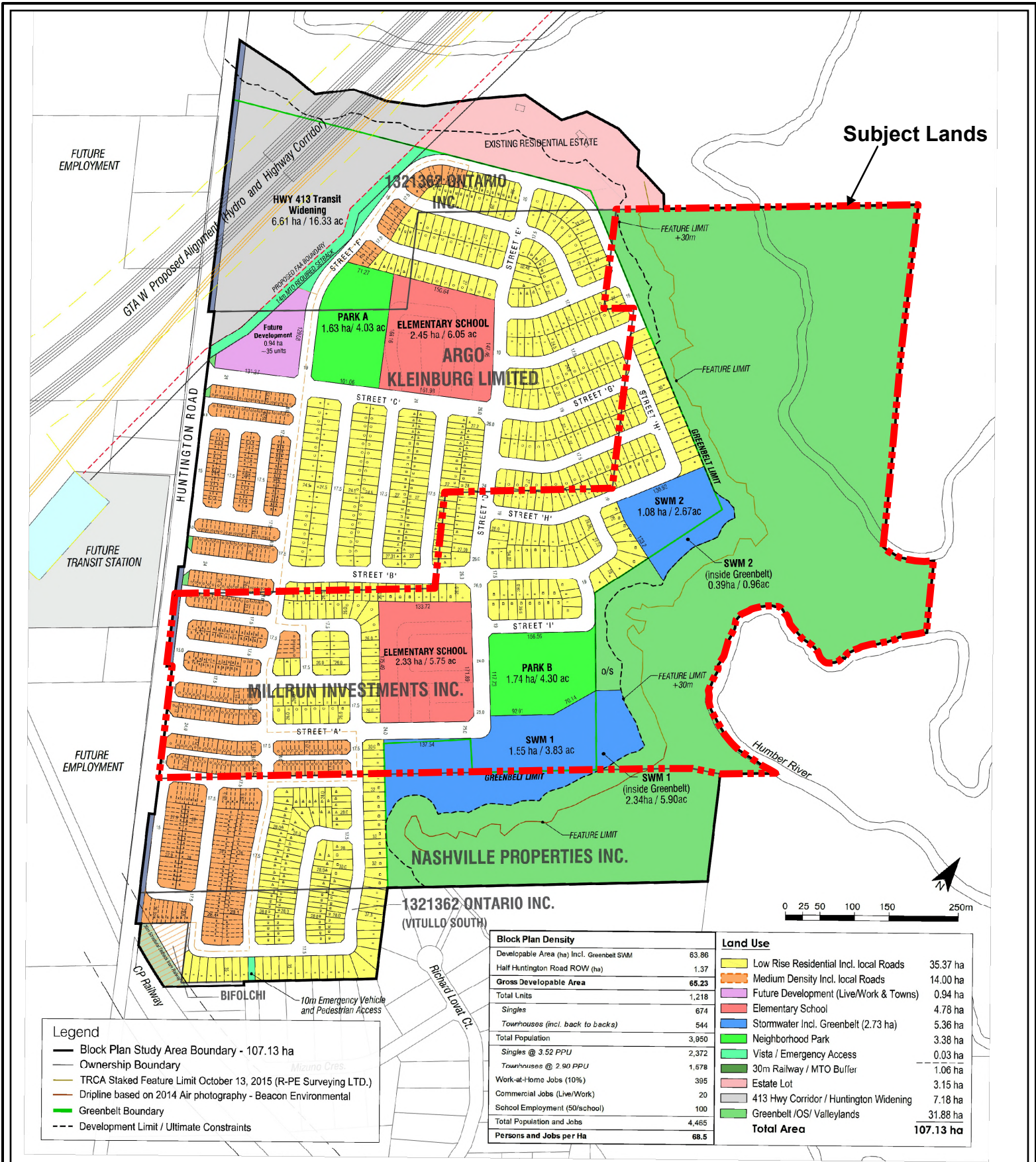
FILE:
Z.25.051

RELATED FILES:
OP.21.029, 19T-25V015

DATE: May 5, 2026

2

APPLICANT: Millrun Investments Inc.



Subject Lands

FUTURE EMPLOYMENT

EXISTING RESIDENTIAL ESTATE

HWY 413 Transit Widening
6.61 ha / 16.33 ac

1321362 ONTARIO INC.

PARK A
1.63 ha / 4.03 ac

ELEMENTARY SCHOOL
2.45 ha / 6.05 ac

ARGO KLEINBURG LIMITED

FEATURE LIMIT +30m

FEATURE LIMIT

GREENBELT LIMIT

SWM 2
1.08 ha / 2.67ac

SWM 2 (inside Greenbelt)
0.39ha / 0.96ac

ELEMENTARY SCHOOL
2.33 ha / 5.75 ac

PARK B
1.74 ha / 4.30 ac

MILLRUN INVESTMENTS INC.

FEATURE LIMIT +30m

FEATURE LIMIT

GREENBELT LIMIT

NASHVILLE PROPERTIES INC.

1321362 ONTARIO INC. (VITULLO SOUTH)



Legend

- Block Plan Study Area Boundary - 107.13 ha
- Ownership Boundary
- TRCA Staked Feature Limit October 13, 2015 (R-PE Surveying LTD.)
- Dripline based on 2014 Air photography - Beacon Environmental
- Greenbelt Boundary
- - - Development Limit / Ultimate Constraints

Block Plan Density

Developable Area (ha) Incl. Greenbelt SWM	63.86
Half Huntington Road ROW (ha)	1.37
Gross Developable Area	65.23
Total Units	1,218
Singles	674
Townhouses (incl. back to backs)	544
Total Population	3,950
Singles @ 3.52 PPU	2,372
Townhouses @ 2.90 PPU	1,578
Work-at-Home Jobs (10%)	395
Commercial Jobs (Live/Work)	20
School Employment (50/school)	100
Total Population and Jobs	4,465
Persons and Jobs per Ha	68.5

Land Use

Low Rise Residential Incl. local Roads	35.37 ha
Medium Density Incl. local Roads	14.00 ha
Future Development (Live/Work & Towns)	0.94 ha
Elementary School	4.78 ha
Stormwater Incl. Greenbelt (2.73 ha)	5.36 ha
Neighborhood Park	3.38 ha
Vista / Emergency Access	0.03 ha
30m Railway / MTO Buffer	1.06 ha
Estate Lot	3.15 ha
413 Hwy Corridor / Huntington Widening	7.18 ha
Greenbelt /OS/ Valleylands	31.88 ha
Total Area	107.13 ha

Proposed Block 62 West Concept Plan

LOCATION:
11069, 11075, 11091, 11115 Huntington Road
Part of West 1/2 of East 1/2 Lot 28, Concession 9
Part of West 1/2 of Lot 28, Concession 9
Part of Lot 29, Concession 9



APPLICANT: Millrun Investments Inc.

Attachment

FILE:
Z.25.051
RELATED FILES:
OP.21.029, 19T-25V015
DATE: May 5, 2026

3



13.7m Single-Detached - Front Elevation
(similar to 13.1 m and 15.2 m dwelling units)



11.6m Single-Detached Front Elevation



9.2m Single-Detached Front Elevation

Not to Scale

Proposed Building Elevations (Typical) - Single-Detached Dwelling

LOCATION:
11069, 11075, 11091, 11115 Huntington Road
Part of West 1/2 of East 1/2 Lot 28, Concession 9
Part of West 1/2 of Lot 28, Concession 9
Part of Lot 29, Concession 9

APPLICANT: Millrun Investments Inc.



Attachment

FILE:
Z.25.051
RELATED FILES:
OP.21.029, 19T-25V015
DATE: May 5, 2026

4



6.1m Rear Lane Townhouse - Front Elevation



6.1m Rear Lane Townhouse - Side Elevation



Back-to-Back Townhouse - Front Elevation

Not to Scale

Proposed Building Elevations (Typical) - Townhouse Dwellings

LOCATION:
 11069, 11075, 11091, 11115 Huntington Road
 Part of West 1/2 of East 1/2 Lot 28, Concession 9
 Part of West 1/2 of Lot 28, Concession 9
 Part of Lot 29, Concession 9

APPLICANT: Millrun Investments Inc.



Attachment

FILE:
 Z.25.051
RELATED FILES:
 OP.21.029, 19T-25V015
DATE: May 5, 2026

5

ATTACHMENT 6 – Proposed Exceptions to Zoning By-law 001-2021

Table 1:

	Zoning By-law 001-2021 Standard	R4 – Fourth Density Residential Zone Requirement	Proposed Exceptions to the R4 – Fourth Density Residential Zone Requirement *
a.	Minimum Lot Area (Lot 55)	240 m ²	239.20 m ²
b.	Minimum Rear Yard (Lots 1 to 8, Lots 12 to 26, Lot 33 and Lots 35 to 58)	7.5 m	6 m
c.	Zoning By-law 001-2021 Standard	R2 – Second Density Residential Zone Requirement	Proposed Exceptions to the R2 – Second Density Residential Zone Requirement
d.	Maximum Lot Coverage (Lots 59, 80, Lots 117 to 119, and Lots 137 to 149)	50%	51%
e.	Zoning By-law 001-2021 Standard	R3A – Third Density Residential Zone Requirement	Proposed Exceptions to the R3A – Third Density Residential Zone Requirement
f.	Minimum Rear Yard (Lots 9 to 11, Lots 27 to 32, Lot 34, Lots 60 to 68, Lots 71 to 74, Lots 78, 79, 88, and 91, Lots 94 to 97, Lots 110 to 113 and Lots 120 to 130)	7.5 m	6 m
g.	Minimum Interior Side Yard where it Abuts a walkway, greenway, or stormwater management facility (Lot 137)	3.5 m	1.25 m
	Zoning By-law 001-2021 Standard	RM1 – Multiple Unit Residential Zone Requirement	Proposed Exceptions to the RM1 – Multiple Unit Residential Zone Requirement
h.	Maximum Lot Coverage – Back-to-Back Townhouses (Blocks 153 to 157)	50%	77%
i.	Minimum Lot Frontage – Back-to-Back Townhouses (Blocks 153 to 157)	30 m	Less than 30 m

ATTACHMENT 6 – Proposed Exceptions to Zoning By-law 001-2021

	Zoning By-law 001-2021 Standard	RM1 – Multiple Unit Residential Zone Requirement	Proposed Exceptions to the RM1 – Multiple Unit Residential Zone Requirement
j.	Minimum Lot Area – Back-to-Back Townhouses (Blocks 153, 154, 155, 156 and 157)	100 m ²	87.68 m ²
k.	Minimum Lot Area – Back-to-Back Townhouses (Blocks 153, 154, 155, 156 and 157)	100 m ²	92.43 m ²
	Zoning By-law 001-2021 Standard	RT2 – Townhouse Residential Zone Requirement	Proposed Exceptions to the RT2 – Townhouse Residential Zone Requirement
l.	Minimum Lot Area – Townhouse Dwellings Accessed by a Lane (Block 151 - Lot 2)	170 m ²	158.54 m ²
m.	Minimum Lot Area – Townhouse Dwellings Accessed by a Lane (Blocks 158 to 163, Block 165 to 176, and Blocks 178 to 180)	170 m ²	167.70 m ²
n.	Minimum Lot Area – Townhouse Dwellings Accessed by a Lane (Blocks 158 to 161, Blocks 163 to 180)	170 m ²	131.15 m ²
o.	Minimum Front Yard – Townhouses Accessed by a Lane (Blocks 151, 152 and Blocks 158 to 180)	4.5 m	3.05 m
p.	Minimum Year Yard – Townhouses Accessed by a Lane	15 m	6.05 m (Blocks 151 and 152) 3.05 m (Blocks 158 to 180)

ATTACHMENT 6 – Proposed Exceptions to Zoning By-law 001-2021

	Zoning By-law 001-2021 Standard	RT2 – Townhouse Residential Zone Requirement	Proposed Exceptions to the RT2 – Townhouse Residential Zone Requirement
q.	Maximum Lot Coverage – Townhouses Accessed by a Lane	50%	65% (Blocks 151 and 152) 74% (Blocks 158 to 180)
r.	Maximum Driveway Width – Townhouses Accessed by a Lane	3.5 m	5.6 m (Blocks 158 to 180)

* It is recommended that the lots identified with an R4 – Fourth Density Residential Zone on the Draft Zoning By-law Amendment submitted by the Owner be rezoned to R4A – Fourth Density Residential Zone, as the proposed siting plans for the R4 Zone more appropriately fits with the zoning regulations of the R4A Zone. However, for the purpose of identifying exceptions, Table 1 above has identified exceptions to the R4 Zone as proposed.

Committee of the Whole (Public Meeting) Report

DATE: Tuesday, May 5, 2026

WARD: 4

TITLE: ROSSCOMM HOLDINGS LTD.
ZONING BY-LAW AMENDMENT FILE Z.26.002
10A FRESHWAY DR.
VICINITY OF CREDITSTONE ROAD AND HWY. 407

FROM:

Vince Musacchio, Deputy City Manager, Planning and Infrastructure Development

ACTION: FOR INFORMATION

Purpose

To receive comments from the public and the Committee of the Whole on an application to permit a concrete mixing plant use together with site-specific exceptions, and the removal of the Holding Symbol “(H)” on the subject lands, as shown on Attachment 2.

Report Highlights

- The Owner proposes permit a concrete mixing plant use together with site-specific exceptions and to remove the Holding Symbol “(H)” on the subject lands.
- This report identifies preliminary issues to be considered in a technical report to be prepared by the Development and Parks Planning Department at a future Committee of the Whole meeting.

Recommendations

1. That the Public Meeting report for Zoning By-law Amendment File Z.26.002 (Rosscomm Holdings Ltd.) be received, and that any issues identified be addressed by the Development and Parks Planning Department in a comprehensive report to the Committee of the Whole.

Background

Location: 10A Freshway Dr. (the Subject Lands). The Subject Lands and the surrounding land uses are shown on Attachment 1.

Date of Pre-Application Consultation Meeting: Feb. 26, 2025

Previous Official Plan Amendment, Zoning By-law Amendment, Site Development and Consent Applications were submitted on the Subject Lands

The Subject Lands were previously part of the MacMillan Rail Yard. All of the uses subject to the current Holding Symbol “(H)” were in operation at that time under a lease agreement with CN Railway. The previous Owner, 2012746 Ontario Limited operating as Southview Paving Inc., purchased the lands from CN Railway. Official Plan Amendment Application File OP.05.006, and Zoning By-law Amendment Application File Z.05.012 were submitted on March 10, 2005, to carry on the operation under private land ownership. The previous Owner also made an application to the Ministry of Municipal Affairs and Housing to remove the Subject Lands from the Parkway Belt West Plan (Ministry File 19-PBA-028-156), which was forwarded to the Ontario Municipal Board for consideration on April 26, 2005.

On July 27, 2005, 2012746 Ontario Limited filed an appeal to the Ontario Municipal Board for Official Plan Amendment File OP.05.006, Zoning By-law Amendment File Z.05.012 for a lack of decision.

Consent Application File B038/05, which was a request by CN Railway to create the Subject Lands together with all required easements and rights-of-ways, was also appealed by 2012746 Ontario Limited.

The above appeals and the Parkway Belt West Plan request were consolidated into a single hearing.

On Dec. 14, 2005, the Ontario Municipal Board issued an order approving Official Plan Amendment File OP.05.006, Zoning By-law Amendment File Z.05.012 and Consent Application File B038/05 and removed the Subject Lands from the Parkway Belt West Plan (Parkway Belt West Plan Amendment No. 156). The applications created the Subject Lands and permitted the crushing and storage of concrete and asphalt rubble for recycling, asphalt manufacturing, related materials storage, related construction equipment storage, and related office and administrative uses. The Holding Symbol “(H)” was applied to the Subject Lands requiring the property owner to enter into a site plan agreement with the City.

Site Development Application File DA.05.044 was submitted on July 28, 2005, and was not part of the above-noted appeals. It was intended to facilitate the land use permissions granted by the Ontario Municipal Board. However, the Site Development Application was never completed and abandoned by the previous owner.

A Zoning By-law Amendment Application has been submitted to permit the proposed development

Rosscomm Holdings Ltd., the Owner, has submitted a Zoning By-law Amendment application (the Application) for the Subject Lands to permit a concrete mixing plant use (the Development) and lift the Holding Symbol “(H)”, as shown on Attachments 2 to 5, together with site-specific zoning exceptions identified in Attachments 6 and 7.

Public Notice was provided in accordance with the Planning Act and Council’s Notification Protocol

a) Date the Notice of Public Meeting was circulated: April 10, 2026.

The Notice of Public Meeting was also posted on the City’s website at www.vaughan.ca and a Notice Sign was installed along Freshway Drive in accordance with the City’s Notice Signs Procedures and Protocols.

b) Circulation Area: To all property owners within 150 metres of the Subject Lands and to anyone on file with the Office of the City Clerk having requested notice.

c) No comments have been received as of April 21, 2026, by the Development and Parks Planning Department.

Any written comments received will be forwarded to the Office of the City Clerk to be distributed to the Committee of the Whole as a Communication and be reviewed and addressed by the Development and Parks Planning Department in a future technical report to the Committee of the Whole.

Previous Reports/Authority

The following are links to previous reports regarding the Subject Lands:

2012746 Ontario Limited OP.05.006, Z.05.012, Public Meeting Report
[April 18, 2005, Committee of the Whole \(Public Meeting\) \(Item 3, Report 26\)](#)

2012746 Ontario Limited OP.05.006, Z.05.012, Committee of the Whole Report
[Sept. 6, 2005, Committee of the Whole \(Item 31, Report 46\)](#)

Analysis and Options

The proposed development conforms with Vaughan Official Plan 2010

Official Plan Designation:

- “Employment Area” on Schedule 1 – Urban Structure by Vaughan Official Plan 2010 (‘VOP 2010’)
- “General Employment” on Schedule 13 – Land Use by VOP 2010
- This designation permits a wide range of industrial and associated employment uses

The recently adopted Vaughan Official Plan 2025 is not the in-force policy for the Subject Lands.

The Vaughan Official Plan 2025, which represents the City’s new policy direction, was adopted by the City on Oct. 28, 2025, as the new official plan for the City. The Vaughan Official Plan 2025 is subject to approval by the Minister of Municipal Affairs and Housing and is not in force. The Application is anticipated to be deemed complete prior to the approval of the Vaughan Official Plan 2025. As such, the VOP 2010, in addition to certain York Region Official Plan 2022 policies deemed to be the City’s official plan policies, are the in-force policies against which conformity of the Application is reviewed and assessed.

Council enacted Zoning By-law 001-2021 on Oct. 20, 2021, as the new Vaughan Comprehensive Zoning By-law

Applications to amend both Zoning By-law 1-88 and Zoning By-law 001-2021 are required because Zoning By-law 001-2021 is not in force for the Subject Lands due to it being under appeal.

Amendments to Zoning By-law 1-88 are required to permit the Development

- EM2(H) General Employment Area Zone with a Holding Symbol “(H)” by Zoning By-law 1-88, subject to site-specific Exception 9(1250).
- This Zone does not permit the concrete mixing plant use.
- This Zone permits the crushing and storage of concrete and asphalt rubble for recycling, asphalt manufacturing, related materials storage, related construction equipment storage, and related office and administrative uses once the Holding Symbol “(H)” is removed.
- A requirement of removing the “(H)” Holding Symbol is for Council to approve a Site Development Application.
- The Owner proposes site-specific zoning exceptions as shown in Attachment 6 and to remove the Holding Symbol “(H)”, to permit the Development as shown on Attachment 2.

Additional zoning exceptions may be identified through the detailed review of the Application and will be considered in a technical report to a future Committee of the Whole meeting.

Amendments to Zoning By-law 001-2021 are required to permit the Development
Zoning:

- EM2(H) General Employment Zone with a Holding Symbol “(H)” by Zoning By-law 001-2021, subject to site-specific Exception 14.892.
- This Zone does not permit the concrete mixing plant use.
- This Zone permits the crushing and storage of concrete and asphalt rubble for recycling, asphalt manufacturing, related materials storage, related construction equipment storage, and related office and administrative uses once the “(H)” Holding Symbol is removed.
- A requirement of removing the “(H)” Holding Symbol is for Council to approve a Site Development Application.

- The Owner proposes site-specific zoning exceptions as shown in Attachment 7 and to remove the Holding Symbol “(H)”, to permit the Development as shown on Attachment 2.

Additional zoning exceptions may be identified through the detailed review of the Application and will be considered in a technical report to a future Committee of the Whole meeting.

Following a preliminary review of the applications, the Development and Parks Planning Department has identified the following matters to be reviewed in greater detail

	MATTERS TO BE REVIEWED	COMMENT(S)
a.	Conformity and Consistency with Provincial Policies and City Official Plan Policies	<ul style="list-style-type: none"> ▪ The Application will be reviewed for consistency and conformity to the Provincial Planning Statement, 2024 and the policies of York Region Official Plan 2022, VOP 2010 and any other deemed City official plan policies.
b.	Appropriateness of Amendments to Zoning By-laws 1-88 and 001-2021	<ul style="list-style-type: none"> ▪ The appropriateness of the removal of the Holding Symbol “(H)”, the concrete mixing plant use, and site-specific exceptions will be reviewed in consideration of the existing and planned surrounding land uses.
c.	Studies and Reports	<ul style="list-style-type: none"> ▪ The Owner submitted studies and reports in support of the Applications available on the city’s website at https://maps.vaughan.ca/planit/ (PLANit Viewer) and must be approved to the satisfaction of the City or respective approval authority. Additional studies and/or reports may be required as part of the application review process.
d.	Urban Design Guidelines	<ul style="list-style-type: none"> ▪ The Development will be reviewed in consideration of the City of Vaughan City-wide Urban Design Guidelines.
e.	Public Agency/Municipal Review	<ul style="list-style-type: none"> ▪ The Application must be reviewed by York Region, the Ministry of Transportation, and external public agencies and utilities, and the Public.
f.	Parkland Dedication	The Application will be reviewed in consideration of the requirements of the <i>Planning Act</i> and the City of Vaughan’s Parkland Dedication Policy.
g.	Traffic Impacts, Road Widening and Access	<ul style="list-style-type: none"> ▪ The Transportation Impact Study will be reviewed in accordance with the City’s Transportation Impact Study Guidelines to the satisfaction of the Development Engineering Department.

	MATTERS TO BE REVIEWED	COMMENT(S)
		<ul style="list-style-type: none"> ▪ The proposed traffic generated by the development with the requested concrete mixing plant use will be reviewed in consideration of existing traffic conditions at: <ul style="list-style-type: none"> ○ Highway 7 and Creditstone Road ○ Freshway Drive and the existing site access ▪ Matters including the driveway entrance, parking, truck manoeuvring, bicycle parking and Transportation Demand Management requirements are required to be reviewed to the satisfaction of the Development Engineering Department.
h.	Provincial Highways	<ul style="list-style-type: none"> ▪ To the north, the Subject Lands abut a Highway 407 overpass, a 400 series toll highway under the jurisdiction of the Ministry of Transportation and the 407 ETR. ▪ The Ministry of Transportation and the 407 ETR will identify any requirements for development in proximity to their infrastructure.
i.	Abutting Railway Lands	<ul style="list-style-type: none"> ▪ The Subject Lands abut the MacMillan Rail Yard owned by CN Railway and obtain access to Freshway Drive via an easement for a right-of-way over the MacMillan Rail Yard. ▪ The Application will be reviewed by CN Railway for compliance with its regulations and policies regarding the proximity of development to its infrastructure and lands.
j.	Related Site Development Application	<ul style="list-style-type: none"> ▪ The Owner has submitted related Site Development File DA.26.001 to implement the proposed Development should the Application be approved.
k.	The Application has been Deemed Incomplete	<ul style="list-style-type: none"> ▪ The Owner is required to submit the following material for the Applications to be deemed complete: <ul style="list-style-type: none"> ○ Amendments to the Development Application Form ○ Draft By-law Amendment to Zoning By-law 1-88 ○ Amendments to the Planning Justification Report and Development Application form to include amendments and analysis of Zoning By-law 1-88

Financial Impact

There are no financial requirements for new funding associated with this report.

Operational Impact

Development and Parks Planning staff have circulated the Applications to internal City Departments and external agencies for review.

Broader Regional Impacts/Considerations

York Region Council adopted the York Region Official Plan 2022 in June 2022. York Region Official Plan 2022 was approved, as modified, by the Minister of Municipal Affairs and Housing in November 2022, bringing it into full force and effect. Bill 150 (*Planning Statue Law Amendment Act, 2023*) and Bill 162 (*Get It Done Act, 2024*) later rescinded some of those modifications.

On June 6, 2024, Bill 185 (*Cutting Red Tape to Build More Homes Act, 2024*) (“Bill 185”) received Royal Assent which includes amendments to the Planning Act. In accordance with the amendments to the *Planning Act* implemented through Bill 185, York region became a Region without planning responsibilities effective July 1, 2024.

Pursuant to subsection 70.13(2) of the *Planning Act*, York Region Official Plan 2022 is deemed to constitute an official plan of the City in respect of any area in the City to which it applies and will remain in effect until the City revokes or amends it.

The Application is being circulated to York Region for the purpose of receiving comments on matters of Regional interest i.e., roads and servicing infrastructure. Further comments will be discussed in the future comprehensive report.

Conclusion

The preliminary issues identified in this report and any other issues identified through the processing of the Application will be considered in the technical review of the Applications. Comments from the public and Vaughan Council expressed at the Public Meeting or in writing will be addressed in a comprehensive report to a future Committee of the Whole meeting.

For more information, please contact David Harding, Senior Planner, Development and Parks Planning Department, ext. 8409.

Attachments

1. Context and Location Map
2. Proposed Site Plan and Existing Zoning
3. Conceptual Elevations – Concrete Plant
4. Elevations – Existing Scalehouse
5. Elevations – Existing Motor Vehicle Storage
6. Elevations – Existing Enclosed Storage and Existing Portable Trailer

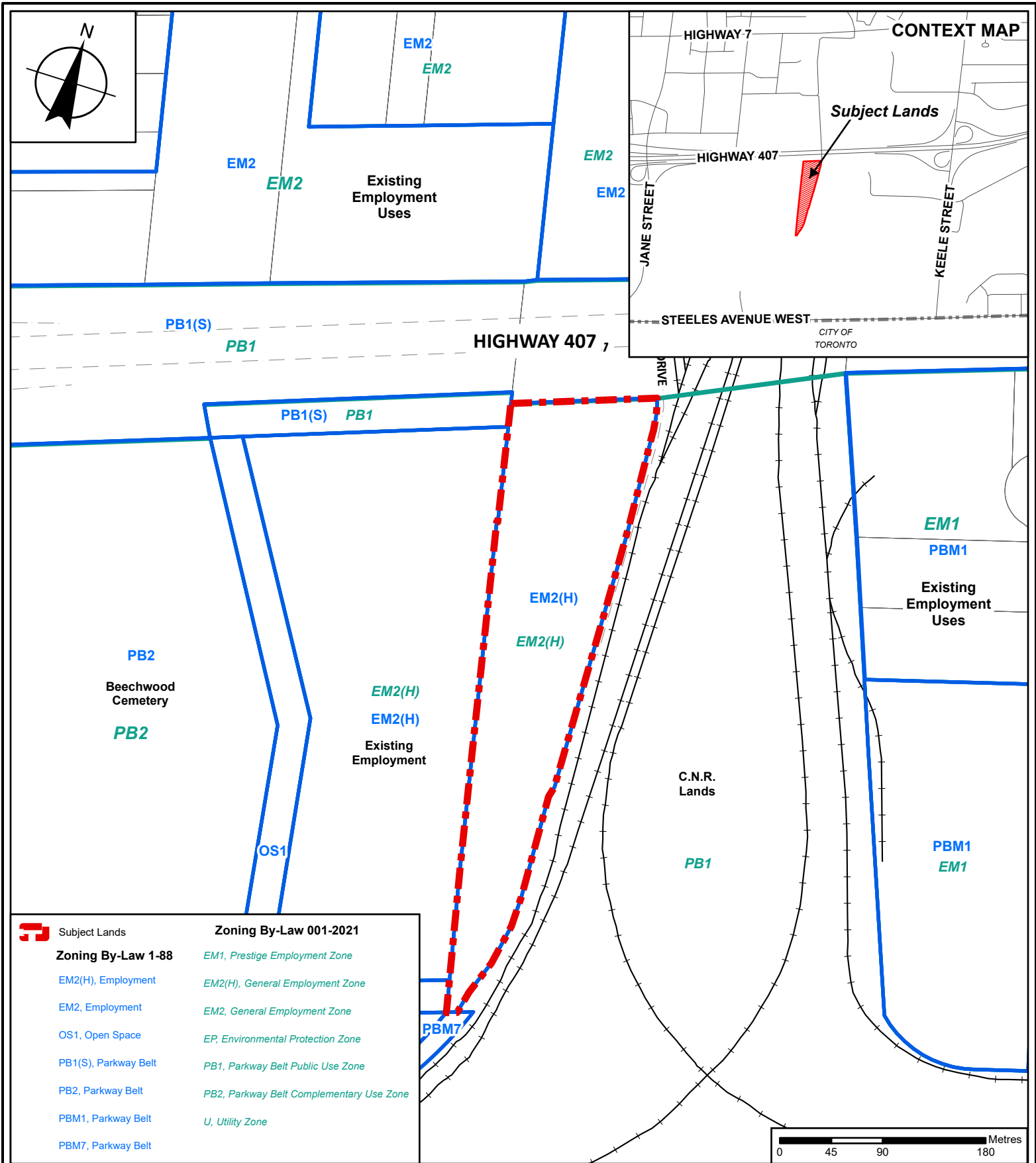
7. Zoning By-law 1-88 Table 1
8. Zoning By-law 001-2021 Table 2

Prepared by

David Harding, Senior Planner, ext. 8409

Mary Caputo, Senior Manager of Development Planning, ext. 8635

Nancy Tuckett, Director of Development and Parks Planning, ext. 8529



Context and Location Map

LOCATION:
10A Freshway Drive
Part of Lots 2 and 3, Concession 4

APPLICANT:
Rosscomm Holdings Ltd.



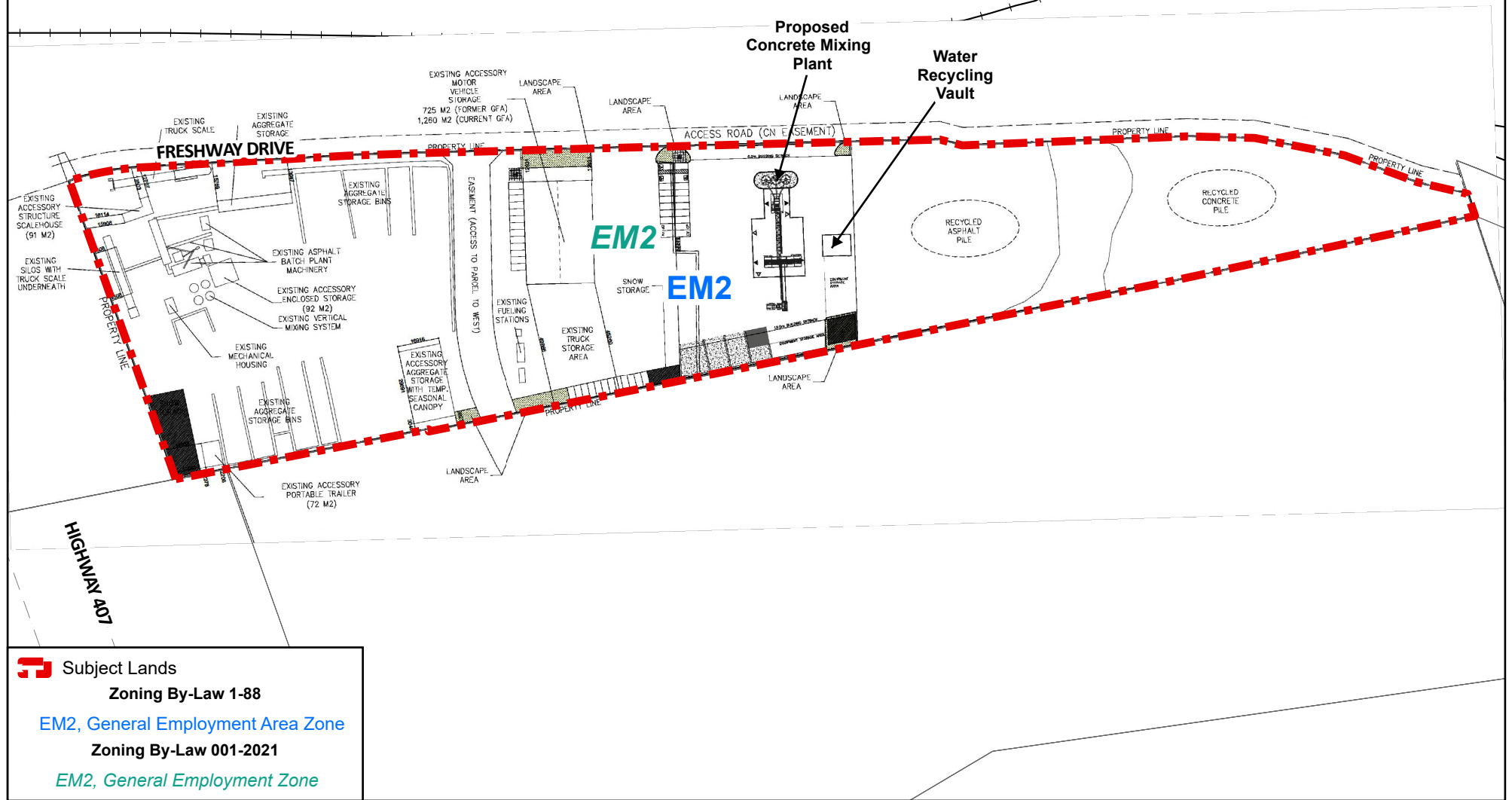
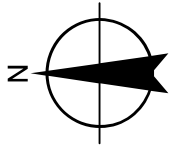
Development and
Parks Planning


Attachment

FILE: Z.26.002
RELATED FILE:
DA.26.001

DATE: May 5, 2026

1



 Subject Lands
Zoning By-Law 1-88
 EM2, General Employment Area Zone
Zoning By-Law 001-2021
 EM2, General Employment Zone

Proposed Site Plan and Existing Zoning

LOCATION: 10A Freshway Drive
 Part of Lots 2 and 3, Concession 4

APPLICANT:
 Rosscomm Holdings Ltd.



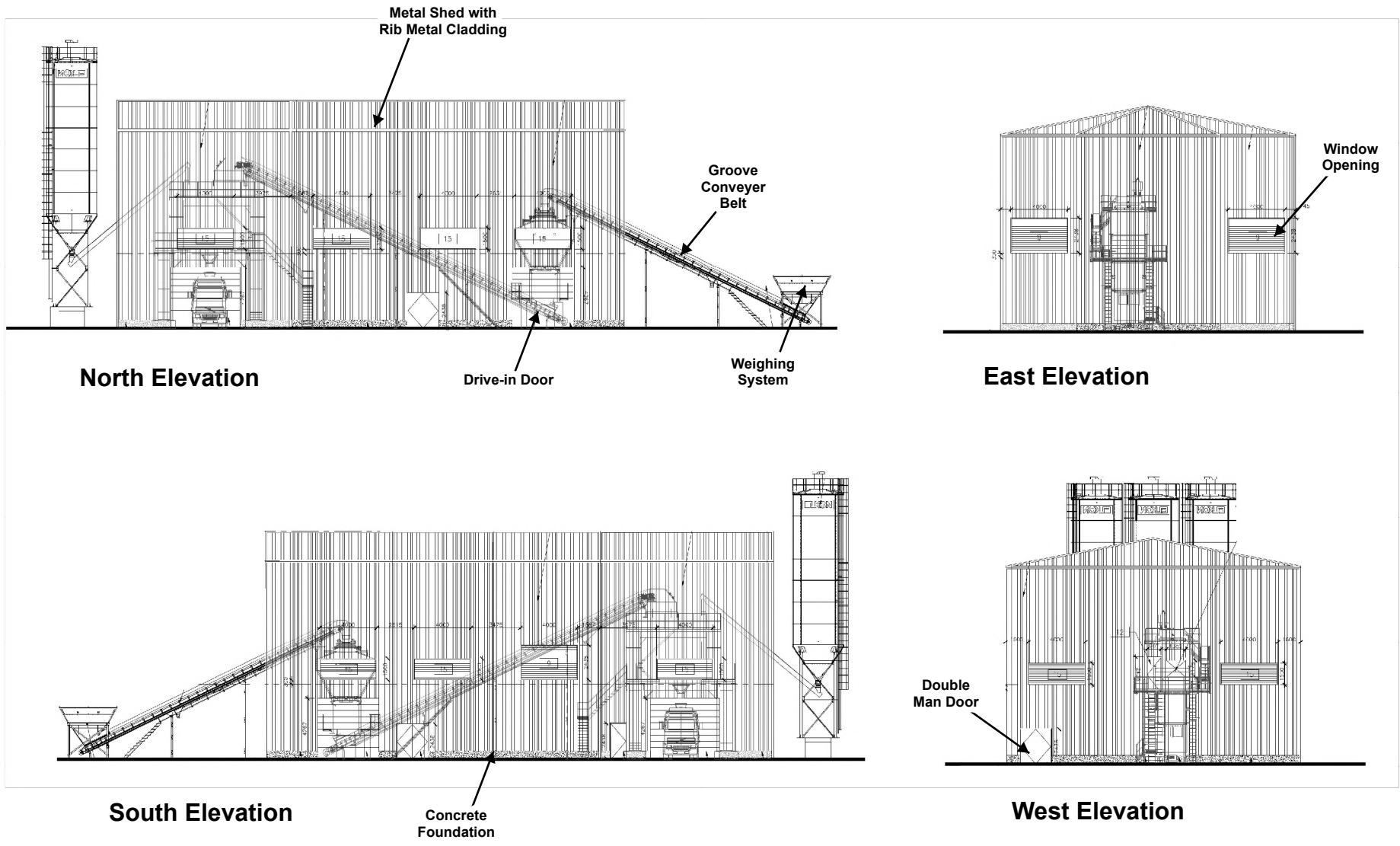
Development and
 Parks Planning

Attachment

FILE: Z.26.002
RELATED FILE:
 DA.26.001

DATE: May 5, 2026

2



Conceptual Elevations - Concrete Plant

LOCATION: 10A Freshway Drive
Part of Lots 2 and 3, Concession 4

APPLICANT:
Rosscomm Holdings Ltd.



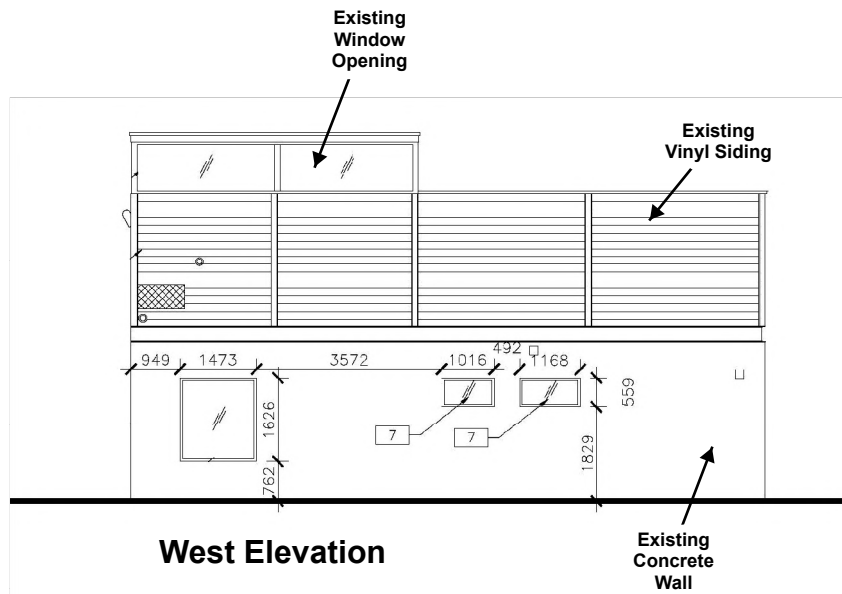
Development and
Parks Planning

Attachment

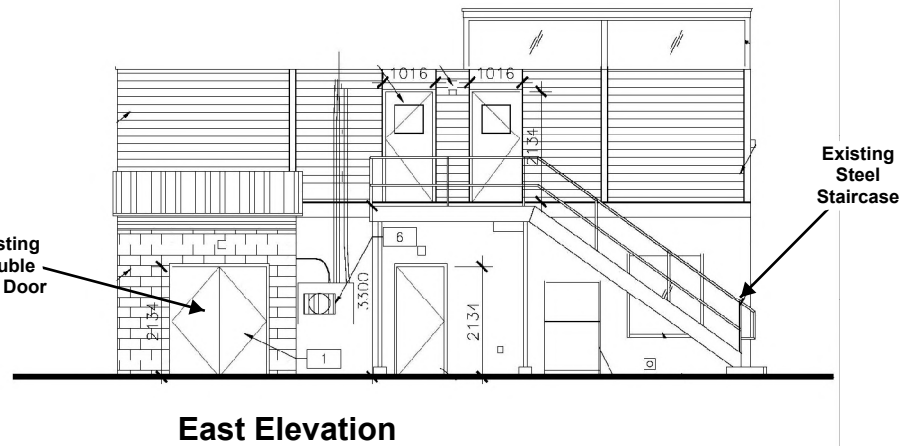
FILE: Z.26.002
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DA.26.001

DATE: May 5, 2026

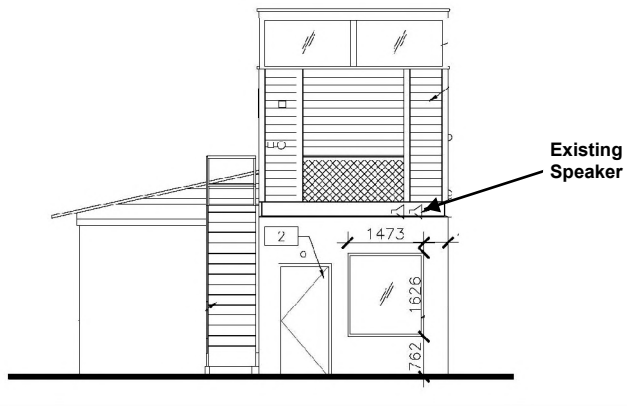
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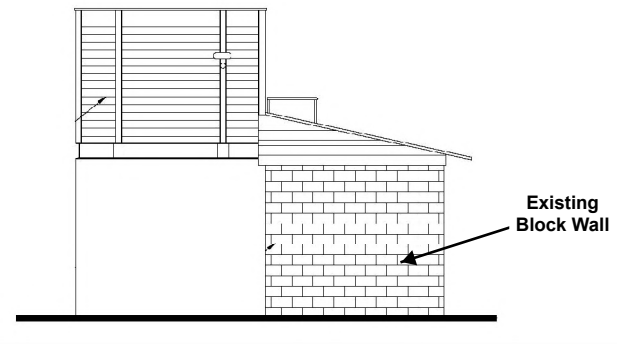
West Elevation



East Elevation



North Elevation



South Elevation

Elevations - Existing Scalehouse

LOCATION: 10A Freshway Drive
Part of Lots 2 and 3, Concession 4

APPLICANT:
Rosscomm Holdings Ltd.

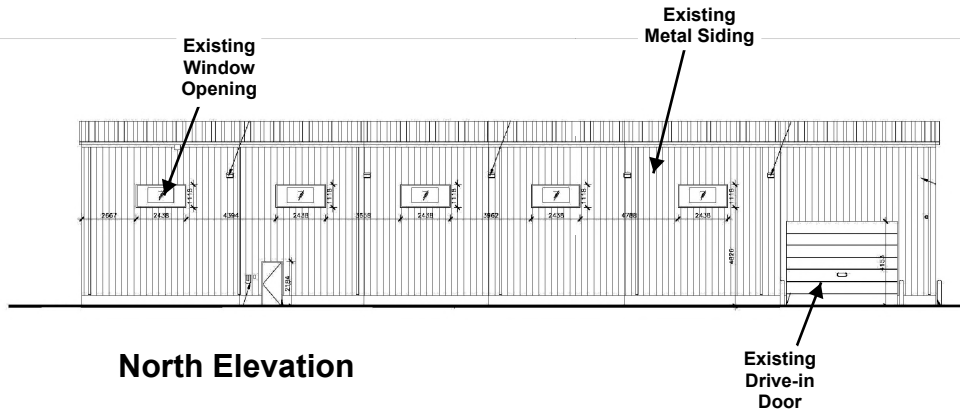


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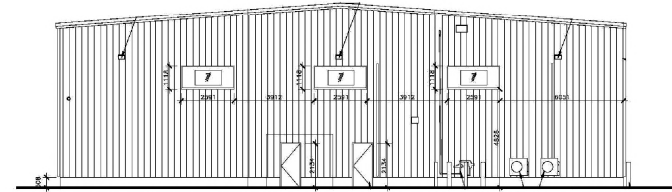
FILE: Z.26.002
RELATED FILE:
DA.26.001

DATE: May 5, 2026

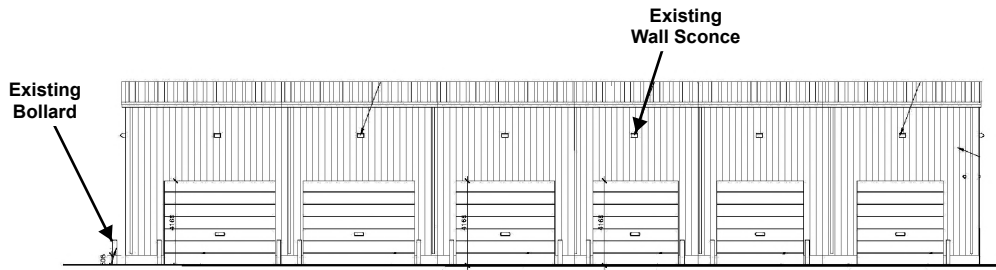
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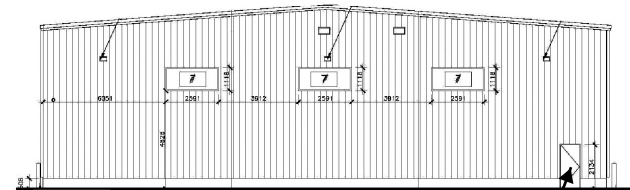
North Elevation



West Elevation



South Elevation



East Elevation

Existing Man Door

Elevations - Existing Motor Vehicle Storage

LOCATION: 10A Freshway Drive
Part of Lots 2 and 3, Concession 4

APPLICANT: Rosscomm Holdings Ltd.



Development and
Parks Planning

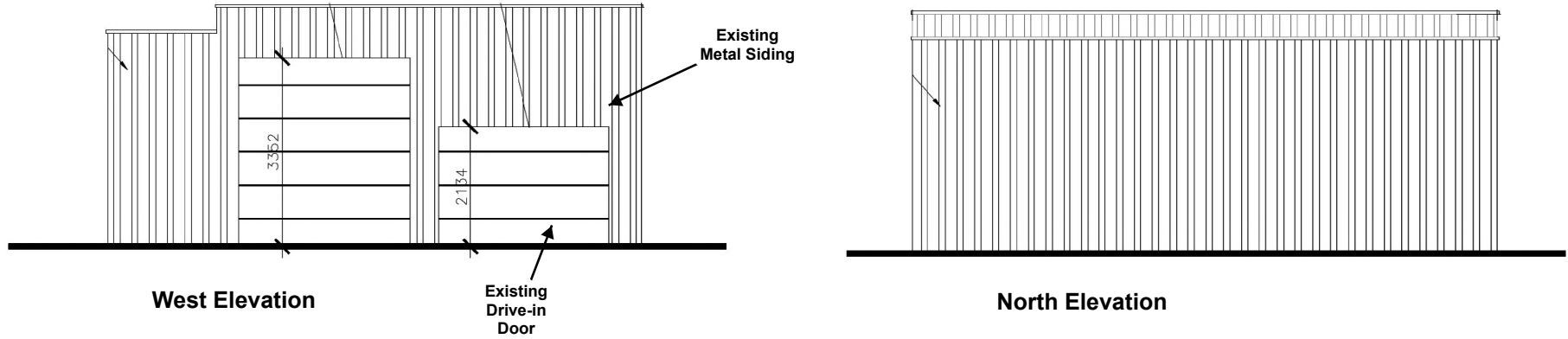
Attachment

FILE: Z.26.002
RELATED FILE:
DA.26.001

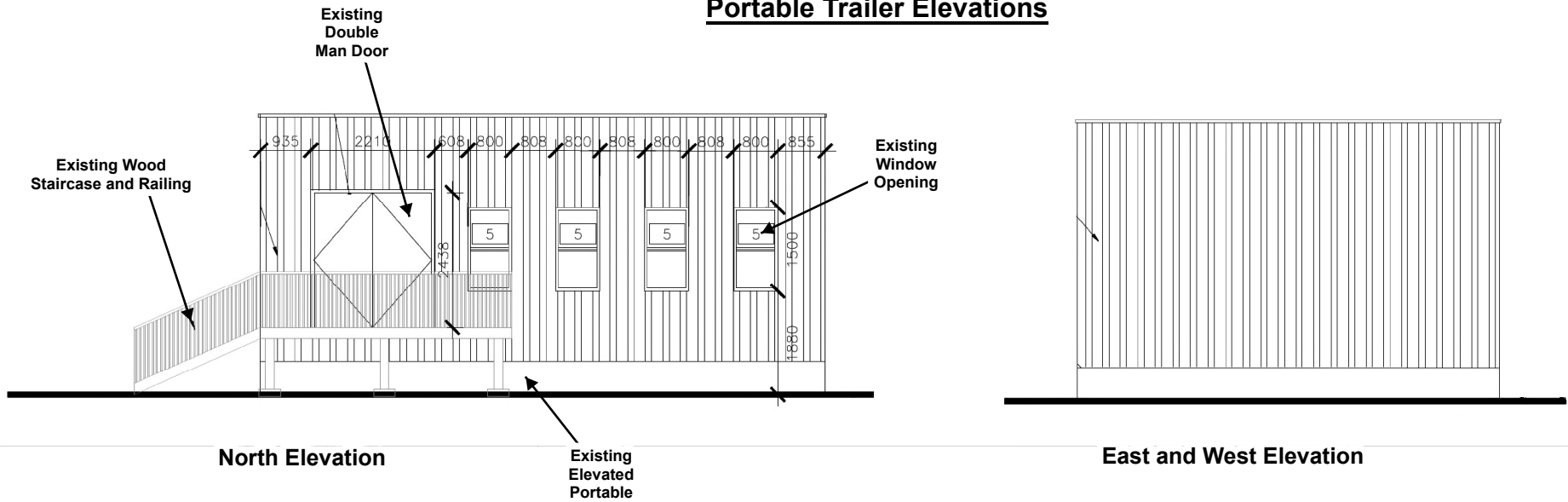
DATE: May 5, 2026

5

Enclosed Storage Elevations



Portable Trailer Elevations



Elevations - Existing Enclosed Storage and Existing Portable Trailer

LOCATION: 10A Freshway Drive
Part of Lots 2 and 3, Concession 4

APPLICANT: Rosscomm Holdings Ltd.



Development and
Parks Planning

Attachment

FILE: Z.26.002
RELATED FILE:
DA.26.001

DATE: May 5, 2026

Attachment 7 – Zoning By-law 1-88 Table 1

	Zoning By-law 1-88 Standard	EM2 General Employment Area Zone Requirement	Proposed Exceptions to the EM2 General Employment Area Zone Requirement
a.	Permitted Uses	A permanent concrete mixing plant is not listed as a permitted use within the zone and is listed as a prohibited use under the General Provisions	To permit a concrete mixing plant
b.	Outside Storage Area	A maximum of 65% of the lot area can be used as outside storage in the locations identified in Figure E-1378 and the storage will have a minimum height of 6.0 m and a maximum height of 9.0 m	A maximum of 60% of the lot area can be used as outside storage in the locations identified in Attachment 2 and the storage will have a minimum height of 6.0 m and a maximum height of 9.0 m
c.	Minimum Setback from West Lot Line to Aggregate Storage	10.0 m	2.2 m
d.	Minimum Setback from West Lot Line to Truck and Construction Equipment Storage Area	10.0 m and only when screened from view to the west by a 6.0 m high solid barrier	Shall Not Apply
e.	Minimum Setback from West lot Line to Accessory Aggregate Storage Structure	10.0 m	3.0 m
f.	Minimum Building Setback to West Lot Line	10.0 m	2.2 m to the existing Portable Trailer

g.	Noise Attenuating Barriers	Minimum Height of 6.0 m and maximum height of 9.0 m, subject to Site Plan approval	Shall Not Apply
h.	Shop maintenance Facility Screening	Shall be screened from view to the west by a 6.0 m high solid barrier	Shall Not Apply
i.	Minimum Landscape Strip	6.0 m along the west lot line 9.0 m along a provincial highway	Shall Not Apply
j.	Minimum Landscape Open Space	5%	2.7%

Attachment 8 – Zoning By-law 001-2021 Table 2

	Zoning By-law 001-2021 Standard	EM2 General Employment Zone Requirement	Proposed Exceptions to the EM2 General Employment Zone Requirement
a.	Permitted Uses	<p>A permanent concrete mixing plant is not listed as a permitted use</p> <p>A Holding “(H)” Symbol permits uses legally existing as of the date of enactment of By-law 6-2006</p>	<p>To permit a permanent concrete mixing plant</p> <p>To remove the Holding “(H)” Symbol to permit the crushing and storage of concrete and asphalt rubble for recycling, asphalt manufacturing, and related materials storage, related construction equipment storage, and related office and administrative uses</p>
b.	Outside Storage Area	A maximum of 65% of the lot area can be used as outside storage in the locations identified in Figure E-1378 and the storage will have a minimum height of 6.0 m and a maximum height of 9.0 m	A maximum of 60% of the lot area can be used as outside storage in the locations identified in Attachment 2 and the storage will have a minimum height of 6.0 m and a maximum height of 9.0 m
c.	Minimum Setback from West Lot Line to Aggregate Storage	10.0 m	2.2 m
d.	Minimum Setback from West Lot Line to Truck and Construction Equipment Storage Area	10.0 m and only when screened from view to the west by a 6.0 m high solid barrier	Delete Requirement
e.	Minimum Setback from West lot Line to Accessory Aggregate Storage Structure	10.0 m	3.04 m
f.	Minimum Building Setback to West Lot Line	10.0 m	2.2 m for Existing Portable Trailer

g.	Noise Attenuating Barriers	Minimum Height of 6.0 m and maximum height of 9.0 m, subject to Site Plan approval	Delete Requirement
h.	Shop maintenance Facility Screening	Shall be screened from view to the west by a 6.0 m high solid barrier	Delete Requirement
i.	Minimum Landscape Strip	6.0 m along the west lot line	Delete Requirement
j.	Minimum Landscape Open Space	5%	2.7%
k.	Highway Corridor Setback	14.0 m	4.5 m

Committee of the Whole (Public Meeting) Report

DATE: Tuesday, May 5, 2026

WARD(S): 2

TITLE: U-PAK DISPOSALS LTD.

**ZONING BY-LAW AMENDMENT FILE NO. Z.26.004
PART OF THE EAST ½ OF LOT 20 AND LOT 21,
CONCESSION 9, PART OF PART 1 ON REFERENCE PLAN
64R-4816, BLOCK 60 EAST
VICINITY OF MAJOR MACKENZIE DRIVE WEST AND
HIGHWAY 27**

FROM:

Vince Musacchio, Deputy City Manager, Planning and Infrastructure Development

ACTION: FOR INFORMATION

Purpose

To receive comments from the public and the Committee of the Whole on an application to amend the zoning by-law for the Subject Lands shown on Attachment 1 to permit a low-rise residential subdivision with a total of 163 residential units, of which 98 are townhouse units and 65 are single-detached dwelling units, as shown on Attachments 2 to 4.

Report Highlights

- The Owner proposes a low-rise residential community with a mix of single-detached and townhouse units.
- A Zoning By-law Amendment and Draft Plan of Subdivision Application is required to permit the proposed development.
- The subject lands are located within the Block 60 East Block Plan.
- This report identifies preliminary issues to be considered in a technical report to be prepared by the Development and Parks Planning Department at a future Committee of the Whole meeting.

Recommendations

1. That the Public Meeting report for Zoning By-law Amendment File and Z.26.004 (U-PAK Disposals Ltd.) be received, and that any issues identified be addressed by the Development and Parks Planning Department in a comprehensive report to the Committee of the Whole.

Background

Location: Part of the East ½ of Lot 20 and Lot 21, Concession 9, Part of Part 1 on Reference Plan 64R-4816, Block 60 East (the Subject Lands). The Subject Lands and surrounding land uses are shown on Attachment 1.

Date of Pre-Application Consultation Meeting: Nov. 11, 2025

Date the application was deemed incomplete: The Application is incomplete as of writing this report.

A Zoning By-law Amendment Application has been submitted to permit the proposed development.

The Owner has submitted Zoning By-law Amendment File Z.26.004 (the Application) to amend Zoning By-law 001-2021 by rezoning the Subject Lands from “A - Agriculture Zone” and “EM3 – Mineral Aggregate Operation Zone” to “R3 - Third Density Residential Zone”, “R4A – Fourth Density Residential Zone”, “RT1 – Townhouse Residential Zone”, and “OS1 – Public Open Space Zone” in the manner shown on Attachment 3. The existing “EP – Environmental Protection Zone” as shown on Attachment 1 is proposed to remain. Block 12 on Attachment 2 is reserved for Metrolinx uses and is proposed to be zoned “EM1(H) Prestige Employment Zone”, which will permit GO Transit operations.

The Application would permit the development of 163 residential units (the Development) through a residential Draft Plan of Subdivision (File 19T-26V002) as shown on Attachments 2 to 4. Access to the Subject Lands is proposed via an internal road network connecting the site to Major Mackenzie Drive West. Table 1 below summarizes the key statistics of the Application:

Table 1 – Key Statistics:

Block Number	Land Use	Area (hectares)
Lots 1 - 65	Residential (65 single-detached units)	2.75
Blocks 1-1 H	Residential (43 townhouse units)	0.95
Blocks 2-2J	Residential (55 dual frontage townhouse units)	1.10
Blocks 3-3M	Residential Reserve	0.13
Block 4	Elementary School	2.17
Block 5	Park	1.63
Block 6	Stormwater Management Pond	1.10
Block 7-7A	Natural Heritage System	0.78

Blocks 8-8A	Natural Heritage System Buffer	0.35
Block 9	Vista	0.03
Blocks 10-10B	Entry Feature	0.09
Block 11	Buffer Block	0.31
Block 12	Metrolinx Uses	3.76
Blocks 13-13	0.30m Reserve	0.01
Street 'A-G' and Laneways 'A-C'	Street 'A' – 24.0m - 26.0m Right of Way – 122 m Street 'B' – 24.0m - 27.5m Right of Way – 65 m Street 'C' – 19.0m Right of Way – 159.5 m Street 'D' – 17.5m Right of Way – 68.75 m Street 'E' – 17.5m Right of Way – 78.25 m Street 'F' – 17.5m Right of Way – 65 m Street 'G' – 15.0m Right of Way – 519.5 m Laneway 'A' – 8.0m Right of Way – 78.25 m Laneway 'B' – 8.0m Right of Way – 71.67 m Laneway 'C' – 8.0m Right of Way	4.06
Total Area		19.22

The Subject Lands are located within the Block 60 East Block Plan (File No. BL.60E.2018).

The Block 60 East Block Plan Area is bound by Major Mackenzie Drive to the north, Rutherford Road to the south, the CP Rail Corridor to the west, and an unopened road allowance running parallel to Highway 27 to the east as shown on Attachment 5. The Block 60 East lands have an area of approximately 110 hectares.

The Block Plan Application process for Block 60 East was a comprehensive planning process initiated by the Participating Landowners Group which are collectively known as the “Block 60 East Landowners Group Inc.” The Block 60 East lands include properties owned by participating and non-participating landowners. The Committee of the Whole approved the Block 60 East Block Plan on June 3, 2024, subject to the fulfillment of several conditions related to servicing infrastructure and transportation. The Block 60 East Block Plan demonstrates the delivery of a low-rise residential community with a mix of housing forms, such as semi-detached houses and townhomes.

The Subject Lands include a GO Station Holding provision (“H”) noted on the Block 60 East Block Plan.

Metrolinx previously undertook the Bolton Commuter Railway Feasibility Study which Examined the technical requirements to implement commuter rail service between Bolton and the City of Toronto. The Study identified two conceptual GO Train Stations along the CP Railway Line at both Major Mackenzie Drive (Kleinberg Station) and Rutherford Road (Elder Mills Station). The potential ‘Kleinburg Station’ location was identified adjacent to Major Mackenzie Drive West on the Subject Lands and is noted on Schedule 10 – Major Transit Network of VOP 2010.

Although commuter rail service was deemed feasible, the Bolton Commuter Railway Feasibility Study ultimately determined that ridership would be modest and capital

costs would be high. When circulated for comments on the Block 60 East Block Plan, Metrolinx advised that the “Regional Transportation Plan (RTP) identifies the Bolton Commuter Rail Service as a project for consideration beyond 2041”. Any future proposed station on these lands would be based on Metrolinx’s ‘Market-Driven’ approach. The landowners’ group for the Block 60 East Block Plan was directed by staff to conduct an additional study to determine the feasibility of delivering these GO Transit Stations.

A study was conducted by Poulos and Chung who concluded that both proposed GO stations will result in commuter traffic flow during typical weekday roadway peak hours as the primary traffic driver in all of Block 60 East. Both the Poulos and Chung study, and the City’s Transportation Engineering staff expressed concerns with the volume of commuter traffic flows through a residential subdivision, stating that Elder Mills Station in particular would be challenging to implement because of the expensive grade separation required for access to Rutherford Road. York Region supported the release of the Elder Mills GO Station lands within Block 60 East but requested that the site for Kleinburg Station be further protected for future consideration.

A Holding (‘H’) provision was identified on the Block 60 East Block Plan for the proposed location of Kleinburg Station, noted as the “Metrolinx Study Holding Zone Provision” as shown on Attachments 2 and 5.

Public Notice was provided in accordance with the Planning Act and Council’s Notification Protocol

a) Date the Notice of Public Meeting was circulated: April 10, 2026.

The Notice of Public Meeting was also posted on the City’s website at www.vaughan.ca and a Notice Sign was installed along Major Mackenzie Drive West in accordance with the City’s Notice Signs Procedures and Protocols.

b) Circulation Area: To all property owners within 150 metres of the Subject Lands and to the Kleinburg & Area Ratepayers’ Association and to anyone on file with the Office of the City Clerk having requested notice.

c) No comments have been received as of April 21, 2026, by the Development and Parks Planning Department.

Any written comments received will be forwarded to the Office of the City Clerk to be distributed to the Committee of the Whole as a Communication and be reviewed and addressed by the Development and Parks Planning Department in a future technical report to the Committee of the Whole.

Previous Reports/Authority

The following are links to previous reports applicable to Block 60 East lands:

Block 60 East Block Plan Public Meeting Report:
[Nov. 3, 2020, Committee of Whole \(Public Meeting\) \(Item 1, Report 52\)](#)

Analysis and Options

The Development conforms with Vaughan Official Plan 2010.

Official Plan Designation:

- “Natural Areas and Countryside” and “Community Areas” on Schedule 1 – Urban Structure by Vaughan Official Plan 2010 (VOP 2010).
- The Subject Lands contain “Core Features” on Schedule 2 – Natural Heritage Network of VOP 2010, Volume 1.
- The Subject Lands also contain “Greenbelt Plan External Linkages” on Schedule 4 – Oak Ridges Moraine Conservation Plan.
- “Natural Areas” and “Low-Rise Residential” on Schedule 13 – Land Use by VOP 2010.
- The Low-Rise Residential designation permits buildings in a low-rise form no greater than three-storeys in height.

The recently adopted Vaughan Official Plan 2025 is not the in-force policy for the Subject Lands.

The Vaughan Official Plan 2025, which represents the City’s new policy direction, was adopted by the City on Oct. 28, 2025, as the new official plan for the City. The Vaughan Official Plan 2025 is subject to approval by the Minister of Municipal Affairs and Housing and is not in force. The Application was deemed incomplete prior to the approval of the Vaughan Official Plan 2025. As such, VOP 2010, in addition to certain York Region Official Plan 2022 policies deemed to be the City’s official plan policies, are the in-force policies against which conformity of the Application is to be reviewed and assessed. The Application will need to be deemed complete prior to the approval of the Minister of Municipal Affairs and Housing for the policies of VOP 2010 to continue to be applicable. Notwithstanding, the Application would conform to the land use policies of Vaughan Official Plan 2025.

An amendment to Zoning By-law 001-2021 is required to permit the Development.

Zoning By-law 001-2021

- The Subject Lands are zoned “A - Agriculture Zone (‘A Zone’), “EM3 – Mineral Aggregate Operation Zone”, and “EP – Environmental Protection Zone” which does not permit the Development. Site-specific zoning exception 14.459 applies to the Subject Lands.
- The Owner proposes to rezone the Subject Lands from “A – Agriculture Zone” and “EM3 – Mineral Aggregate Operation Zone” to the “R3 - Third Density Residential Zone”, “R4A – Fourth Density Residential Zone”, “RT1 – Townhouse Residential Zone”, “EM1(H) – Prestige Employment Zone”, and “OS1 – Public Open Space Zone” in the manner shown on Attachment 3, together with the site-specific zoning exceptions shown on Table 2 of Attachment 6.

Additional zoning exceptions may be identified through the detailed review of the Applications and will be considered in a technical report to a future Committee of the Whole meeting.

Following a preliminary review of the applications, the Development and Parks Planning Department has identified the following matters to be reviewed in greater detail.

	MATTERS TO BE REVIEWED	COMMENT(S)
a.	Conformity and Consistency with Provincial Policies and City Official Plan Policies	<ul style="list-style-type: none"> ▪ The Application will be reviewed for consistency and conformity to the Provincial Planning Statement, 2024 and the policies of VOP 2010 and any other deemed City official plan policies. ▪ The Application will be reviewed for consistency and conformity with the Block 60 East Block Plan.
b.	Appropriateness of Amendments to Zoning By-law	<ul style="list-style-type: none"> ▪ The appropriateness of the rezoning and any site-specific exceptions will be reviewed in consideration of the existing and planned surrounding land uses.
c.	Studies and Reports	<ul style="list-style-type: none"> ▪ The Owner submitted studies and reports in support of the Application available on the city’s website PLANit (PLANit Viewer) and must be approved to the satisfaction of the City or respective approval authority. Additional studies and/or reports may be required as part of the application review process.
d.	Allocation and Servicing	<ul style="list-style-type: none"> ▪ The availability of water and sanitary servicing capacity for the Development must be identified and allocated by Vaughan Council, if the Application is approved. If servicing allocation is unavailable, the lands will be zoned with a Holding Symbol “(H)”, which will be removed once servicing capacity is identified and allocated to the lands by Vaughan Council.
e.	Urban Design Guidelines	<ul style="list-style-type: none"> ▪ The Development will be reviewed in consideration of the City of Vaughan City-wide Urban Design Guidelines and Block 60 East Urban Design Guidelines.
f.	Public Agency/Municipal Review	<ul style="list-style-type: none"> ▪ The Application must be reviewed by York Region and the Toronto and Region Conservation Authority, and external public agencies and utilities, the Public and French School Boards, Metrolinx, Canadian National Railway, and Canadian Pacific and Kansas City Railway.

	MATTERS TO BE REVIEWED	COMMENT(S)
g.	Sustainable Development	<ul style="list-style-type: none"> The Application will be reviewed in consideration of the City of Vaughan's Policies and Sustainability Metrics Program. The Development shall achieve a minimum Bronze score of 27 points.
h.	Parkland Dedication	<ul style="list-style-type: none"> The Application will be reviewed in consideration of the requirements of the <i>Planning Act</i> and the City of Vaughan's Parkland Dedication Policy.
i.	Affordable Housing	<ul style="list-style-type: none"> The Application will be reviewed in consideration of Provincial, Regional and City policies to ensure that the development provides an appropriate level, range and mix of unit sizes and types to meet the City's affordable housing goals.
j.	City's Tree Protection Protocol (TPP)	<ul style="list-style-type: none"> There are 62 trees on the Subject Lands, six of which are required to be removed to accommodate the proposed development. The Development will be reviewed in accordance with the City's Tree Protection Protocol, for the protection and the replacement of any tree(s) should they be damaged during construction, if the Application is approved.
k.	Traffic Impacts, Road Widening and Access	<ul style="list-style-type: none"> The Transportation Impact Study will be reviewed in accordance with the City's Transportation Impact Study Guidelines to the satisfaction of the Development Engineering Department. The proposed traffic generated by the Development at the requested density will be reviewed in consideration of existing traffic conditions at Major Mackenzie Drive West and Highway 27. Matters including the driveway entrance, parking, truck manoeuvring, bicycle parking, and Transportation Demand Management requirements are required to be reviewed to the satisfaction of the Development Engineering Department. The Subject Lands are located south of Major Mackenzie Drive West and west of Highway 27, which are arterial roads under the jurisdiction of York Region.

	MATTERS TO BE REVIEWED	COMMENT(S)
		<ul style="list-style-type: none"> ▪ York Region will identify any required land conveyances. ▪ Coordination regarding access to the Subject Lands based on the road network outlined in the Block Plan for Block 60 East will be required.
i.	Cost-Sharing Agreement	<ul style="list-style-type: none"> ▪ A cost-sharing agreement for the Block 60 East lands will be established between the Owner and all other landowners within the Block. The purpose of this cost-sharing agreement is to deliver the proposed road network and other key infrastructure across the Block. ▪ The Owner is required to ensure they are in good standing with the Block trustee for the Block 60 East lands, should the Application and associated Draft Plan of Subdivision be approved.
m.	The Applications have been Deemed Incomplete	<ul style="list-style-type: none"> ▪ The Owner is required to submit the following material for the Application to be deemed complete: <ul style="list-style-type: none"> ○ Site Plan ○ Scoped Environmental Impact Study ○ Parkland Dedication Summary Chart ○ Functional Design Plans ○ Transportation Maneuverability Plans
n.	Related Draft Plan of Subdivision (File No. 19T-26V002)	<ul style="list-style-type: none"> ▪ The Owner has submitted a related Draft Plan of Subdivision File 19T-26V002. ▪ Should the Application be approved, the required draft plan of subdivision conditions will be included to address site access, road alignments and connections, servicing and grading, environmental, noise, and other municipal, regional and public agency and utility requirements.

Financial Impact

There are no financial requirements for new funding associated with this report.

Operational Impact

The Development and Parks Planning staff have circulated the Application to internal City Departments and external agencies for review.

Broader Regional Impacts/Considerations

York Region Council adopted the York Region Official Plan 2022 in June 2022. York Region Official Plan 2022 was approved, as modified, by the Minister of Municipal Affairs and Housing in November 2022, bringing it into full force and effect. Bill 150 (*Planning Statue Law Amendment Act, 2023*) and Bill 162 (*Get It Done Act, 2024*) later rescinded some of those modifications.

On June 6, 2024, Bill 185 (*Cutting Red Tape to Build More Homes Act, 2024*) (“Bill 185”) received Royal Assent which includes amendments to the Planning Act. In accordance with the amendments to the *Planning Act* implemented through Bill 185, York region became a Region without planning responsibilities effective July 1, 2024.

Pursuant to subsection 70.13(2) of the *Planning Act*, York Region Official Plan 2022 is deemed to constitute an official plan of the City in respect of any area in the City to which it applies and will remain in effect until the City revokes or amends it.

The Application is being circulated to York Region for the purpose of receiving comments on matters of Regional interest i.e., roads and servicing infrastructure. Further comments will be discussed in the future comprehensive report.

Conclusion

The preliminary issues identified in this report and any other issues identified through the processing of the Application will be considered in the technical review of the Applications. Comments from the public and Vaughan Council expressed at the Public Meeting or in writing will be addressed in a comprehensive report to a future Committee of the Whole meeting.

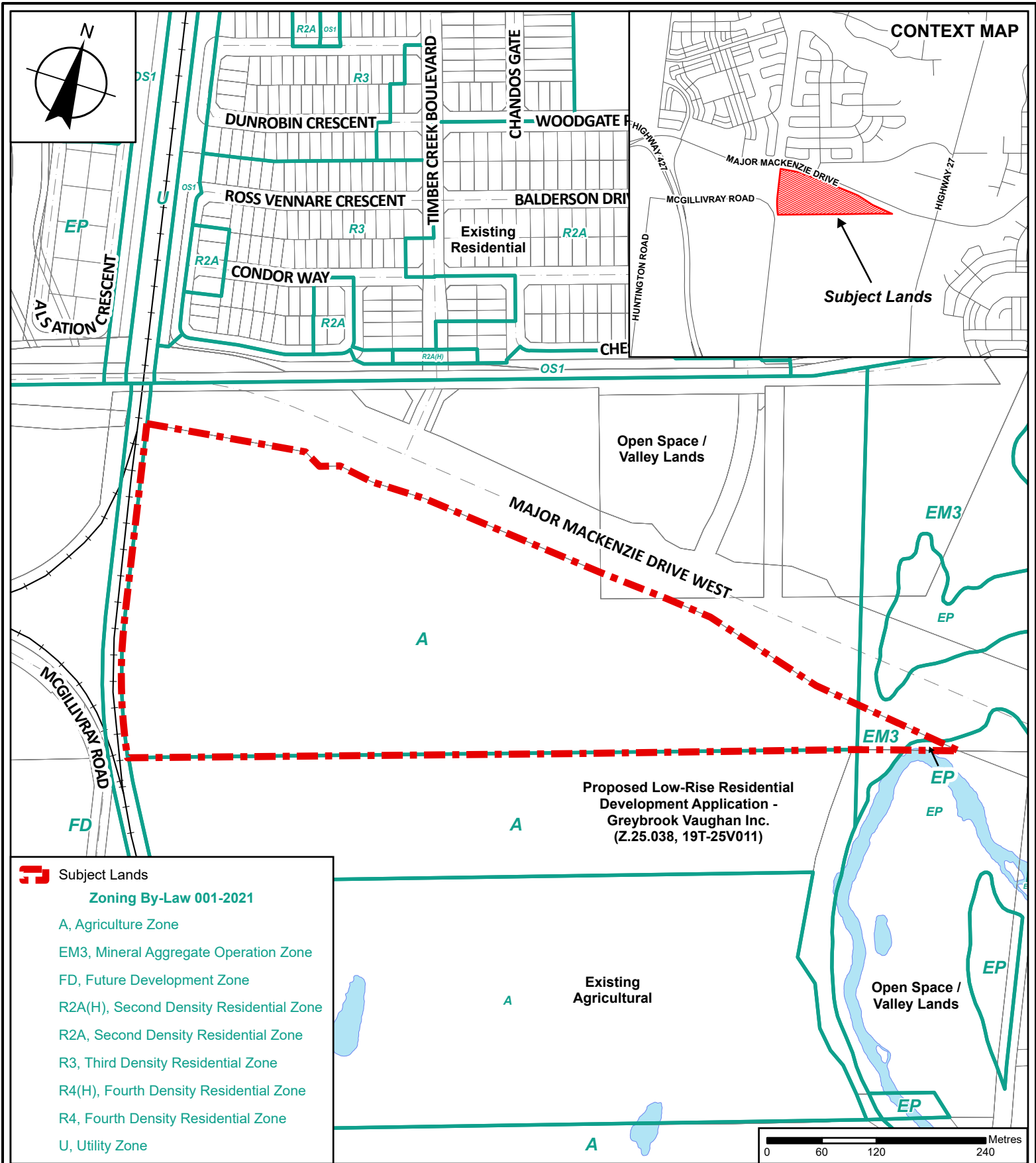
For more information, please contact Izabela Molendowski, Senior Planner, Development and Parks Planning Department, ext. 8355.

Attachments

1. Context and Location Map
2. Proposed Draft Plan of Subdivision File 19T-26V002
3. Proposed Zoning
4. Proposed Landscape Plan
5. Block Plan for Block 60 East
6. Proposed Zoning Exceptions to Zoning By-law 001-2021

Prepared by

Izabela Molendowski, Senior Planner, Development and Parks Planning ext. 8355
Mark Antoine, Senior Manager of Development Planning, ext. 8212
Nancy Tuckett, Director of Development and Parks Planning, ext. 8529



Context and Location Map

LOCATION:

Part of East 1/2 of Lot 20 and Lot 21,
Concession 9, Part of Part 1 on Reference
Plan 64R-4816, Block 60 East

APPLICANT:

U-PAK Disposals Ltd.



Development and
Parks Planning

Attachment

FILE:

Z.26.004

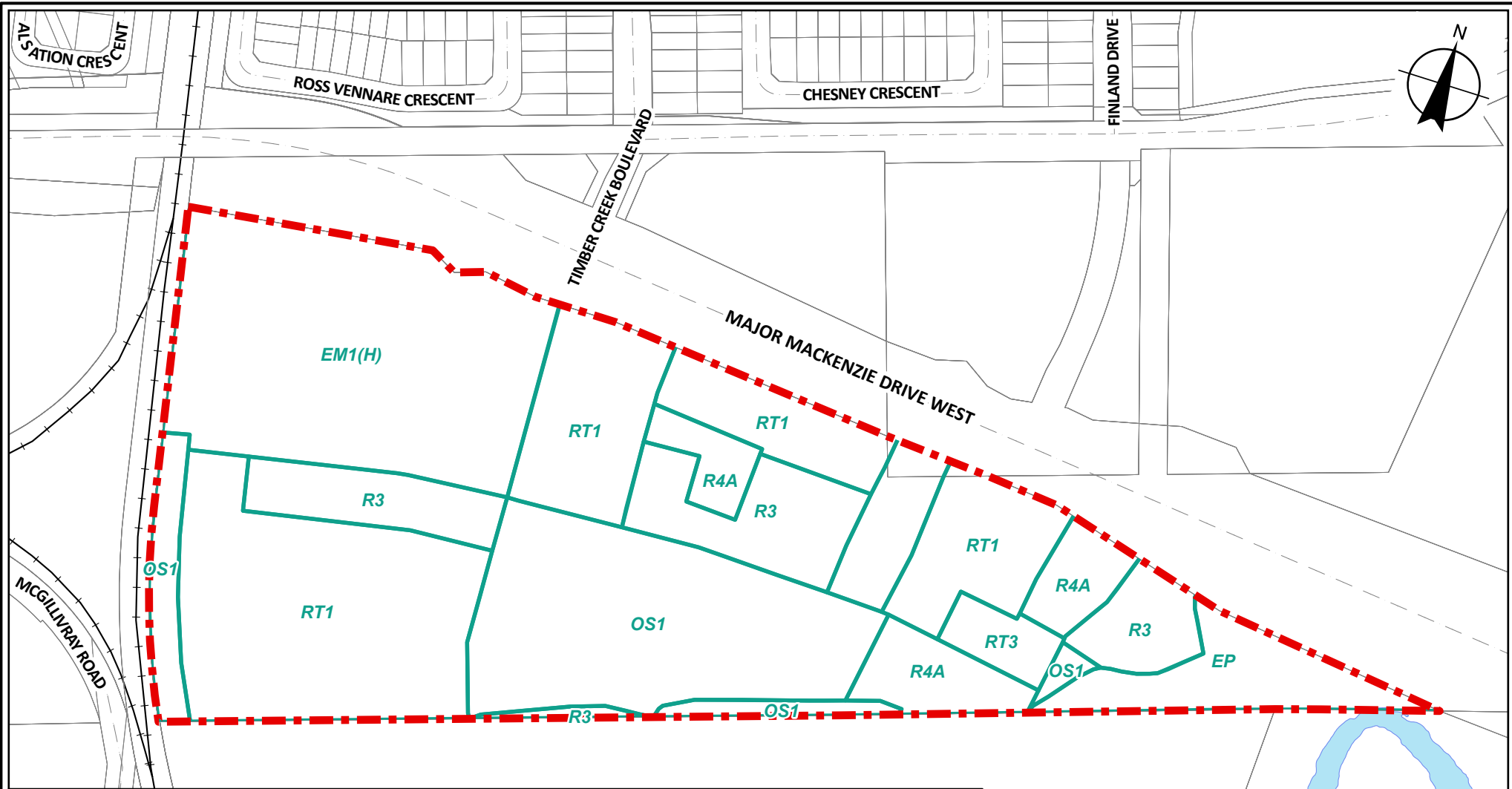
RELATED FILES:

19T-26V002 and BL.60E.2018

DATE:

May 5, 2026

1



 Subject Lands

Zoning By-Law 001-2021

EM1(H), Prestige Employment Zone

EP, Environmental Protection Zone

EP, Environmental Protection Zone

OS1, Open Space Zone

R3, Third Density Residential Zone

R4A, Fourth Density Residential Zone

RT1, Townhouse Residential Zone

Proposed Zoning

LOCATION:

Part of East 1/2 of Lot 20 and Lot 21,
Concession 9, Part of Part 1 on Reference
Plan 64R-4816, Block 60 East

APPLICANT:

U-PAK Disposals Ltd.



Development and
Parks Planning

Attachment

FILE:

Z.26.004

RELATED FILES:

19T-26V002 and BL.60E.2018

DATE:

May 5, 2026

3



LEGEND	
STREETSCAPE AND OPEN SPACE LINKAGE	COMMUNITY OPPORTUNITIES
NATURAL TRAIL	COMMUNITY ENTRY
STORMWATER MANAGEMENT POND	SIGNIFICANT INTERNAL INTERSECTION
ACCESS ROADS	POTENTIAL PEDESTRIAN CROSSING UNDER CP RAILWAY
PARK AND VISTA INTERNAL SIDEWALK SYSTEM	TRAILHEAD / SEATING AREA
SIDEWALK AND CYCLE TRACK	
MULTI-USE PATH	
RIGHT OF WAY SIDEWALK SYSTEM	
EXISTING MULTI-USE PATH (YORK REGION)	
FUTURE MULTI-USE PATH (YORK REGION)	
EXISTING MULTI-USE PATH	
FUTURE MULTI-USE PATH	
Subject Lands	
STREETSCAPE TREATMENTS	LAND USES
LAY BY PARKING	SINGLE DETACHED
ACOUSTIC FENCE	LANE TOWNHOUSE
PRIVACY FENCE	STREET TOWNHOUSE
CHAIN LINK FENCE	CONDOMINIUM (CONCEPTUAL LOTTING SUBJECT TO CHANGE)
	SCHOOL
	OTHER LANDS OWNED BY APPLICANT
	POTENTIAL PUMPING STATION
	AREA SUBJECT TO METROLINK STUDY HOLDING ZONE PROVISION
	VALLEYLAND / OPEN SPACE
	NATURAL HERITAGE FEATURE / BUFFERS
	PARK BLOCK
	VISTA BLOCK
	LANDSCAPE BLOCKS
	COMPENSATION BLOCKS
	AGRICULTURAL

Proposed Landscape Plan

LOCATION:
Part of East 1/2 of Lot 20 and Lot 21,
Concession 9, Part of Part 1 on Reference
Plan 64R-4816, Block 60 East

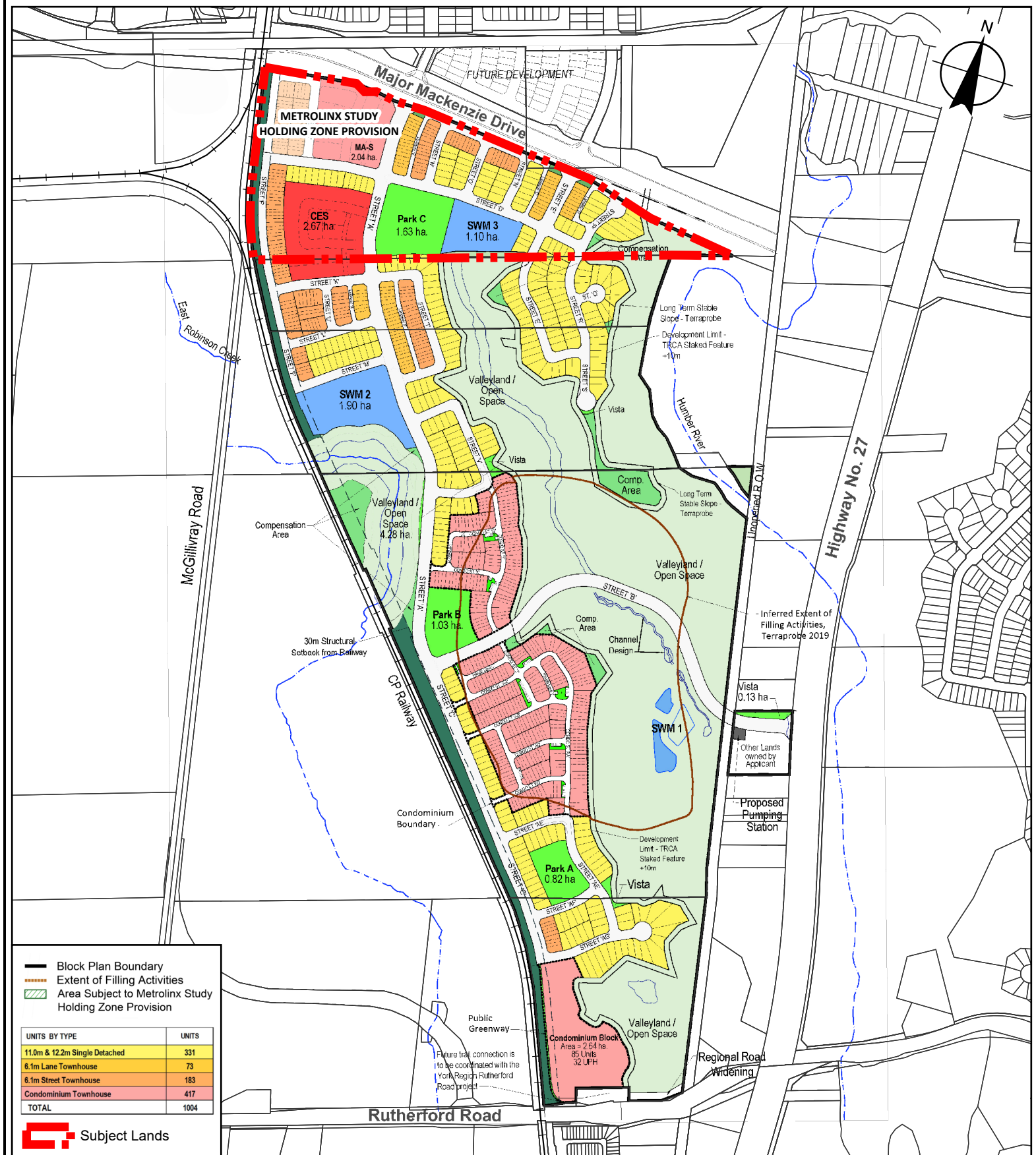
APPLICANT:
U-PAK Disposals Ltd.



Attachment

FILE:
Z.26.004
RELATED FILES:
19T-26V002 and BL.60E.2018
DATE:
May 5, 2026

4



- Block Plan Boundary
- Extent of Filling Activities
- Area Subject to Metrolinx Study Holding Zone Provision

UNITS BY TYPE	UNITS
11.0m & 12.2m Single Detached	331
6.1m Lane Townhouse	73
6.1m Street Townhouse	183
Condominium Townhouse	417
TOTAL	1004

Subject Lands

Block Plan for Block 60 East

LOCATION:
Part of East 1/2 of Lot 20 and Lot 21,
Concession 9, Part of Part 1 on Reference
Plan 64R-4816, Block 60 East

APPLICANT:
U-PAK Disposals Ltd.



Development and
Parks Planning

Attachment

FILE:
Z.26.004
RELATED FILES:
19T-26V002 and BL.60E.2018
DATE:
May 5, 2026

5

Attachment 6 – Proposed Zoning Exceptions to Zoning By-law 001-2021

Table 2

1.	Zoning By-law 001-2021 Standard	R3 – Third Density Residential Zone Requirement	Proposed Exceptions to the R3 – Third Density Residential Zone Requirement
a.	Minimum Front Yard	4.5 metres	3 metres
b.	Minimum Interior Side Yard	1.2 metres	1.2 metres but may be reduced to 0.6 metres on one side where the abutting interior side yard is 0.6 metres or greater
c.	Minimum Interior Side Yard Abutting a Non-Residential Use	3.5 metres	2.4 metres for an Interior Side Yard abutting a non-residential use including a walkway, buffer block or stormwater management pond
d.	Minimum Encroachment to Nearest Lot Line	The minimum interior side yard shall be 0.6 m where the abutting interior side yard is 1.2 m or greater. This provision shall not apply where an interior side yard abuts a non-residential use.	A minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line except eaves, eavestroughs, and gutters which shall be a minimum distance of 0.15 m to the nearest lot line.
e.	Permitted Encroachment for Access Stairs	1.8 metres from front yard	0.6 metres from front lot line
f.	Maximum Lot Coverage	50%	60%
g.	Maximum Building Height	9.5 metres	11 metres
h.	Minimum Landscape Requirement	50% of which 60% shall be soft landscaping	20% of which 40% shall be soft landscaping
2.	Zoning By-law 001-2021 Standard	R4A – Fourth Density Residential Zone Requirement	Proposed Exceptions to the R4A – Fourth Density Residential Zone Requirement
a.	Minimum Front Yard	9 metres	3 metres
b.	Minimum Interior Side Yard	1.2 metres	1.2 metres but may be reduced to 0.6 metres on one side where the abutting interior side yard is 0.6 metres or greater

c.	Minimum Encroachment to Nearest Lot Line	The minimum interior side yard shall be 0.6 m where the abutting interior side yard is 1.2 m or greater. This provision shall not apply where an interior side yard abuts a non-residential use.	A minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line except eaves, eavestroughs, and gutters which shall be a minimum distance of 0.15 m to the nearest lot line.
d.	Permitted Encroachment for Access Stairs	1.8 metres from front yard	0.6 metres from front lot line
e.	Maximum Lot Coverage	55%	65%
f.	Maximum Building Height	9.5 metres	11 metres
g.	Minimum Landscape Requirement	33% of which 60% shall be soft landscaping	20% of which 40% shall be soft landscaping
3.	Zoning By-law 001-2021 Standard	RT1 – Townhouse Residential Zone Requirement	Proposed Exceptions to the RT1 – Townhouse Residential Zone Requirement
a.	Road Access	Townhouses may be accessed by a lane, private road, or common element road.	For townhouses fronting onto a collector road, vehicular access must be provided from the rear lane.
b.	Minimum Front Yard	4.5 metres	<ul style="list-style-type: none"> i. 3 metres for Street Townhouses, Rear Lane Accessed Townhouses with integrated garage, and Rear Lane Accessed Townhouses with an Attached Rear Yard
c.	Minimum Rear Yard	<ul style="list-style-type: none"> • 7.5 metres on a standard lot; • 15.0 metres when accessed by a lane; • 7.5 metres when accessed from a private or common element road 	<ul style="list-style-type: none"> i. 6 metres for Street Townhouses and Rear Lane Accessed Townhouses with integrated garage ii. 1 metre for Rear Lane Accessed Townhouses with an Attached Rear Yard
d.	Minimum Exterior Side Yard	<ul style="list-style-type: none"> • 2.4 metres on a standard lot; • 4.5 metres when accessed by a lane; 	<ul style="list-style-type: none"> i. 2.4 metres for Rear Lane Accessed Townhouses with

		<ul style="list-style-type: none"> 4.5 metres when accessed from a private or common element road 	integrated garage and Rear Lane Accessed Townhouses with an Attached Rear Yard
e.	Minimum Setback to a Garage	5.7 metres	i. 1 metre for Rear Lane Accessed Townhouses with an Attached Rear Yard
f.	Maximum Driveway Width	2.9 to 3.75 metres depending on the lot frontage	i. 6.1 metres for Rear Lane Accessed Townhouses with integrated garage and Rear Lane Accessed Townhouses with an Attached Rear Yard
g.	Maximum Lot Coverage	50%	i. 70% for Street Townhouses ii. 80% for Rear Lane Access Townhouses with integrated garage and Rear Lane Accessed Townhouses with an Attached Rear Yard
h.	Maximum Building Height	11.0 metres	i. 13 metres for Street Townhouses, Rear Lane Accessed Townhouses with integrated garage, and Rear Lane Accessed Townhouses with integrated garage
i.	Permitted Encroachment for Access Stairs	1.8 metres from front yard	i. 0.6 metres from the front lot line for Street Townhouses, Rear Lane Accessed Townhouses with integrated garage, and Rear Lane Accessed Townhouses with an Attached Rear Yard
j.	Minimum Landscape Requirement	60%	i. No minimum landscape area provided in the

			yard in which a driveway is located for Street Townhouses, Rear Lane Accessed Townhouses with integrated garage, and Rear Lane Accessed Townhouses with an Attached Rear Yard
k.	Attached Rear Yard Garage Definition	Means a building or part of a building used for or intended for the temporary parking or storage of a motor vehicle as accessory to a dwelling unit.	Means a private garage which is accessed from the rear of a lot via a lane and is connected to the main dwelling with an Attachment. An Attached Rear Yard Garage may have part of the main dwelling unit or secondary suite above the main level.
l.	Attachment Definition	No definition for an 'Attachment' exists in By-law 001-2021. The closest definition is for 'Accessory": Means incidental, subordinate, and devoted exclusively to a principal use, building or structure.	Means a covered and enclosed one or two-storey living space beside an outdoor amenity area connecting a private garage accessed by a lane to the main dwelling. The width of an Attachment shall not exceed 50% of the lot frontage.