

**CITY OF VAUGHAN  
HERITAGE VAUGHAN COMMITTEE  
AGENDA**

Wednesday, October 16, 2019

7:00 p.m.

Committee Rooms 242/243

2nd Floor, Vaughan City Hall

2141 Major Mackenzie Drive

Vaughan, Ontario

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2. DISCLOSURE OF INTEREST	
3. COMMUNICATIONS	
4. DETERMINATION OF ITEMS REQUIRING SEPARATE DISCUSSION	
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## Heritage Vaughan Committee Report

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**DATE:** Wednesday, October 16, 2019

**WARD(S):** 1

**TITLE: NEW DEVELOPMENT – PROPOSED DEMOLITION OF TWO EXISTING SINGLE DETACHED DWELLINGS AND CONSTRUCTION OF 16 RESIDENTIAL UNITS COMPRISED OF 8 SEMI-DETACHED UNITS AND 8 TOWNHOUSE UNITS LOCATED AT 9785/9797 KEELE STREET, VICINITY OF KEELE STREET AND BARRHILL ROAD**

**FROM:**

Jason Schmidt-Shoukri, Deputy City Manager, Planning and Growth Management

**ACTION:** DECISION

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**Purpose**

To seek a recommendation from the Heritage Vaughan Committee regarding the proposed demolition of two existing single detached dwellings and new construction of 16 residential units comprised of 8 semi-detached units and 8 townhouse units located at 9785 and 9797 Keele Street, a property located in the Maple Heritage Conservation District and designated under Part V of the *Ontario Heritage Act*.

**Report Highlights**

- The Owner is proposing the demolition of two existing single detached dwellings and construction of 16 residential units comprised of 8 semi-detached units and 8 townhouse units at 9785/9797 Keele Street.
- The existing two dwellings are identified as deteriorated non-contributing properties in the Maple Heritage Conservation District Plan (“Maple HCD Plan”).
- The proposal is consistent with the relevant policies of the Maple HCD Plan.
- Heritage Vaughan review and Council approval is required under the *Ontario Heritage Act*.
- Staff is recommending approval of the proposal as it conforms with the policies of the Maple HCD Plan.

## **Recommendations**

1. THAT Heritage Vaughan Committee recommend Council approve the proposed demolition of two existing single detached dwellings and new construction of 16 residential units comprised of 8 semi-detached units and 8 townhouse units at 9785 and 9797 Keele Street under Section 42 of *Ontario Heritage Act*, subject to the following conditions:
  - a) Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning and Manager of Urban Design and Cultural Heritage;
  - b) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application;
  - c) That the Owner submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Vaughan Development Planning Department;
  - d) The standard Archaeology Clauses apply:
    - i. *Should archaeological resources be found on the property during construction activities, all work must cease and both the Ontario Ministry of Tourism, Culture and Sport and the City of Vaughan's Planning Department shall be notified immediately.*
    - ii. *In the event that human remains are encountered during construction activities, the Owner must immediately cease all construction activities. The Owner shall contact the York Regional Police Department, the Regional Coroner and the Registrar of the Cemeteries Regulation Unit of the Ministry of Consumer and Business Services.*

## **Background**

On June 12, 2014, the Owner engaged Architects Rasch Eckler and Associates Ltd. ('AREA') to prepare a Cultural Heritage Resource Impact Assessment ('CHIA') for three (currently severed) properties within the Village of Maple Heritage Conservation District ('HCD'). The property has since been sold and AREA continued as the heritage consultant for the new Owner. These properties are treated as a single land assembly comprising of three lots, with two of them having municipal addresses, 9785 and 9797 Keele Street, and the third identified as "Block 176", PCL 176-1 SEC 65M2407. As part of the Maple HCD, all properties are designated under Part V of the *Ontario Heritage*

Act ('OHA'). The land assembly is proposed to be redeveloped as low-rise residential townhomes and semi-detached houses.

The potential heritage impact in the HCD by the proposed development is outlined in the CHIA, which evaluates the heritage context of, and the development impacts on 9785-9797 Keele Street as properties within the Maple HCD that did not individually form part of the City's Heritage Inventory. The Maple HCD Study (Vol.2 pg.32), however, identifies the property at 9797 Keele Street as a potential Victory Home version (with a photograph). Prior to the HCD Study, neither property was individually listed in the City's Heritage Register or Inventory ('Inventory'), nor was designated under Part IV of the OHA. However, since the properties are located within the boundaries of the Village of Maple HCD, they are protected under Part V of the OHA.

The research findings of the submitted CHIA attribute little heritage significance to the properties at 9785 & 9797 Keele Street. They score low on their historical, environmental / contextual, and architectural values. The subdivided lots themselves were not associated with any historic figure, and have never functioned as landmark sites – although the property at 9797 Keele Street may have been the earliest example of a Victory House in Maple. The existing one-storey and 1-1/2 storey residential structures within the property land assembly are in poor condition and do not fully represent unique stylistic features and construction techniques.

In consideration of the low heritage value of 9785 and 9797 Keele Street, the redevelopment of this land assembly is not precluded. However, any redevelopment must be compatible with the Maple HCD character by designing new buildings with appropriate regard to the Maple HCD Design Guidelines.

### **Previous Reports/Authority**

NOT APPLICABLE.

### **Analysis and Options**

The City's CHIA Guidelines identifies three types of mitigation options:

1. "Avoidance Mitigation" permits developments to proceed with the retention of the subject buildings in-situ;
2. "Salvage Mitigation" explores the possibility of building relocation or architectural salvage;
3. "Historical Commemoration" recalls the historical development of the property and the subject buildings through a feature within a new development.

Among the three types of mitigation options, only "(iii)' Historical Commemoration" is suitable for the subject property. The deteriorating conditions of the buildings within the

properties will not permit their in-situ retention or their relocation within the combined land assembly. But most importantly, their low cultural significance does not warrant their retention or even partial salvage of these modest structures. However, Historical Commemoration, as opposed to physical retention, can be achieved with the following measures:

1. partial salvage
2. documentation through drawings or photographs
3. naming of streets and public spaces, or
4. installation of historical plaques

As such, the historical documentation contained in the CHIA report complies with measure #2: commemorative measures as set out in the guidelines.

**All new development must conform to the policies and guidelines within the Maple Heritage Conservation District Plan.**

The following is an analysis of the proposed development according the Maple HCD Plan.

**2.4.3 Objectives for Non-Heritage Buildings**

*To retain and enhance complementary characteristics of nonheritage buildings.  
To encourage improvements to non-complementary buildings so that they further enhance the heritage character of the District.*

The proposed development consists of buildings that are respectful to the scale, massing, frontage, and architectural styles present within the HCD. The street facing semi-detached houses maintain the diversity sought after by the HCD's residential area through flanking one architectural style (Ontario Second Empire) with another style (Victorian Gothic) that creates a harmonious progression of architectural language. The rest of the townhouses in the rear offer a sympathetic and proportioned inner elevation that is in keeping with the vision of smaller side streets.

**2.4.5 Objectives for New Development**

*To ensure compatible infill construction that will enhance the District's heritage character and complement the area's village-like, human scale of development, while promoting densities sufficient to secure the District's future economic viability. To guide the design of new development to be sympathetic and compatible with the*

*heritage resources and character of the District while providing for contemporary needs.*

The proposed architectural styles of the new construction respect the pedestrian-scale feeling of the streetscape, and provide a density that reflect current city living standards, without detracting or negatively impacting the density presented by the historic HCD residential core.

#### **4.3.3 Demolition of Non-Heritage Buildings**

*Generally, the demolition of a Non-Heritage building is not supported, if the building is supportive of the overall heritage character of the District.*

The HCD Study Vol.1 identified (in 2006) the structure at 9797 Keele Street as “a 1-1/2 storey Cape Cod house with a cantilevered rectangular bay window” likely built between 1948-1949. It is, admittedly, a bit more unusual as it has a side-hall plan and a box window – but still it was constructed in the simplified style known as “Victory House” (an accepted Heritage Style within the Maple HCD) with wood siding and a simple high-pitched roof clad in asphalt shingles. The building, in its present condition (15 years since the last evaluation), is in a state of advanced disrepair and offers no salvageable building materials or architectural/historical details of noteworthy significance.

The neighbouring property at 9785 Keele Street is a single-storey non-contributing building that resembles aspects of two different architectural styles (Ranch, and suburban Bungalow) and does not adhere to either style. Presently, it is also in a state of advanced disrepair, and offers no salvageable or noteworthy elements for preservation. This property was not included in the initial Inventory of the HCD.

#### **4.4 New Residential Buildings**

*New residential buildings will have respect for and be compatible with the heritage character of the District. Designs for new residential buildings will be based on the patterns and proportions of the 19th century and early 20th century building stock that are currently existing or once existed in the village. Architectural elements, features, and decorations should be in sympathy with those found on heritage buildings.*

The proposed new buildings represent an appropriate urban street mix of individual Victorian Gothic and Ontario Second Empire architectural examples that employ only the most minimal modernized details. The massing and form of the buildings conform to the architectural styles in materials and proportions, and they pay homage to the existing buildings in the neighbourhood and on the city block through choice of colour palette. Together, they are in keeping with the heritage building styles of the Village of Maple, and

sympathetic to the architectural style that would be prevalent to a main street residential setting.

#### **4.4.1 Design Approach**

- a) *The design of new buildings will be products of their own time, but should reflect one of the historic architectural styles traditionally found in the District.*
- b) *New residential buildings will complement the immediate physical context and streetscape by: being generally the same height, width, and orientation of adjacent buildings; being of similar setback; being of like materials and colours; and using similarly proportioned windows, doors, and roof shapes.*
- c) *New residential building construction will respect natural landforms, drainage, and existing mature vegetation.*
- d) *Larger new residential buildings will have varied massing, to reflect the varied scale of built environment of the historical village.*
- e) *Historically appropriate façade heights for residential buildings has been 1 -1/2 or 2 storeys. The façade height of new residential buildings should be consistent with the façade height of existing buildings. Differences in façade heights between buildings on adjacent properties within the district should be no more than 1 storey. In all instances the height of new buildings shall conform to the provisions of the City's Zoning By-law.*

*New residential building construction in the District will conform with the Guidelines found in Section 9.5.2.*

The proposed development is within a one-storey height difference from the neighbouring heritage structures on the same block, and complement the immediate context of the block, through the architectural style and the proposed height of the building. The streetscape and lateral setbacks are within acceptable limits for the neighbourhood.

#### **9.0 Guidelines for Buildings and Surroundings**

*The City has recognized this special character by creating the Village of Maple Heritage Conservation District. The purpose of these Design Guidelines is to help maintain the historic qualities that make up that sense of distinctness. They are intended to clarify and illustrate, in a useful way, the recognizable heritage characteristics found in the Village. They serve as reference guidelines and not prescribed policy for anyone contemplating alterations or new development within the Heritage Conservation District. The Guidelines examine the past in order to plan for the future. They recognize that change must and will come to Maple. The objective of*

*the Guidelines is not to prevent change, but to ensure that change is complementary to the heritage character that already exists, and enhances, rather than harms it.*

**Guidelines:**

- *The intent of the Guidelines is to preserve and enhance the existing heritage character of Village of Maple, which is widely appreciated by the citizens*
- *It is recommended that design professionals with experience in heritage design and restoration be retained for work on significant heritage buildings in the District.*

*The character of Maple consists of many elements*

*Significant natural features include the park, a small tributary of the West Don River, the open spaces of the cemeteries and church yards, and the mature urban forest. Significant cultural elements include the informal village plan, with its varied lot sizes and setbacks, rich planting, and almost 150 years of architectural history. The historic buildings serve to define the heritage character of the village. These Design Guidelines are based on the concepts of preserving the existing heritage buildings, maintaining their character when they are renovated or added to, and ensuring that new development respects the qualities of place established by the existing heritage environment. The Guidelines begin with a handbook of the architectural styles found in Maple. Over the years, many buildings have lost original detail such as trims, doors, and windows. The stylebook will be helpful to owners who want to restore original character, or who want to maintain what remains. It will assist in designing additions that respect the original style of the building. And it will provide a basis for authentic local historic references in the design of new buildings. The stylebook is also a tool for looking at the existing heritage buildings, which offer the best guidelines of all: they are full-scale and in three dimensions. The best test of new work in the Village is whether or not it shows “good manners” towards its heritage neighbours and its neighbourhood.*

As a new development within the fabric of the HCD residential district, this proposal adheres to and complies with the guidelines set out by the HCD study. The proposed buildings conform to the approved architectural styles identified in the Guidelines.

**9.1 Architectural Styles**

*Architectural style means the identifying characteristics of construction as it has evolved under the force of changing technology and fashion. Before the industrial age, often minor details were custom-made for each building and it would be hard to find even two identical front door designs from the early 19th century. Nonetheless, each period produced buildings that shared a design vocabulary, including elements of massing, composition, proportions, window and door details, and decorative elements.*

*This section shows the principal styles that have appeared in Maple, both heritage styles and more recent ones. This section is necessarily brief and does not replace the real research needed for authentic work, as described in Section 9.3.2 and 9.5.1. In the Guidelines that follow, reference is made to architectural styles for all types of buildings in the Village of Maple: existing heritage buildings, existing non-heritage buildings, and new development. The following pages show the characteristics of the local architectural styles.*

**Guideline:**

*Additions and alterations to an existing heritage building should be consistent with the style of the original building. New developments should be designed in a style that is consistent with the vernacular heritage of the community. All construction should be of a particular style, rather than a hybrid of many styles. Recent developments have tended to use hybrid designs, with inauthentic details and proportions; for larger homes, the French manor or château style (not indigenous to Ontario) has been heavily borrowed from. These kinds of designs are not appropriate for the Village of Maple.*

The HCD lists a number of architectural styles that are not appropriate; however, both proposed architectural styles of this development (Victorian Gothic and Second Empire) are in keeping with the approved heritage styles of the Village of Maple, and conform to the time period of the streetscape. They represent a clean architectural language that respects the vernacular detailing of each of the two styles without mixing in inauthentic details or improper proportions.

## **9.5 New Development**

### **9.5.1 Overview**

*The overall heritage character of the District is composed of buildings, streetscapes, landscapes, and vistas. This overall character has more significance than any individual building, even if it is one of the finest. Within the design of any individual building, architectural elements contribute to the character of the public realm of the street. Massing, materials, scale, proportions, rhythm, composition, texture, and siting all contribute to the perception of whether or not a building fits its context. Different settings within the district have different characters of siting, landscaping and streetscaping. New development within the District should conform to qualities established by neighbouring heritage buildings, and the overall character of the setting. Designs should reflect a suitable local heritage precedent style. Research should be conducted so that the style chosen is executed properly, with suitable proportions, decoration, and detail.*

**Guidelines:**

- *New buildings should reflect a suitable local heritage style. Use of a style should be consistent in materials, scale, detail, and ornament*
- *Use Section 9.1 for preliminary guidance on styles*
- *Use Section 9.2 gives further preliminary guidance on details of design and construction*

The scale, detail level, and modest ornamentation of the proposed designs are in keeping with the guidelines set out by the HCD Study. The materials and proportions are reflective of the comprehensive study undertaken by the architect(s) to respect and integrate the proposed buildings within the existing fabric of the Maple HCD.

#### **9.5.2.2. Architectural Style**

*New buildings in the residential areas should reflect the historic built form of their historic neighbours.*

##### **Guidelines:**

*Design houses to reflect one of the local heritage Architectural Styles. See Section 9.1.*

- *Hybrid designs that mix elements from different historical styles are not appropriate. Historical styles that are not indigenous to the area, such as Tudor or French Manor, are not appropriate.*
- *Use authentic detail, consistent with the Architectural Style. See Section 9.2.1.*

Devoid of lavish decorations, the Victorian Gothic semi-detached buildings a minimalist roof-line gable trim (known as “carpenter Gothic” for its simplicity) and an inverted mini-baluster trim under the ground floor overhang porch roof. In contrast to this, the adjacent Second Empire style presents a purposely-designed elegance through the simplicity of architectural details: high arched windows with keystones on the upper floors (to denote an implied forced height, often associated with social status or wealth), a formal entry with vaulted canopy, strong ground floor lintels, and a mansard roof “tower”.

#### **9.5.2.3 Scale and Massing**

*New residential construction in the residential villages should respect local heritage precedents in scale and massing. In almost every case, new construction will be replacing houses on existing built lots.*

##### **Guidelines:**

- *New buildings should be designed to preserve the scale and pattern of the historic District*
- *New houses should be no higher than the highest building on the same block, and no lower than the lowest building on the same block*

- *As far as possible, modern requirements for larger houses should be accommodated without great increases in building frontage. For example, an existing 1½-storey house could be replaced by a 2-storey house with a plan that included an extension to the rear. This might double the floor area without affecting the scale of the streetscape*

Although the proposed design exceeds [in actual height] that of the immediate neighbours and the general height of the buildings on the city block, the measured height of the buildings (±8.6m to midpoint of roof) complies with the current zoning and by-law limitations (9.5m to the midpoint of the roof). Additionally, the proposed design height conforms to the previously-approved design parameters of the property on the opposite side of the street within the adjacent city blocks – and is reflective of the current [modern] suburban development noted in Section 7 of the HCD Study as a recommendation.

### **9.8.2 Non-Heritage Buildings: Appropriate Materials**

*Exterior Finish: Use materials compatible with the original design*

*Roofs: Slopes and layouts compatible with the original design*

*Doors: Use materials and designs compatible with the original design*

*Windows: Use windows compatible with the original design*

The proposed development replaces two buildings deemed to be of low-to-none Heritage value, and which are not listed in the City's Inventory. Furthermore, the proposed design adheres and conform to the materials, proportions, details, colours, and architectural language of the two distinct styles (Victorian Gothic, and Second Empire) that they represent.

## **Financial Impact**

There are no requirements for new funding associated with this report.

## **Broader Regional Impacts/Considerations**

There are no broader Regional impacts or considerations.

## **Conclusion**

The Urban Design and Cultural Heritage Division of the Development Planning Department is satisfied the proposed demolition, and the new construction conforms to the policies and guidelines within the Maple Heritage Conservation District Plan. Accordingly, staff can support Council approval of the proposed demolition of two existing single detached dwellings and establishment of 16 residential units comprised of 8 semi-detached units and 8 townhouse units located at 9785 and 9797 Keele Street under the Ontario Heritage Act.

**For more information**, please contact: Nick Borcescu, Senior Heritage Planner, ext. 8191

### **Attachments**

1. Cultural Heritage Impact Assessment
2. Context Plan
3. Site Plan
4. Keele Street: Victorian Gothic unit
5. Keele Street: Second Empire unit
6. Rear Unit (typical)
7. Floor plans
8. Inner streetscape conceptual rendering
9. Keele Street conceptual rendering
10. Proposed landscape plan
11. Proposed exterior colour palette

### **Prepared by**

Nick Borcescu, Senior Heritage Planner, ext. 8191

### **Reviewed by**

Rob Bayley, Manager of Urban Design/Cultural Services, Development Planning  
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9785-9797 Keele St., Vaughan, ON  
Cultural Heritage Resource Impact Assessment  
27 MAY 2015

REVISIONS / Date

1 / 09 JUNE 2015  
2 / 10 JULY 2015  
3 / 08 AUGUST 2015  
4 / 30 AUGUST 2017  
5 / 22 APRIL 2019

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## 1 BACKGROUND TO THE REPORT

### 1.1 Reason for A Cultural Heritage Resource Impact Assessment

On June 12, 2014, the client-developer, engaged *AREA, Architects Rasch Eckler and Associates Ltd.* ('AREA') for the preparation of this Cultural Heritage Resource Impact Assessment ('CHRIA') for three (currently severed) properties within the Village of Maple Heritage Conservation District ('HCD'). The property has since been sold and AREA continued as the heritage consultant for the new owner. These properties are treated as a single land assembly comprising of three lots, with two of them having street addresses, 9785 and 9797 Keele Street, and the third identified as "Block 176", PCL 176-1 SEC 65M2407. As part of the Maple HCD, all properties are designated under Part V of the Ontario Heritage Act R.S.O 1990, c. O.18 ('OHA'). The land assembly is proposed to be redeveloped as low-rise residential townhomes and semi-detached houses.

The heritage impact in the HCD by the development of the subject land assembly is discussed in this April 2019 CHRIA document, entitled, "9785-9797 Keele Street, Vaughan, ON: Cultural Heritage Impact Assessment Report" ('CHRIA'). AREA refined the original May 2015 CHRIA with several revisions as noted on the cover page. This April 2019 CHRIA evaluates the heritage context of, and the development impacts on 9785-9797 Keele Street, which are identified by the 2006-2007 Village of Maple HCD Study and Plan as "non-heritage properties", or properties within the Maple HCD that did not individually form part of the City's Heritage Inventory. Prior to the HCD Study, neither house property was individually *listed* in the City's Heritage Register or Inventory ('Inventory'), nor was *designated* under Part IV of the Ontario Heritage Act R.S.O 1990, Chapter 0.18 ('OHA'). However, being located within the boundaries of the Village of Maple Heritage Conservation District ('Maple HCD'), they are protected under Part V of the OHA.

Our heritage consultant services were retained for developments at two land assemblies on Keele Street – nos. 9560-9570 and 9785-9797 – owned by the same developer client. At the commencement of the heritage consultant services, David Eckler (AREA), conferred with the cultural Heritage Coordinator, Daniel Rende, at the time.

In consultation with City of Vaughan Heritage Planning Staff on May 12, 2014, in a conference call and e-mail correspondence (Appendix E), staff indicated that, of the four addresses of the two developments, only the property at 9560 Keele Street required heritage evaluation. However, in a subsequent March 9, 2016 Memorandum from Cultural Heritage Section with comments on the earlier submission of this CHRIA, staff required a heritage evaluation of 9570 Keele Street as well.

The research findings of this CHRIA attribute little heritage significance to the properties at 9785 & 9797 Keele Street. They score low on their historical, environmental / contextual, and architectural values. There is not enough justification to recommend their re-assignment from a "non-heritage" to a "heritage" category within the Maple HCD. The 9560 & 9570 Keele Street properties are respectively a .27-acre (.109 ha) lot, and a .3- acre (.122 ha) lot that resulted from the subdivision of a historic 200-acre farm lot in the period between 1926 and 1948. The subdivided lots themselves cannot be associated with any historic figure, and have never functioned as landmark sites. The existing one and one & a half storey residential structures

within the property land assembly are in poor condition and do not fully represent unique stylistic features and construction techniques.

The low heritage values of the property at 9785 Keele Street, as well as the adjacent property at 9797 Keele Street, therefore do not preclude the redevelopment of this land assembly. However, such redevelopment should be compatible with the Maple HCD character by designing the proposal with appropriate regard to the District Design Guidelines.

This CHRIA report consults the applicable provincial and municipal documents, comprising widely-accepted standards, guidelines, and policies on heritage planning (see 1.2). It will form part of the development submissions by the owner and its other consultants related to their application for minor Official Plan Amendment (OPA), Zoning By-law Amendment (ZBA), Draft Plan of Subdivision (DPS), future Site Plan Application (SPA), and future Draft Plan of Condominium. This report will be subject to the review of Heritage Vaughan Committee ('HVC'), and ultimately, Council. This CHRIA report conforms to the requirements of the City of Vaughan's "Guidelines for Cultural Heritage Resource Impact Assessment Reports" ('GfCHRIA', Appendix A), with David Eckler, B.E.S., B.Arch., OAA, MRAIC of AREA (see Appendix H ), being the primary author.

## 1.2 Reference Documents

The following provincial and municipal documents, comprising widely-accepted standards, guidelines, and policies on heritage planning, are consulted in this report:

- Ontario Heritage Act R.S.O 1990, Chapter O.18, with revisions up to 2009 ('OHA');
- Provincial Policy Statement, 2014 ('PPS') of the Planning Act, with revision up to 2014;
- Ontario Heritage Toolkit ('OHTK'), Ontario Ministry of Culture, 2006;
- City of Vaughan, Official Plan, 2010 ('OP');
- City of Vaughan, Guidelines for CHRIA, September 2012, ('GfCHRIA', Appendix A);
- City of Vaughan, Built Heritage Evaluation Form, 2005 (Appendix B);
- City of Vaughan, Heritage Inventory, n.d., (relevant pages, Appendix C);
- Village of Maple, City of Vaughan, Heritage Inventory, November 2005 (relevant pages, Appendix D);
- Village of Maple, Heritage Conservation District Study, February 2006 ('Study'); and,
- Village of Maple, Heritage Conservation District Plan, May 2007 ('Plan').

## 1.3 Photos & Site Investigation

On March 24, 2015, AREA Staff conducted site investigation, documentation, and review of the land assembly. The site photographs, contained and cited in this report, were taken by AREA, unless indicated otherwise. Archival and historical research was also undertaken based on pre-existing background information, including relevant Environmental Assessments, Geotechnical Studies, Cultural Heritage Reports, Land Registry Records, historical maps, aerial photographs, census records, and other published materials that relate to the subject property. The Phase One Environmental Site Assessment ('ESA') 9785 & 9797 Keele St., Vaughan, ON, by Try Environmental Services Inc., also provided the basis of ownership information.

## 2 PROPERTY CONTEXT AND HERITAGE STATUS

### 2.1 Property Description

The subject land assembly is comprised of three lot parcels, with two of them having street addresses, 9785 and 9797 Keele Street, and the third identified only as “Block 176”, PCL 176-1 SEC 65M2407 (Figures 1 and 2). The two southerly properties are currently occupied by two, one storey single detached residential dwellings. The lands are legally described as Part of Lot 19 Concession 3, 65R-34966, Part of Lot 19 Concession 3 Part 1 65R-35001 and PCL 176-1 SEC 65M-2407. The boundaries of this land assembly comprise the adjacent properties as follows: 9773 Keele Street the south; the properties at 30, 34, 38, and 42 St. Mark Drive on the east; 5 Barrhill Road on the north, and Keele Street on the west (Figure 2).



Figure 1 – Aerial Photo and Context of 9785-9797 Keele Street, annotated by AREA to show the boundaries of the subject properties, Base map obtained from: Google Maps, 2015. Google. accessed 19 March 2015. <maps.google.com>

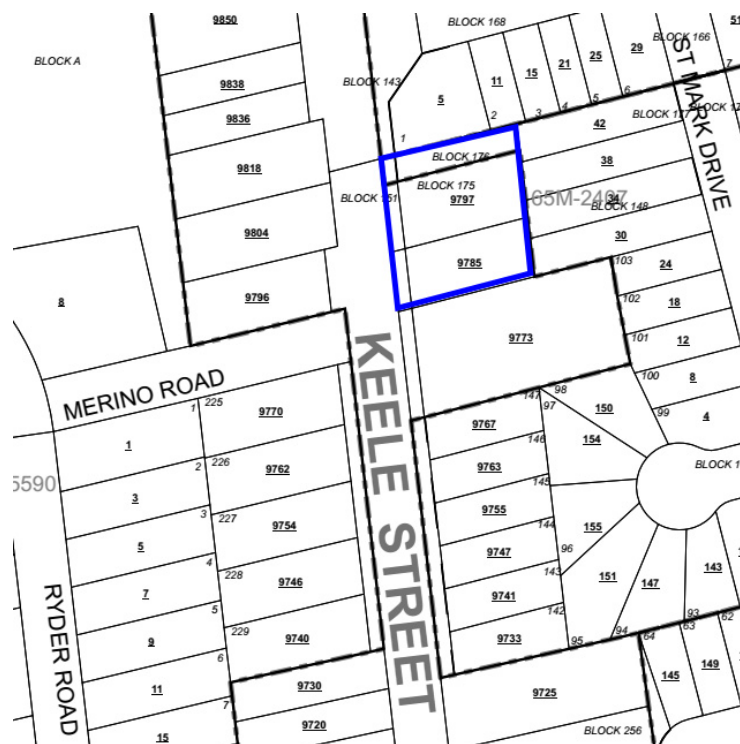


Figure 2 – Property Data Map and Context of 9785-9797 Keele Street, annotated by AREA to show the lot boundaries of the subject properties; Base map obtained from: Planning GIS Mapping, Concession Block 18. City of Vaughan, nd. PDF. accessed 19 March 2015.  
<[www.vaughan.ca](http://www.vaughan.ca)>

The land assembly has site statistics described below in Table 1 and, in total, has a 58.1-metre frontage and a lot depth of 48.1 metres (Table 1). Its combined lot area is 0.279 hectares, with a developable area of 0.243 ha (Table 1). The two lots comprising the land assembly have single-detached residential houses at 1-1/2 storeys height.

Table 1 – Site Statistics of Land Assembly

	9785 Keele Street	9797 Keele Street	PCL 176-1	Land Assembly
Frontage	22.70 m	25.40 m	10.00 m	58.1 m
Lot Depth	48.1 m	48.1 m	48.1 m	48.1 m
Area (including road widening allowance)	0.109 ha	0.122 ha	0.048 ha	0.279 ha (0.243 ha excluding road widening allowance)

## 2.2 Heritage Status of Subject Properties

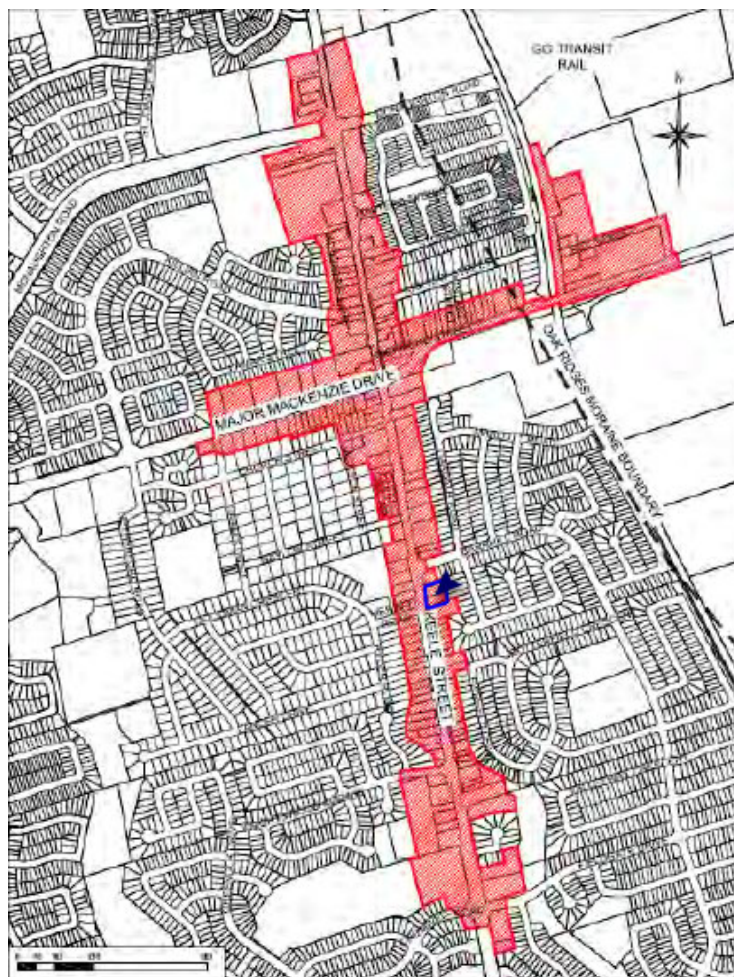


Figure 3 – Village of Maple Heritage Conservation District Map, 2007, annotated by AREA to show the approximate location of the subject properties within the Maple HCD.

Base map obtained from:  
 Village of Maple Heritage Conservation District Plan, 2007, Volume 3. City of Vaughan, 2006-2007. PDF.  
 19 March 2015.  
[www.vaughan.ca](http://www.vaughan.ca)

Prior to the Maple HCD Study, the subject properties at 9785 and 9797 Keele Street were not individually listed in the City of Vaughan's Municipal Register of Cultural Heritage Resources ('Inventory'). However, both properties are located within the boundaries of the Village of Maple Heritage Conservation District ('Maple HCD', Figure 3), as approved by Council on December 6, 2006, through By-Law 366-2004. Both properties are therefore subject to the 2007 Village of Maple HCD Plan and Guidelines ('Maple HCD Plan', Volumes 1-3), under Part V of the OHA.

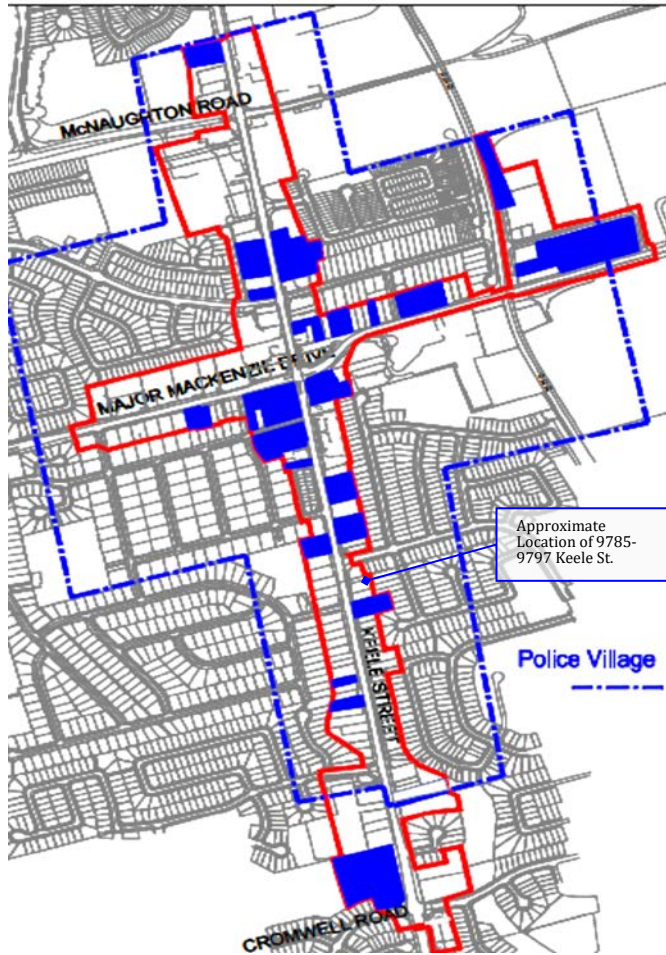


Figure 4 – Maple Heritage Conservation District Study Boundaries (Red, Solid Line), Police Village Boundaries (Blue, Dash Line), and Cultural Heritage Resources with Architectural and Historical Values (Blue, Shaded), 2007,

annotated by AREA to show location of properties, 9785-9797 Keele St.

Base map obtained from: Village of Maple Heritage Conservation District Plan, 2007, Volume 3. City of Vaughan, 2006-2007. PDF. 19 March 2015. <www.vaughan.ca>

The Maple HCD Plan includes 51 properties that were previously listed in the City’s Inventory, and 4 that were subsequently added due to their architectural and historical significance. These 55 properties comprise the “Heritage Buildings” within the Maple HCD. Under Section 2.4.2, “Objectives for Heritage Buildings” of the Maple HCD Vol. 3, the HCD’s Heritage Buildings are specifically identified on the map above (shaded in blue, Figure 4). The majority of other properties (not shaded, Figure 4) – including the subject lots, 9785 and 9797 Keele Street (identified by arrow, Figure 4) – were not “pre-listed” prior to the HCD, and were therefore categorized as “Non-Heritage Buildings.”

As properties that were neither identified nor pre-listed in the Municipal Heritage Inventory, the subject properties at 9785-9797 Keele Street, are among the majority of buildings within the Maple HCD. Such buildings are identified in the Maple HCD as “Non Heritage Properties”. Non-heritage properties do not possess sufficient historical, contextual, and architectural values to warrant individual listing or designation.

Of the two subject properties, only 9797 Keele Street was provided with a brief ‘property inventory’ as part of the HCD Plan (see Appendix D) based on exterior visual evaluation. This property inventory provided only a general overview, with photos and brief text under categories, ‘description’, ‘history’ (without sources), and ‘comments.’ No evaluation scoring system or

criteria grade was applied to either 9785 or 9797 Keele Street during this 'windshield' survey, conducted in 2005.

## 2.3 Criteria for Heritage Value

In consultation with City of Vaughan Heritage Planning Staff on May 12, 2014, in a conference call and e-mail correspondence (Appendix E) staff indicated that, out of the four addresses on the two developments, only the property at 9560 Keele Street required heritage evaluation. However, in a subsequent June 1, 2018 Memorandum from Cultural Heritage Section with comments on the earlier submission of this CHRIA, staff required heritage evaluations of 9785 & 9797 Keele Street as well.

This CHRA provides a brief heritage evaluation for the subject properties at 9785-9797 Keele Street. Typically, each property listed in a Municipal Heritage Inventory would be evaluated by City Heritage Staff according to the provincial criteria established in Ontario Regulation 9/06 under the OHA. A property must then possess at least one of the criteria to be considered as a "heritage property", versus a "non-heritage building". These two categories are among four categories of properties identified in the Maple HCD Plan (see 5.3 below). The provincial criteria categories for a "heritage property" are listed in the chart below:

Table 2 OHA Provincial Heritage Criteria

OHA O.Reg. 9/06 Criteria	Description of OHA Heritage Criteria
1. Historical or Associative Value	<ul style="list-style-type: none"> <li>i. direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community</li> <li>ii. yields information that contributes to an understanding of a community or culture</li> <li>iii. demonstrates the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community</li> </ul>
2. Contextual Value	<ul style="list-style-type: none"> <li>i. defining, maintaining or supporting the character of an area</li> <li>ii. physically, functionally, visually or historically linked to its surroundings</li> <li>iii. a landmark</li> </ul>
3. Design or Physical Value	<ul style="list-style-type: none"> <li>i. rare, unique, representative or early example of a style, type, expression, material or construction method</li> <li>ii. high degree of craftsmanship or artistic merit</li> <li>iii. high degree of technical or scientific achievement</li> </ul>

On June 21, 2005, the City's Commissioner of Community Services and the Commissioner of Planning, in consultation with the Director of Recreation and Culture and the Director of Policy and Urban Planning, sought City of Vaughan Council approval for the then proposed "Strategy for the Maintenance and Preservation of Significant Heritage Buildings" (Heritage Strategy Report or 'HSR').

This report explained that the 'Built Heritage Evaluation Form' ('BHEF', Appendix B) as found in Attachment 2 of the HSR was used as criteria to evaluate heritage buildings (Table 3 below). The BHEF was approved by Heritage Vaughan Committee at its meeting of May 18, 2005. Those

buildings rated 'very significant' or 'significant' were included in the final 'Listing of Building of Architectural and Historical Significance.'"

Upon the approval of the HSR on June 27, 2005, the BHEF then formed the standard evaluation criteria for the City's heritage buildings by assigning numerical points to a total of 8 sub-criteria, which, in essence, retained the 3 provincial criteria but expanded the category, 'Design or Physical Value' into 6 subcategories: 'Style', 'Construction', 'Age', 'Interior', 'Alterations', and 'Condition'.

Table 3 – City of Vaughan Criteria for Determining Cultural Heritage Value

1. HISTORICAL SIGNIFICANCE	
1.1. Historical Significance	Structure is associated with the life or activities of a person, group, organization or event significant to the history of Vaughan, or illustrative of the community's cultural social political, economic or industrial history.
2. ENVIRONMENT	
2.1. Environment/ Streetscape/ Community	Structure contributes to the continuity or character of the street, community, or area. Heritage buildings in a rural areas (i.e. former farm buildings), not yet developed or part of a Block Plan development, that have a good architectural rating should be rated for its community and/or contextual significance based on the criteria defined.
3. ARCHITECTURE	
3.1. Style	Good, notable, rare, unique, or early example of a particular architectural style or type. Exterior architectural style only should be evaluated. (i.e. change in roofline, skylights, additions, or removal of features, etc. that have changed the style of the building.)
3.2. Construction	Good, notable, rare, unique, or early example of a particular material or method of construction. (i.e.) log construction, pre-1850, stone, board on board construction, etc.)
3.3. Age	Comparatively old in the context of the City of Vaughan's architectural history.
3.4. Interior	Integrity of interior arrangement, finish, craftsmanship, and/or detail are particularly attractive or unique and/or still exist.
3.5. Alterations	Building has undergone minor exterior alterations, and retains most of its original materials and design features. Checklist includes: <ul style="list-style-type: none"> <li>▪ Original Exterior Siding 30%</li> <li>▪ Windows/doors 30%</li> <li>▪ Verandahs/trim 30%</li> <li>▪ Foundation/location 10%</li> <li>▪ Structural Plan (no modern or sympathetic additions) 10%</li> </ul>
3.6. Condition	Exterior/interior of building is in good structural condition (i.e. evidence of decay in exterior siding, roof, or interior basement, wall surface, flooring, or ceiling, suggesting structure to be unsound.) Checklist: <ul style="list-style-type: none"> <li>▪ Exterior Siding/Gutters (cracks, spalling)</li> <li>▪ Roof/Interior Ceiling/Gutters</li> <li>▪ Flooring, unstable, depressions</li> <li>▪ Interior Wall surface, cracks, etc</li> <li>▪ Basement (leaks mold, dry or wet rot on beams)</li> </ul>

Since no comprehensive heritage evaluation was conducted for the subject properties, this report will use the provincial criteria as incorporated into the BHEF, as applicable, to determine their cultural heritage significance to the community. For the purposes of this CHRIA, the BHEF will be used to evaluate 9560 & 9570 Keele Street to determine their cultural heritage significance to the community. Section 3 follows the BHEF in outline format to incorporate and to discuss research information that is relevant to each criteria.

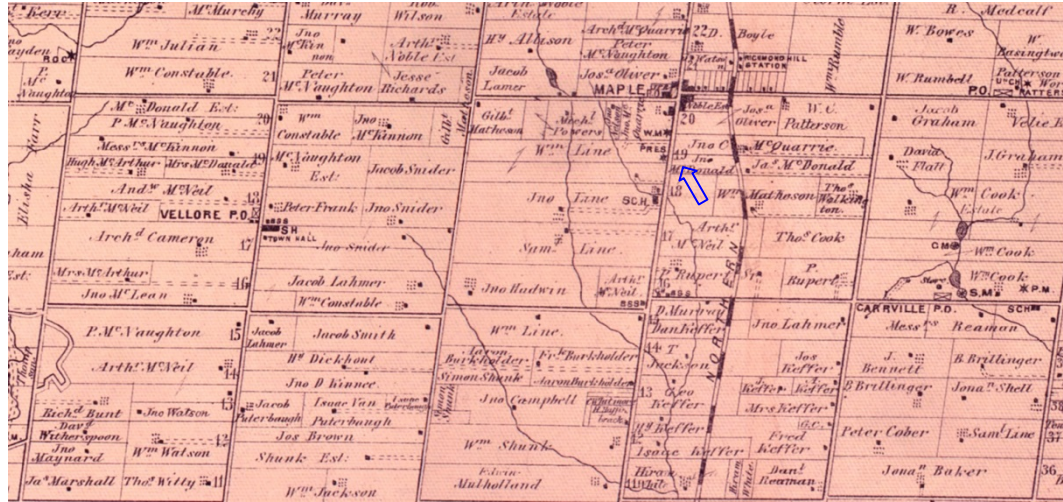
### 3 HERITAGE EVALUATION OF PROPERTIES

#### 3.1 Historical or Associative Value

##### 3.1.1 Early History of the Original Farm Lot

Figure 5 – Village of Maple Survey Map, 1878, annotated by AREA to show the approximate location of the subject properties within the historic Village of Maple.

Base map obtained from Village of Maple Heritage Conservation District Plan, 2007, Volume 3. City of Vaughan, 2006-2007. PDF. 19 March 2015. <www.vaughan.ca>



The two house buildings, with present addresses 9785 and 9797 Keele Street, form part of the original McDonald family farm lot on the south portion of Lot 19 Concession 3 (annotated as “L19-C3”, see Figure 5). The north part of L19-C3 is identified under the ownership of a “Jno. C” and a “McQuarrie” (see Figure 5), and would be the approximate location of the (later) St. Andrew’s Presbyterian Church cemetery, which is beyond and on the north side of the subject properties.

The McDonald properties, were owned by a “Jn. McDonald” for the westerly portion, and “Jas. McDonald” for the easterly portion (Figure 5). The easterly and westerly portions form the block-wide concession lot – which would have been bounded by present-day Keele Street to the west and Dufferin Street to the east, with the Northern Railway Line dividing it in between (Figure 5). Records of the McDonald family were obtained from C.B. Robinson’s “History of Toronto and County of York”<sup>1</sup>, published in 1885. The book – which was distributed seven years after the issuance of the 1878 County Map – profiled a “James McDonald” of Lot 19 Concession 3 (“L19-C3”), and a “Donald McDonald” of Lot 24 Concession 6 (“L24-C6”).

Donald McDonald of L24-C6 also resided on L19-C3 at a younger age. His relationship with John or James McDonald – annotated owners of L19-C3 in the 1878 County Map – is not certain but can be surmised. Donald McDonald was the only son of John Jr., and the only grandson of Sgt. John McDonald of the British Army who served during the Revolutionary War. Donald married Flora, whose maiden surname was also “McDonald.” They had four children, being James Walter, William Oliver, John, Archana, and Norman. There is a possibility that the “James” and “John” from the County Map refer to Donald McDonald’s sons. Donald, being born in 1835, would have been 43 years old when the 1878 County Map was drafted, while his sons would have been at least in their early 20s.

However, the C.B. Robinson book recorded the profile of another James McDonald, who resided on L19-C3, and was born in the year 1836 (“James-b.1836”). “James-b.1836” of L19-C3 is approximately the same age as (and could not be the son of) Donald McDonald. “James-b.1836”

<sup>1</sup> Excerpt from the History of Toronto and the County of York provided by Gillian Shaw, Archival Records Analyst of the City of Vaughan Archives

was the son of an Archibald McDonald – who shares the same name as the father of Flora McDonald (wife of Donald)2.

It is therefore presumed that this “Jn. McDonald”, owner of the easterly portion of L19-C3 is “James-b.1836”, brother of Flora McDonald, wife of Donald McDonald. On the other hand, John McDonald, or “Jn. McDonald”, owner of the westerly portion of L19-C3 could perhaps be the father of Donald, who as earlier mentioned, also resided on L19-C3. The relationship of Donald with “Jn. McDonald” is cued by the C.B Robinson book, which mentioned that the father (John) and grandfather (Sgt. John) of Donald resided and died on L19-C3.

The division of the original McDonald's concession lots could not be traced, until the 1921 Census Data recorded L19-C3 belonging to a “George Keffer” (see Figure 6, 1921 Census Data). The next available 1952 Base Map (Figure 7) confirms that the previous McDonald property has already been subdivided, and was then built up with several new structures (marked as shaded boxes, Figure 7). By correlating landmarks and access roads with present-day maps, one of these built structures is identified by this CHRIA as the adjacent George Keffer House (“Keffer House”, currently with address, 9773 Keele St). As will be discussed (see 3.2.2), this Keffer House is individually “listed” in the City of Vaughan's Heritage Inventory as a single property in addition to being part of the Maple HCD because it incorporates unique heritage attributes. A later Base Map, dating to 1968 (Figure 8), illustrates the Keffer House property (annotated as “22-0655”) being subdivided for subject properties, 9785 and 9797 Keele Street (annotated as “22-0560” and “22-0565” respectively, also see Figures 7-8).

Page 2

Enumerated by: *Charles*

Enumerator:

Page 2

NAME AND RESIDENCE		THIRD AND LAST OF NAME		PERSONAL DESCRIPTION		EDUCATION		OCCUPATION		BIRTH, BAPTISM AND DEATH		RELIGION		MARRIAGE, DIVORCE, AND REMARRIAGE	
NAME	RESIDENCE	NAME	RESIDENCE	AGE	SEX	EDUCATION	EDUCATION	OCCUPATION	OCCUPATION	BIRTH	BAPTISM	DEATH	RELIGION	MARRIAGE	DIVORCE
12-14	McDonald, John	McDonald, John	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
13-15	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
14-16	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
15-17	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
16-18	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
17-19	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
18-20	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
19-21	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
20-22	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
21-23	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
22-24	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
23-25	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
24-26	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
25-27	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
26-28	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
27-29	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
28-30	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
29-31	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
30-32	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
31-33	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
32-34	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		
33-35	Thompson, Charles	Thompson, Charles	1836	35	M	Canada	Canada	Farmer	Farmer	1836	1836	1836	Methodist		

Figure 6 – 1921 Census Data, obtained from Ancestry.ca, with Family No. 18, showing George Keffer as “Head” of family, and occupying Lot 19 Concession 3 of the Vaughan Township.

<sup>2</sup> The family tree of the Donald-Flora McDonald union was obtained from and verified by different sources, including Ancestry.ca, Ryeland Family Genealogy, and the 1901 Census of Canada.

## HERITAGE EVALUATION OF PROPERTIES

9785 and 9797 Keele St., Vaughan, Ontario  
Location : Village of Maple Heritage Conservation District

Cultural Heritage Resource Impact Assessment  
Date: 22 April, 2019

Figure 7 – Lot 16 to 20, Concession 3, Village of Maple Base Map, 1952<sup>3</sup>, annotated by AREA to show the approximate location of surrounding landmarks, and the subject properties within the Maple HCD.

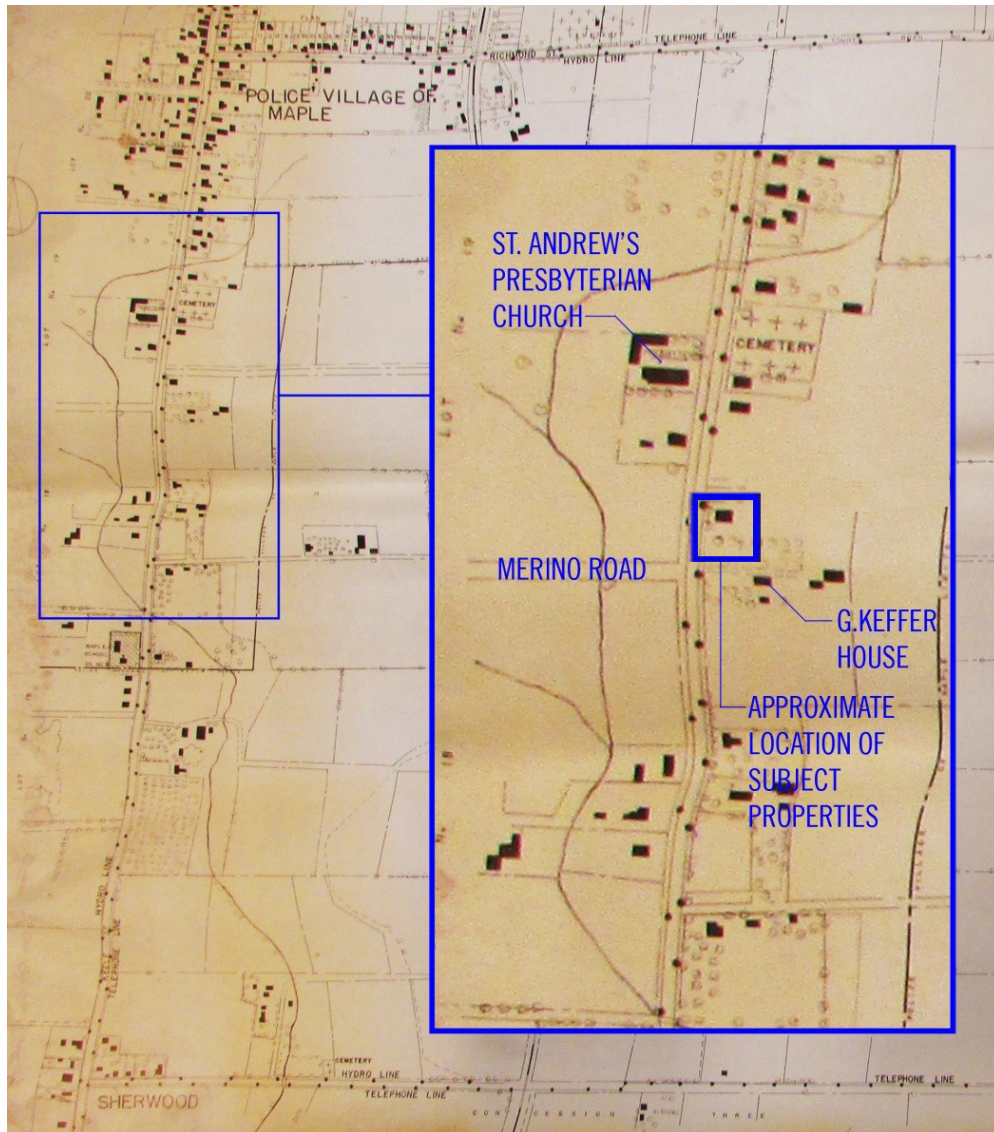
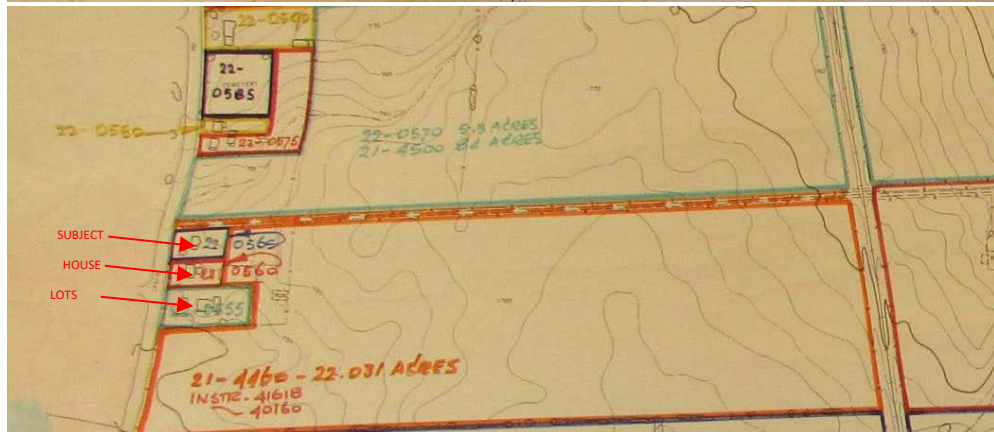


Figure 8 – Lot 16 to 20, Concession 3, Village of Maple Base Map, 1968, annotated by AREA to show the approximate location of surrounding landmarks, and the subject properties within the Maple HCD.



<sup>3</sup> Base map obtained from Gillian Shaw, Archival Records Analyst of the City of Vaughan Archives, sent to AREA in a March 30 e-mail.

### 3.1.2 Severance & Ownership of House Lots

With respect to the creation of the house lots of addresses 9785 & 9797 Keele St., the severance into these properties appears to have occurred after 1948 based on the title search from the ESA report. The Chains of Title for both house lots (Figures 9 & 10) show, in common, the farm-lot ownership by the John McDonalds (probably father and son) between 1814 and 1889 and the transfer to George Keffer (sometimes incorrectly written in the land registry as “Keefer”) from 1895 to 1926. The next owners were Annie, Robert and Janet Walkington from 1926 to 1948 and then Agnes Witherspoon from October 1948 for different periods for each lot. At this point the owners and their length of ownership diverges between the two lots. Agnes Witherspoon is identified as the owner under both addresses but for different periods, extending to 1953 and 1965 respectively for 9785 and 9797 Keele St. This owner presumably bought the larger land holding, the Keffer farm or some portion thereof, and severed it into the subject house lots sometime following her purchase in 1948. The earliest that either house could have been constructed would have been in 1949. The dating of the construction of the two houses can be determined from a review of York Region’s aerial photographs which were also included in the properties’ ESA. The subject parcel can be seen in 1946 (Figure 11) as vacant and agricultural land and in 1954 (Figure 12) with the two homes having been built. Interms of the sequence of their construction, the 1952 Village of Maple map (Figure 7) shows a house at 9797 Keele St. without a counterpart house to the south as yet. It can therefore be concluded that the homes were built in the period 1949-1952 at 9797 Keele St. and 1951-1953 at 9785 Keele St., the latter having been sold in 1953.

Since the 9797 Keele St. house was built earlier and owned longer by Agnes Witherspoon it was likely her own residence up until her death. The 1965 sale of this house registered the vendor as Agnes Witherspoons estate. The 9785 Keele St. house appears to have been built and severe from the Witherspoon’s property, probably for its financial benefit. The land registry references Township of Vaughan by-law for “subdivision control” which would presumably relate to this severed house lot. In summary, the physical structures, comprising subject property lots, 9785 and 9797 Keele Street, cannot be directly associated to any of the above-mentioned historical figures see (3.1.1) related to the nineteenth century farmstead.

### 3.1.3 Assessment of Historical Value

In conclusion, the subject properties cannot be associated with *any* of the members of the original farm lot owner families of John McDonald or George Keffer, who would have been part of the early settlement of the Village of Maple, as summarized in Table 4 below.

Several other factors demonstrate that these properties do not possess historical value:

- The McDonald family settlers owned the historic concession lot, which contained the subject properties. This concession lot was then purchased by George Keffer, from which the subject properties were later severed (c.1953).
- The creation of these lots and the construction of these houses is now confirmed as occurring from 1949 to 1953 and therefore does not reflect the nineteenth century, early twentieth century or “interwar stage” of Maple’s development.

- The subject properties' association with George Keffer is merely transactional in that his estate sold the land broader holdings in 1926 from which, about three decades later, the subject house lots were severed (Figures 9 & 10). The subsequent houses were built by the land purchaser, Agnes Witherspoon, and have no connection to George Keffer or his family.
- George Keffer's historical association with the early history of Maple derives from his founding of the Maple Artificial Breeding Association (later becoming United Breeders Inc.). However, historical value is not imparted to these lands solely as a result of George Keffer's ownership thirty years ending in 1926.

Table 4 – Assessment of Historical Value, 9785 &amp; 9797 Keele St.

HISTORICAL SIGNIFICANCE	EVALUATION CRITERIA	GRADING	COMMENTS
Structure is associated with the life or activities of a person, group, organization, or event significant to the history of Vaughan, or illustrative of the community's cultural social political, economic or industrial history.	<p>E – Individual, group, event, or site of primary significance to the surrounding community. (Political official, prominent community member, religious leader, significant site or landmark in history of Vaughan)</p> <p>VG – Individual, group, event, or site of some significance to the surrounding community. (Owner or family was long-standing member/s of the community.)</p> <p>M – Individual, group, event, or site of minor or little significance to the surrounding community (No historical background on structure or individual that built structure or family.)</p> <p>F/P – Site, structure, has no significance to Vaughan's History</p>	<p>E – 5</p> <p>VG – 3</p> <p>M – 2</p> <p>F/P – 0</p>	<p>The properties only form 0.28 ha out of the original 80.94 ha, or 200 acres (or more) of the McDonald family's farm lot during the historic period of the Village of Maple. The subject property was among the undeveloped portions of the block-wide land parcel, which was later subdivided and transferred to others, George Keffer and the Walkington family before being subdivided.</p> <p>The extant structures on the properties, resulted from the lot subdivision in 1953 and afterward. The structures, therefore, do not bear any historical association to the McDonald or Keffer families or to any of its prominent members, who are associated with the original nineteenth century farmstead. Also, the structures do not possess significant site or landmark stature.</p>

# HERITAGE EVALUATION OF PROPERTIES

9785 and 9797 Keele St., Vaughan, Ontario  
Location : Village of Maple Heritage Conservation District

Cultural Heritage Resource Impact Assessment  
Date: 22 April, 2019

CHAIN OF TITLE REPORT				
Project #	18-3083	Searched at:	Aurora	
Address:	9785 Keele Street, Maple	LRO #:	65	
Legal Description:	Part Lot 19 Con 3 Vaughan Part 1, 65R34966			
PIN:	03339-1110 (LT)			
INSTR #	DOC. TYPE	REG. DATE	PARTY FROM	PARTY TO
	Patent	04 03 1814	Crown	John ROSS
2269	Deed	06 03 1814	John Ross	John MacDONALD
303	Deed	07 07 1869	John MacDonald - Estate	Isaac Peter BAUGH
304	Deed	07 07 1869	Isaac Peter Baugh	John McDONALD
5005	Deed	13 04 1889	John McDonald - Estate	David MARWOOD
8089	Deed	01 04 1895	David Marwood	George KEEFER
14291	Deed	03 03 1926	George Keefer - Estate	Annie WALKINGTON, Janet WALKINGTON & Robert WALKINGTON
23748	Deed	16 10 1948	Janet Walkington Annie Walkington - Estate Robert Walkington - Estate	Agnes E. WITHERSPOON
29751	Deed	15 06 1953	Agnes E. Witherspoon	Sarah FOREST & Oliver FOREST
72943	Deed	28 09 1973	Sarah Forest & Oliver Forest	Sarah FOREST
270552	Deed	01 05 1981	Sarah Forest - Estate	Dragica RISTICH
273854	Deed	16 05 1981	Dragica Ristich	Rose WEIDINGER
383448	Deed	12 11 1985	Rose Weidinger	Concetta FIORITTO
R413120	Deed	17 10 1986	Concetta Fioritto	Nick D. MATTEO
R481807	Deed	09 09 1988	Nick D. Matteo	Maple View Holdings Ltd.
YR453496	Deed	14 04 2004	Maple View Holdings Ltd.	Luigi AMENDOLA
YR1338656	Deed	03 07 2009	Luigi Amendola	Robert AMENDOLA
YR1338657	Deed	03 07 2009	Luigi Amendola	Maria GALEA
YR1878282	Name Change	30 08 2012	Robert Amendola	Robert MONTESANO
YR1878283	Deed	30 08 2012	Robert Montesano	Vito MONTESANO & Antonietta MONTESANO
YR1878284	Deed	30 08 2012	Maria Galea	Vito MONTESANO & Antonietta MONTESANO
YR2191378	Deed	24 09 2014	Vito Montesano & Antonietta Montesano	Centra (Keele) Inc.
YR2578904	Name Change (Present Owner)	16 11 2016	Centra (Keele) Inc.	Laurier Harbour (Keele) Inc.

Figure 9 – Chain of Title Report, 9785 Keele St., ESA

## HERITAGE EVALUATION OF PROPERTIES

9785 and 9797 Keele St., Vaughan, Ontario  
Location : Village of Maple Heritage Conservation District

Cultural Heritage Resource Impact Assessment  
Date: 22 April, 2019

CHAIN OF TITLE REPORT				
Project #	18-3083	Searched at:	Aurora	Page 1
Address:	9797 Keele Street, Maple	LRO #:	65	
Legal	Part Lot 19 Con 3 Vaughan			
Description:	Part 1, 65R35001			
PIN:	03339-1111 (LT)			
INSTR #	DOC. TYPE	REG. DATE	PARTY FROM	PARTY TO
	Patent	04 03 1814	Crown	John ROSS
2258	Deed	05 03 1814	John Ross	John MacDONALD
303	Deed	07 07 1869	John MacDonald - Estate	Isaac Peter BAUGH
304	Deed	07 06 1869	Isaac Peter Baugh	John McDONALD
5005	Deed	07 06 1869	John McDonald - Estate	David MARWOOD
6099	Deed	01 04 1895	David Marwood	George KEEFER
14291	Deed	03 03 1926	George Keefer - Estate	Annie WALKINGTON, Janet WALKINGTON & Robert WALKINGTON
23748	Deed	16 10 1948	Janet Walington Annie Walkington - Estate Robert Walkington - Estate	Agnes E. WITHERSPOON
VA56304	Deed	29 10 1986	Agnes E. Witherspoon - Estate	Domenico SAVO SARDARO & Cesira SAVO SARDARO
YR26928	Deed	26 07 2001	Domenico Savo Sardaro - Estate	Cesira SAVO SARDARO
YR2045110	Deed	09 10 2013	Cesira Savo Sardaro	Daylan Holdings Inc.
YR2191374	Deed	24 09 2014	Daylan Holdings inc.	Centra (Keele) Inc.
YR2578904	Name Change (Present Owner)	16 11 2016	Centra (Keele) Inc.	Laurier Harbour (Keele) Inc.

Figure 10 – Chain of Title Report, 9797 Keele St. , ESA



Figure 11 – Aerial Photograph 1946, area surrounding 9785-9797 Keele St., ESA.



Figure 12 – Aerial Photograph 1954, area surrounding 9785-9797 Keele St., ESA.

## 3.2 Contextual Value

### 3.2.1 The Village of Maple

- c. 1829 • In the first half of the 19<sup>th</sup> century, the historic Village of Maple was a budding settlement area that was undeveloped in comparison to the more prosperous Villages of Teston and Sherwood nearby (Figure 13). Originally, the main road ran on the east-west direction, with one of the earliest establishment, being an 1829 Presbyterian church (now demolished), built by Scottish settlers.
- c. 1848 • Later developments along present-day Keele Street were concentrated where the street intersects with east-west roads that offered alternate routes to what was then an inaccessible swamp. The Noble family, for example, settled around the intersection of present-day Keele Street and Major Mackenzie Drive, while the Rupert family's estate was in close proximity to the intersection of Keele Street and Cromwell-Fieldgate Drives. These founding settler families inspired the early references to the Village (c.1848) as "Noble's Corners", "Nobleville", or "Rupertsville."
- c. 1852 • In 1852, Joseph Noble was appointed as the first postmaster to the "Maple" post office. At that time, the village experienced the opening of several local businesses, such as a blacksmith shop, a sawmill, a photo studio, a rope factory, and even two hotels.
- c. 1853 • In 1853, the railway station of the Northern Railway was located in the eastern section of Maple, which began to prosper. Its first bank, the Sterling Bank, was built during the same year. Other businesses, such as a liquor store, shoemakers' shops emerged.
- 1904-1928 • In 1904, the railway station was burned and then rebuilt by Ontario-Huron-Simcoe Railway (later called the Canadian National Railway) as the "Maple Station." New banks emerged. By 1910, telephone services and motor vehicles were made available to local businesses and residents. Hydro services were installed around 1914, and a community hall was built in 1921. In 1928, the Village of Maple found an increase in its population to 2,000. The area then became a self-regulating and self-financed "Police Village" (Figure 14).

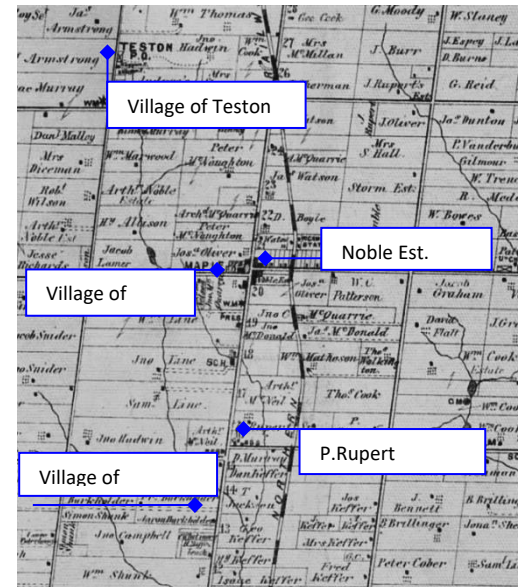


Figure 13 – County Map of the City of Vaughan, 1879 annotated by AREA ; Base map obtained from: 1880 Map of Ontario Counties: The Canadian County Atlas Digital Project. McGill University, 2001. Web. Accessed 06 April 2015. <<http://digital.library.mcgill.ca/countyatlas/>>



Figure 14 – Village of Maple, Fire Insurance Map, 1928, (subject properties not shown); Base map obtained from: Village of Maple Heritage Conservation District Plan, 2007, Volume 3. City of Vaughan, 2006-2007. PDF. 19 March 2015. <[www.vaughan.ca](http://www.vaughan.ca)>

1930s-1960s • In 1945, the Maple Artificial Breeding Association set up the first successful artificial breeding plant through the leadership of its Board of Directors, with G.W. Keffer as President. The plant was established on a one-acre land parcel, purchased from the G. Bailey property. The Association expanded its membership to include York and Simcoe Counties, and then worldwide. It later became the United Breeders Inc. of Guelph.

• It was not until 1968-1969 that the Toronto and York Road Commissions improved and paved Keele Street. Prior to this, the area remained rural. Built structures (shaded in blue, Figure 15) were still concentrated within the boundaries of the historic Village of Maple, around the intersection of Keele Street and Major Mackenzie Drive, while other built structures were dispersed on the south and east ends of the larger Police Village (Figure 15).

1960s-1980s • In 1962, a big explosion at an Industrial Propane Depot within the Village of Maple damaged many homes and buildings. Perhaps as a result of this incident, house construction, which included replacement homes, increasing significantly in the 1960s (Figure 16 & 22).

• Between the 1960s and 1980s, residential subdivision developments began to fill in vacant land parcels within the Police Village, such as the Gram and Naylor area (see Figure 16, annotated as 'A'), the Railway and Simcoe area, ('B') and the Goodman Crescent area ('C'). The Gram and Naylor area, established in the 1960s, is characterized by 20-m x 50-m property lots, built with single detached bungalows at approximately 1- and 1-1/2- storeys with low-sloped roofs and wide eaves (area 'A'). This lot and house form was adopted and could still be observed on the immediate east side of Keele Street, where the Village of Maple's (east) boundary is opposite the Gram and Naylor area.

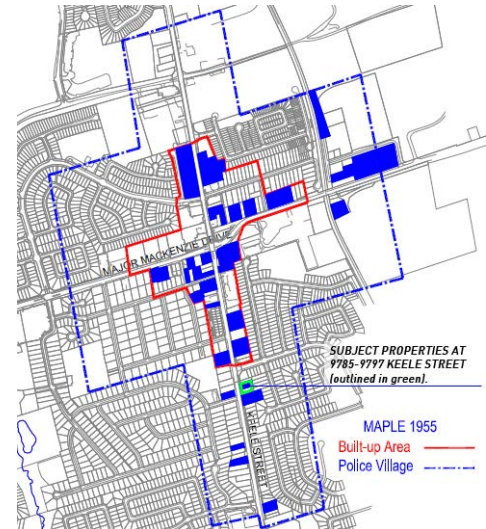


Figure 15 – Village of Maple, 1955, annotated by AREA to show approximate location of the subject properties; Base map obtained from: Village of Maple Heritage Conservation District Plan, 2007, Volume 3. City of Vaughan, 2006-2007. PDF. 19 March 2015. <www.vaughan.ca>

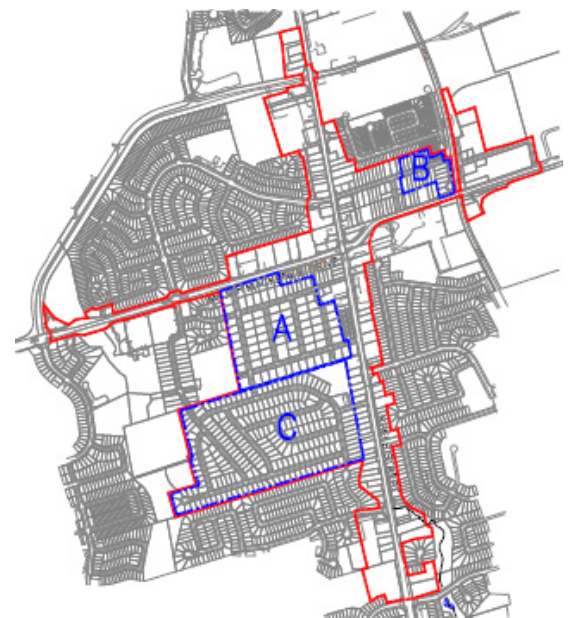


Figure 16 – Village of Maple and Subdivision Developments within the Police Village, Post-1955.

Base map obtained from: Village of Maple Heritage Conservation District Plan, 2007, Volume 3. City of Vaughan, 2006-2007. PDF. 19 March 2015. <www.vaughan.ca>

1980s-1990s • Two-storey suburban residences later became popular, and were built on new subdivision sites, such as those within the Railway-Simcoe (area 'B', Figure 16) and Goodman Crescent areas (area 'C', Figure 16). This two-storey house form, with an approximately 12-m x 20-m building footprint, was sited on 15-m x 45-m infill lots, and can be mostly found on the west side of Keele Street within Maple. These 1980s houses changed the built proportions of the village with large structures leaving limited greenery on their lots and reducing property distances or setbacks.

c.2000-present • Around 1995, two-storey suburban homes were built as semi-detached houses that replaced a series of adjacent 1960s bungalows. As the area continues to be attractive for new residents, especially with its close proximity to the City of Toronto, new developments started to emerge, mostly in the form of low-rise, multi-residential complexes (e.g. townhouse complexes).

2006-Present, The Village of Maple Heritage Conservation District • In the 2006 Maple HCD Study, the boundaries of the Village of Maple, now officially termed as the "Village of Maple Heritage Conservation District", were determined based on Maple's rich history and development patterns (Figures 13-17). The boundaries excluded post-war housing developments after 1955 (Figure 16), and includes the following areas (Figure 18):

- the properties along Keele Street and Major Mackenzie Drive, up to the boundaries of the historic Police Village;
- beyond the northern boundaries of the historic Police Village, up to Hill and Station Streets, to include the cemetery and the railway station;
- beyond the southern boundaries of the historic Police Village to include the historic Village of Sherwood, located at the four corners of Sherwood Sideroad, or the present-day Rutherford Road and Keele Street; and
- the individually designated 9470 Keele Street property, which is a City-owned public park, containing the Frank Robson Log House.



Figure 17 – Aerial Photograph of Keele and Barrhill, c. 1960s, annotated by AREA to show approximate location of subject properties; Base map obtained from Gillian Shaw, Archival Records Analyst, City of Vaughan Archives, City Clerk's Office

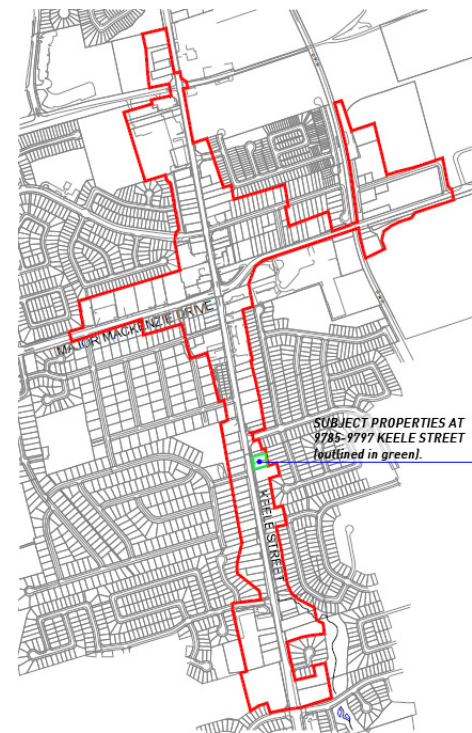


Figure 18 – Village of Maple, Heritage Conservation District Established Boundaries, 2007, annotated by AREA to show approximate location of subject properties at 9785-9797 Keele St.

2006-  
 Present,  
 The Village  
 of Maple  
 Heritage  
 Conservatio  
 n District  
 (cont'd)



Figure 19 – View N of Keele St. & Kelly Pl, Showing Tree Streetscape; Photo taken by AREA, 2015.



Figure 20 – View N-W of Keele St. & Naylon St. Showing Stream; Photo taken by AREA, 2015.

Section 1.6 of the 2006 Maple HCD Study outlined the District's evident heritage character based on its 2003 Heritage Review. Observed themes include, and are summarized as follows:

- a. variety of street setbacks;
- b. mixture of built forms;
- c. gaps on its streetwall;
- d. presence of historically significant structures with pedestrian-friendly scale;
- e. new developments with historic precedence;
- f. individualized landscaping, limited commercial signage; and
- g. overall, one of the few remaining islands of Vaughan's rural heritage.

The present-day are subject to the Maple HCD remains consistent in its village landscaping through its generally flat topography, with gradual slope changes, and a stream that intersects Keele Street (Figures 19 and 20). The streetscape is also regularly interspersed with trees, which obscure the street view of some built structures.

3.2.2 Immediate Context of the Subject Properties

While the overall context of the Maple HCD was discussed in the subsection 3.2.1, this subsection seeks to identify and to assess the “immediate context” of the subject properties at 9785-9797 Keele Street. The immediate context was identified by AREA to include Maple HCD properties that are approximately 500 metres away from the subject properties. This 500-metre distance is sometimes used as a guideline for the scope of urban design assessments, and is adapted in this CHRIA to determine the area that may be impacted by the subject development proposal. The immediate context includes Keele Street facing properties from 9690/9675 Keele Street to the south of the subject properties up to 9920/9901 Keele Street to the north of the subject properties.

The maps from Figures 21-25 graphically present the assessment of the immediate context. These maps made use of the City of Vaughan’s Concession Block 18 Map, annotated to present the research results for the chronological building periods of the area. The information presented on these maps was derived from available base maps and aerial photographs from the 1960s to the present, as well as the 2005 Maple HCD Inventory and the City of Vaughan’s List of Heritage Properties.

The City’s Concession Block 18 Map has been used as the mapping base for the figures describing the immediate context – but with some caveats. It should be noted that the various documents may indicate different municipal addresses for the same building or property. For example, differences in street numbers occur between the HCD Inventory / Block 1 & Map respectively for addresses 9833/9837, 9846/9850 and 9854/9860. Furthermore, it does not reflect changes in addresses as a result of merging, severance or redevelopment of lots some occurring since the issuance of the Maple HCD Inventory in 2005. For example, redevelopment of some of the lots have created additional or fewer street numbers between the HCD Inventory/ Block 18 Map for addresses 9715-9721/9715, 9818-9824/9818 and 9834/9836-9838. The Concession Block 18 Map (vs. the Maple HCD Study) is considered as the governing reference for municipal addresses because of its later issuance (updated in 2015).

Building photos presented in this subsection are derived from the 2005 Maple HCD Inventory as they clearly depict the overall profile of the built structures. However, some photos, as annotated, are from Google-Earth or were taken by AREA staff from a site visit conducted on March 24, 2015.

(A). 1860s-1920s Building Period

Within the immediate context, buildings that already existed prior to World War II (or up to early twentieth century) are presented in one map, annotated as “1860s-1920s” (see Figure 21). It could be noted that the built structures within this 60-year period reflect the following unifying characteristics:

- a. Varied lot widths and depths;
- b. Predominance of gable-form structures;
- c. red or buff bricks, sometimes used together to create dichromatic built forms,
- d. clapboard siding;
- e. exterior decorative accents, using contrasting masonry bricks, or wood trims;
- and
- f. a three-bay plan.

These 1860s-1920s buildings (yellow shaded lots) were already individually listed in the City of Vaughan’s 2005 Heritage Inventory with the exception of 9690 Keele St., and 9796 Keele St. (orange shaded lots) which were not on the Inventory prior to their inclusion and designation as part of the Maple HCD. The former individual pre-listing, except for those two identified exceptions, indicates their significant cultural value, resulting in their identification as “heritage properties” (versus “non-heritage properties”) within the Maple HCD.

Cultural value is determined based on the assessment of the properties’ context, history, associations, and architecture. The unifying physical characteristics of these 1860s-1920s properties are predominantly Victorian Gothic in style, and are directly contributing to the uniqueness of the Maple HCD (see character-defining elements, subsection 3.2.1a-3.2.1.f of this CHRIA report). In subsection 2.1 of the Maple HCD Plan Volume 2, these heritage properties were identified to "provide a general outline of the shape of the old village settlement, which was mostly located along the main roads of Keele Street and Major Mackenzie Drive."



Figure 21 – Context Map, 1860s-1920s.

### (B). 1930s-1950s Building Period

The Village of Maple still appears rural in the 1930s-1950s period because Keele Street was still unpaved until 1968-69. There are relatively few houses along Keele Street within the immediate context dating from this period – only 6 including the subject houses. All of the houses date from 1950s according to aerial photographs (Figures 11 & 12). The one minor exception would be the subject house of 9797 Keele Street whose construction might have occurred at the tail end of the 1940s. Those houses represent interspersed infill homes reflecting an early suburban creep from the expanding GTA. This sporadic infill residential construction was the first step towards the more intense suburban movement of 1960s and thereafter. These housing characteristics are distinguished by:

- Varied lot widths and depths;
- one-to one-and-a-half storey houses;
- mostly high-pitched gable roofs with minimal eaves;
- cladding in brick and wood siding; and
- no garage or later detached garage.

These 1950s houses represent suburban architectural styles including the Bungalow, Ranch and Victory Styles. Three of these houses (9707, 9797 & 9818 Keele St.) reflect a simple Cape Cod revival style which was prevalent in this period and, in some cases, morphed into what became known in Ontario as the Victory Style. The Victory Style will be discussed further in subsection 3.3.1 below and is more commonly found in subdivisions nearby and to serve wartime factories, e.g. Victory Village, Malton (Mississauga), instead of a single, one-off infill house.

### (C). 1960s-1970s Building Period

The Village of Maple remained rural until the 1960s when it experienced a construction boom for new subdivision developments (Figure 23). This 1960s subdivision housing is distinguished by:

- Standardized lot profiles with similar lot widths, depths, and setbacks,
- deep front yards with individualized landscaping,
- one- to one-and-a-half storey houses with strong emphasis on horizontality,
- low-pitched roofs with large overhangs,
- application of brick materials, combined (or replaced) with siding,
- at least one large picture window, and
- an attached garage.

These 1960s structures reflect suburban architectural styles, which may include Bungalows and Ranch styles. Most of these styles were introduced post World War II by home builders who used “pre-fabricated” or existing floor templates. They were catered to attract middle income families in a car-based suburb.



Figure 22 – Context Map, 1930s to 1950s



Figure 23 – Context Map, 1960s to 1970s

(D). 1980s-2010 Building Period

Beginning in the early 1980s, some 1960s bungalows were replaced by two-storey infill homes (Figure 24) that could be distinguished by:

- a. grand single-family dwellings on small lots, some of which were built on severances from, or infill lots between mid-century and 1960s property lots (i.e. 9730 Keele Street),
- b. limited greenery in small yards,
- c. building-to-lot configurations with minimum setbacks, and
- d. no formal architectural style, eclectic combination of features derived from different building periods.

This two-storey infill house form is still applicable to recent developments, but are designed with higher densities with semi-detached houses or townhouse complexes.

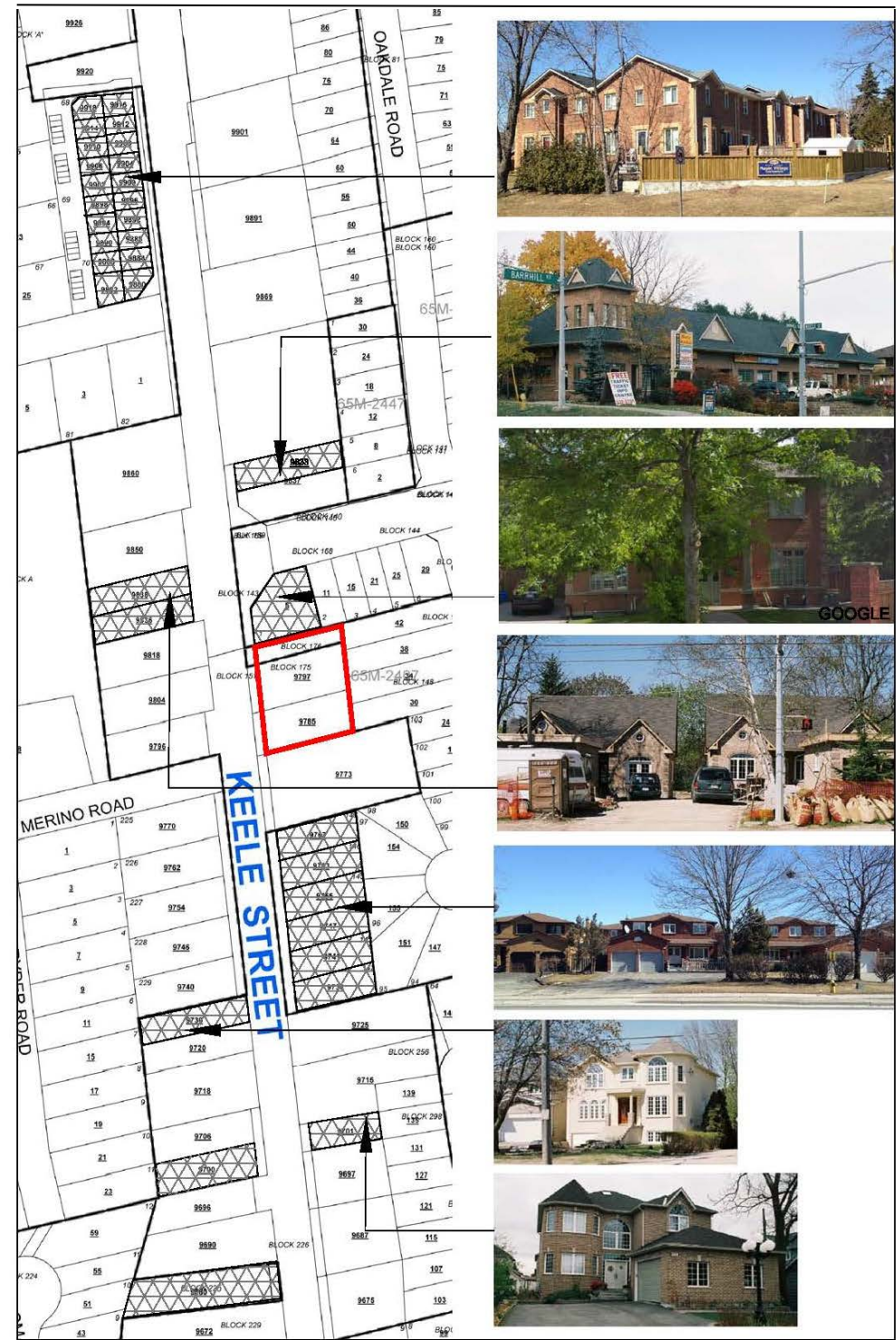


Figure 24 – Context Map, 1980s to 2010s

(E). Summary of Contextual Value

Figure 25 graphically summarizes the chronological building periods of the subject properties' immediate context. From the discussion and analysis above, it can be observed that:

- a. 1860s-1890s buildings (shaded in yellow & orange) form the "heritage properties" within the Maple HCD. They have unique contextual, architectural, and historical features that reflect the early Village of Maple.

Other than the characteristics already mentioned in the previous subsections (3.2.1a-3.2.1.f), the map above (Figure 25) illustrates a general overview of how the heritage property lots are varied in profile yet almost-uniformly spaced apart at about 200 to 300 metres [650 to 980 feet]. This provides clues about the early property lots, which were historically divided at 200-metre [600-feet] frontages.

- b. Buildings from the 1960s up to the present comprise the majority of "non-heritage properties" within the Maple HCD. Non-heritage properties did not form part of the City's Heritage Inventory prior to the designation of the Maple HCD in 2007. Individually, they were not found to have sufficient cultural value to be listed or designated.

- c. The subject properties at 9785-9797 Keele Street belong to the 1930s -1950s building period, and are among the non-heritage properties within the Maple HCD. The houses on the subject properties were built between 1949-1953 and were part of the post-World War II construction period, which made use of pre-existing house plan templates. These standard template house designs reflected the car-based suburban lifestyle that was prevalent at that time.

- d. The various construction periods reflect the changing building principles, stylistic trends, and property sizes of the village residents throughout the Town's development.

The new development must be designed to be compatible with the variety of adjacent construction periods. Although the subject properties are considered "non-heritage", their redevelopment is subject to the Maple HCD Design Guidelines (4.3 of the Maple HCD Plan Volume 3) that seek to maintain that all buildings should be "good neighbours to the heritage buildings in scale, massing and design."



Figure 25 – Context Map, Summary 1980s-Present

- e. The subject properties at 9785-9797 Keele Street are directly adjacent to a heritage property at 9773 Keele Street, also referred to as the George Keffer House (see Figure 25).

George Keffer was discussed earlier in this report as the first President of the Maple Artificial Breeding Association, now known as the United Breeders Inc. of Guelph. His house at 9773 Keele Street is characterized as an 1870 dichromatic Victorian brick house. It has buff-brick trims at quoins, bandcourses, and voussoirs with unique elliptical window details.

- f. The trend of higher densities on existing property lots continues in the many current development proposals (see diagonal hatch, Figure 25).

At the time of AREA's site visit, approximately 4 separate residential developments were currently being proposed within the immediate context. This reflects the continued attractiveness of the Village of Maple for new house construction, and, of course, the macro-regulatory framework of the provincial Places to Grow Act and the York Region Official Plan, which direct municipalities to provide increased development within areas of existing infrastructure.

- g. The City BHEF assessment category for 'Age' allocates no grading points for construction after 1940 (see 3.3.3 Table) which would have been the period of the subject houses. Many of adjacent and nearby properties contain buildings constructed Post-WWII. Therefore the primary heritage-contextual character defining elements would be derived from the adjacent historic Keffer House.

### 3.2.3 Assessment of Environmental/ Contextual Value

In conclusion, the subject properties do not represent the historic period of the Village of Maple because of their construction post-WWII and post 1940 (according to BHEF) and therefore do not contribute to the contextual significance of the Maple HCD as summarized in Table 5 below.

Several other factors demonstrate that these properties do not possess contextual value:

- The subject lands of 9785-9797 Keele Street comprises two of the District's "non-heritage" building being constructed Post-WWII and post 1940, according to the BHEF Criteria.
- The subject buildings do not directly reflect the historic founding period of Maple. However, the properties' location within the HCD could be enhanced by including contextual features that contribute to the evolving character of the Village of Maple through a compatible design with the adjacent Keffer House.
- The adjacent Keffer House referenced in the Section 3.2.2(A) (Figure 21) and (D). e (Figure 25) is the original homestead of the John McDonald and George Keffler farms from which land the subject lots were severed in the 1950s. This adjacent historic home offers the primary heritage context to be emulated in its Victorian Style.

# DESIGN COMPATIBILITY OF PROPOSED DEVELOPMENT

9785 and 9797 Keele St., Vaughan, Ontario  
Location : Village of Maple Heritage Conservation District

Cultural Heritage Resource Impact Assessment  
Date: 22 April, 2019

Table 5 – Assessment of Contextual Value. 9785 & 9797 Keele St.

ENVIRONMENT/ STREETSCAPE/ COMMUNITY	EVALUATION CRITERIA	GRADING	COMMENTS
<p>Structure contributes to the continuity or character of the street, community, or area.</p> <p>Heritage building in a rural area (i.e. former farm buildings), not yet developed or part of a Block Plan development that have a good architectural rating should be rated for its community and/or contextual significance based on the criteria defined.</p>	<p>E – Of particular importance in establishing the dominant or historic character of the area, community, or streetscape.</p> <p>VG – Of importance in establishing the dominant or historic character of the area, landscape, or significant to the community for its architectural evaluation portion form.</p> <p>M – Compatible with the dominant character of the area</p> <p>F/P – Site, structure, has no significance to Vaughan's History</p>	<p>E – 15</p> <p>VG – 10</p> <p>M – 8</p> <p>F/P – 0</p>	<p>The subject properties are located within the Maple HCD boundaries, but are not included among the HCD's 'Heritage Buildings', or pre-listed buildings with architectural or historical values (section 3.2.2). They are therefore, 'Non-Heritage Buildings', which may otherwise be termed as "non-contributing" structures to the historic character of the HCD.</p> <p>The existing one and one-a-half storey structures within the properties were also not established during the Village of Maple's historic period since they were built after 1940. Confirming the research on the properties' site and ownership history (section 3.1.2), these structures are the result of a modest subdivision of lots, implemented by Agnes Witherspoon in the 1950s.</p> <p>The subject properties are adjacent to the previously individually listed Keffer House at 9773 Keele Street. The subject properties are not critical in establishing the dominant historic character of the area, community, or streetscape. Yet, as non-heritage buildings within the HCD, as neighbours to the previously 'listed' Keffer House, any future alteration, or site development, must consider the design guidelines stipulated in the Maple HCD Plan.</p>

### 3.3 Design or Physical Value

#### 3.3.1 Description of House at 9797 Keele St.

Of the two subject properties, only the northerly property at 9797 Keele Street was architecturally evaluated, albeit with a limited review, in Volume 1 of the Maple HCD Study and Plan. However, this property was not previously listed in the Vaughan Heritage Inventory prior to the Maple HCD Plan. The Maple HCD-Vol-1 report describes the house-structure at 9797 Keele Street as a “1½ storey (rendered) Cape Cod house with cantilevered rectangular bay window (c. 1940).” The estimated construction period of 1940 in the Maple HCD-Vol-1 report conflicts with the data illustrated in the 1952. Base Map and the aerial photographs of 1946 and 1954 (see Figures 7,11 & 12). The aerial photographs and the Base Map, together with the Chain of Title (Figure 10), illustrate that this house structure was built between 1949 & 1952 (Figure 7). The approximate date of “(c.1940)” in the Maple HCD-Vol-1 report must be reconsidered and revised to “(c.1950s).” The approximate construction period of 1950s remains consistent with the data previously presented in subsections 3.1.2 & 3.2.2 (Figure 22). To be more specific and precise, the house could possibly have been constructed in 1949 at the tail end of the 1940s. Around this time, popular architectural styles in Ontario feature variations of the Bungalow (also discussed in subsection 3.2.2(B), “1930s-1950s Building Period”).

For example, the Cape Cod architectural revival style was an adaptation of 18<sup>th</sup> century homes in New England. It became popular in America between the periods of 1930 to 1955. An even simplified version of this style is sometimes referred to as “Victory Housing” style, which became popular in Ontario around 1939 to 1955. The Cape Cod revival style – or its simplified version, the Victory Housing style – is composed of a basic rectangular footprint of a house at 1 to 1-1/2 storeys in height, with a steep pitched roof. It is often devoid of dormers, and architectural detailing was limited to multi-pane windows, decorative shutters, a central brick chimney, and exterior wood clapboarding. Roofs are typically clad in wood shingle or asphalt, and have little to no overhang. This style is reflected in the house at 9797 Keele Street (Figures 26-29), which is somewhat unusual with its side-hall plan. It has little embellishment, and was built with economical materials – presumably shingle cladding, which is now covered with white and blue stucco.

The Maple HCD Plan Volume 3 (Maple HCD-Vol-3), section 9.1, discussed the Victory style as a “heritage style” and includes a photograph of 9797 Keele St. as an illustration. However, several aspects regarding this subject house make it deviate from and/or a poor example of the characteristics of this style:

- a. Victory Style housing is more typically found or epitomized in 1940s subdivisions such as Victory Village, 1942-1947, in Malton (Mississauga) to house workers at the Victory Aircraft Ltd. (later A.V. Roe Canada Ltd.) factory producing fighter planes for the war. This house is not integrated into such a subdivision nor was it built for any war-related purpose.
- b. The period for this style is indicated as 1939-1955 in the Maple HCD Plan but also specified as 1940-1950 on other references, such as “Architectural Styles in Mississauga” prepared by the City’s Heritage Staff (Figure 34). The range of years for this style can be

considered somewhat arbitrary and exact construction date (between 1949-1952) of the subject house is unknown. It can be stated, however that this house was built in the later part, at the end; or after the period of the Victory Style.

- c. Another underpinning origin of the simple, compact and often-prefabricated Victory house type, was for returning veterans after the war who received a “\$5,000 housing allocation from the Department of Veteran’s Affairs (DVA)” as explained in the Maple HCD Plan. However, this house’s construction has no connection to any veteran army personnel because the Land Registry would include a registration indicating that the lands related to the Veterans’ Land Act (which it does not).
- d. The conditions of the house are deteriorated with considerable damage and is unsafe to enter because of hazardous materials including mould and other debris which was left inside.
- e. Numerous alterations to the house have removed or covered its character-defining elements related to its c.1950 construction such as its cladding in brick or siding, its original porch, etc.

Due to the above considerations, the subject house does not represent an accurate early or good example of a particular style or method of construction.

### 3.3.2 Description of House at 9785 Keele

It is difficult to associate the one-storey house structure at 9785 Keele Street with a particular architectural style (Figures 30-33). It features a centre-hall plan, with no features except for the (currently boarded) picture windows on the north and south sides of the main façade. The rear (east) side features a detached garage, with similar clapboarding and shingled roof assembly as the main house. There is no evident trace of a previous covered porch on its front, centre bay. With its low hipped roof, and overhanging eaves, it emphasizes horizontality, which associates it with the, Ranch, or suburban type Bungalow Styles, which are describes as non-heritage styles in the Maple-HCD-Vol-3.

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9797 Keele St.

Photos taken by  
AREA, 2015



Figure 26 – Front (West) Elevation



Figure 27 – South Elevation



Figure 28 – East Elevation



Figure 29 – North Elevation

9785 Keele St.

Photos taken by  
AREA, 2015



Figure 30 – Front (West) Elevation



Figure 31 – South Elevation



Figure 32 – East Elevation



Figure 33 – North Elevation

Malton Victory  
Housing

### Victory Housing (1940 – 1950)

Figure 34 – Victory Housing,  
“Architectural Styles in  
“Mississauga”, City of Mississauga  
Heritage Staff, 2010,



## 3.3.3 Assessment of Architectural Value

In conclusion, the subject houses constitute simple construction, with no significant features and therefore do not possess physical or design value as summarized in Table 6 below. The table below will concentrate on 9797 Keele St. because the Heritage Coordinator identified it alone (and not no. 9785) as possibly having architectural value.

Several other factors demonstrate that these properties do not possess architectural value:

- Further research has confirmed that the houses' construction dates are later, post-WWII, post 1940s and therefore NOT the interwar period of construction.
- As a simple stand-alone variant of (what came to be known as) the Victory house, the 9797 Keele St. structure does not appropriately represent that style. This is a one-off infill residence without any association to the origins of the war-time style and could just as easily be describe as a "Cape Cod revival" house.
- Victory style housing was more commonly constructed earlier in the 1940s and was usually within a subdivision serving a wartime factory or housing returning veterans. The significant of this house is diminished because they do not inform an overall character of its neighbouring context.
- These two houses are, infill structures, and they do not belong to a neighbourhood subdivision development that would have incorporated repetitive bungalow-type houses (i.e. Gram and Naylor Area Figure 20).

Table 6 - Assessment of Architectural Value, 9797 Keele Street

STYLE	EVALUATION CRITERIA	GRADING	COMMENTS
Good, notable, rare, unique, or early example of a particular architectural style or type. Exterior architectural style only should be evaluated. (i.e. change in roofline, skylights, additions, or removal of features, etc. that have changed the style of the building.)	<p>E – Excellent to very good or extremely early example of its style.</p> <p>VG – Good example of its style with little to no changes to the structure.</p> <p>G – Good to fair example of its style (e.g. style evident in structure, however changes have occurred to building).</p> <p>F/P – Style is not evident or considered a good example.</p>	<p>E – 20</p> <p>VG – 15</p> <p>M – 8</p> <p>F/P – 0</p>	<p>The structure is described as a "1 ½ storey (rendered) Cap Cod house in the November 2005 Maple HCD-Vol-1 which does not fit any of the listed Heritage and Non-Heritage Styles, prevalent in the Maple HCD for Residential Buildings. Then the Maple HCD-Vol-3, uses a photograph of 9797 Keele St. in its description of the Victory House as a heritagestyle. However, as explained above, this house does not have the underpinning origins the date of construction or the context of othe matching homes to be considered as being the Victory style or a notable example thereof.</p>

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<p>CONSTRUCTION</p> <p>Good, notable, rare, unique, or early example of a particular material or method of construction. (i.e.) log construction, pre-1850, stone, board on board construction, etc.)</p>	<p>EVALUATION CRITERIA</p> <p>E – Excellent or early example of its construction method.</p> <p>VG – Good or early example of its construction method.</p> <p>G/F – Good to fair example of its construction method.</p> <p>P – Construction method is not significant in nature nor is it of particular interest.</p>	<p>GRADING</p> <p>E – 10</p> <p>VG – 8</p> <p>G/F – 5</p> <p>P – 0</p>	<p>COMMENTS</p> <p>The structure's method of construction is not significant in nature nor is it of particular interest. It reflects the technology prevalent and economical during its building period for "production-type" housing. The wood-stud construction and the rendered stucco cladding (which may cover or replace the original brick or wood siding) constitute time-efficient means for building. Its lack of unique building features and details, reflect a 'generic' infill house.</p>
<p>AGE</p> <p>Comparatively old in the context of the City of Vaughan's architectural history.</p>	<p>EVALUATION CRITERIA</p> <p>E – Built between dates 1790-1820.</p> <p>VG – Built between dates 1821-1910.</p> <p>G – Built between dates 1911-1939.</p> <p>F/P – Built since 1940.</p>	<p>GRADING</p> <p>E – 5</p> <p>VG – 3</p> <p>G – 2</p> <p>F/P – 0</p>	<p>COMMENTS</p> <p>The building period that was determined for the structure is between 1949 &amp; 1953. The structure's method of construction, wood stud framing, was in common use for the mid-century bungalow style. The structure, would have been built post-1948 based on the aerial photographs and the Chain of Title. Hence, for these criteria, it is appropriate to assign a numerical value that would reflect this later building period.</p>
<p>INTERIOR</p> <p>Integrity of interior arrangement, finish, craftsmanship, and/or detail are particularly attractive or unique and/or still exist.</p>	<p>EVALUATION CRITERIA</p> <p>E – Excellent interior (80-100% intact).</p> <p>VG – Very good interior (70-79% intact).</p> <p>G – Good interior (50-69% intact).</p> <p>F/P – Fair or poor (0-49% intact).</p>	<p>GRADING</p> <p>E – 5</p> <p>VG – 3</p> <p>G-2</p> <p>F/P – 0</p>	<p>COMMENTS</p> <p>The existing interiors are quite deteriorated they contain hazardous materials including mould so therefore none of the interior finishes or details can be considered as extant.</p>

# DESIGN COMPATIBILITY OF PROPOSED DEVELOPMENT

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ALTERATIONS	EVALUATION CRITERIA	GRADING	COMMENTS
<p>Building has undergone minor exterior alterations, and retains most of its original materials and design features.</p> <p>Checklist includes:</p> <ul style="list-style-type: none"> <li>Original Exterior Siding 30%</li> <li>Windows/doors 30%</li> <li>Verandahs/trim 30%</li> <li>Foundation/location 10%</li> <li>Structural Plan (no modern or sympathetic additions) 10%</li> </ul>	<p>E – Exterior of building is unchanged. (90-100% intact)</p> <p>G – Exterior of building has changed somewhat, but character retained. (61-89% intact)</p> <p>F – Exterior of building has changed somewhat and original character compromised. (40-60% intact)</p> <p>P – Original exterior character destroyed. (0-30% intact)</p>	<p>E – 20</p> <p>G – 15</p> <p>F – 8</p> <p>P – 0</p>	<p>The building has undergone numerous alternations to its cladding, porch, exterior wall adjacent to an added garage, etc.</p>
CONDITION	EVALUATION CRITERIA	GRADING	COMMENTS
<p>Exterior/interior of building is in good structural condition (i.e. evidence of decay in exterior siding, roof, or interior basement, wall surface, flooring, or ceiling, suggesting structure to be unsound.)</p> <p>Checklist:</p> <ul style="list-style-type: none"> <li>Exterior Siding/Gutters (cracks, spalling)</li> <li>Roof/Interior Ceiling/Gutters</li> <li>Flooring, unstable, Depressions</li> <li>Interior Wall surface, cracks, etc</li> <li>Basement (leaks mold, dry or wet rot on beams)</li> </ul>	<p>G – Good structural condition. (No evidence of decay)</p> <p>S – Somewhat good structural Condition. (Minor/little evidence of decay)</p> <p>F – Fair structural condition (Some (i.e. 2 from adjacent list) evidence of decay).</p> <p>P – Poor structural condition. (Significant/considerable evidence of decay.)</p> <p>structure, however changes have occurred to building).</p>	<p>G – 20</p> <p>S – 15</p> <p>F – 10</p> <p>P – 0</p>	<p>The structure exhibits prior conditions, with poor considerable damage and decay, and the house has been unoccupied for over 7 years with no heat or electricity. This lack of heating or maintenance have caused secondary damages evident in the sagging roof, missing eavestroughs, broken windows, cracks in walls, etc.</p>

## 4 HERITAGE SIGNIFICANT OF 9785 & 9797 KEELE STREET

### 4.1 Summary of Heritage Assessment

The research findings and site investigations discussed in subsections 3.1 to 3.3 are summarized using the City's Built Heritage Evaluation Form ('BHEF', see Table 7 below). The assessed properties at 9785 & 9797 Keele Street, gained scores only in one of the following BHEF sub-criteria for Architectural Value:

- Alterations: Building has undergone exterior alterations, and its original character is compromised.

The existing houses exhibit decay and some structural deterioration – the roof of 9797 Keele St. is sagging. The house at 9797 Keele Street did not score on the other sub-categories for Architectural Value – Style, Construction, Age, Interior and Conditions (see Table 7).

The houses do not have sufficient physical features to represent the unique principles of an architectural style. The house at 9797 Keele Street was described as "Cape Cod" revival but, after considerable exterior alterations, its sole remaining character-defining element is limited to its steep roof structure. The reference to the Victory House Style in the Maple HCD-Vol-3 either is not applicable or not exemplified in this structure. Both houses do not represent innovation in building construction. The houses are the result of "production-type" suburban housing that has been subject to further and inconsistent renovation.

The two houses are quite commonplace suburban 1950s houses. Neither house is considered to be a "good, notable, rare, unique or early example of a particular architectural style", not even the Victory style for 9797 Keele St., as explained above. The City's Built Heritage Evaluation Form (BHEF) criteria for architectural or physical cultural heritage value allocates a grading of '0' for buildings constructed since 1940 (Section 3.3.3) which the subject houses' construction dates well exceed.

These lots have no contextual relationship to the nineteenth-century location of the McDonald and Keffer farmstead from which they were severed in 1953 by a later owner for revenue-generation purposes. These 1950s non-heritage houses are located (to reference the BHEF criteria) on a "site [that] has no significance to Vaughan's History" and, as such, fulfill the definition of a Fair or Poor grading of '0' (Section 3.2.3). See consultant evaluations 3.1 to 3.3 above and others in this table.

Furthermore, the houses do not represent the historic period and character of the Village of Maple. They do not have any historical and contextual significance (see Tables 4 and 5). They cannot be attributed to a historical figure or event. They also never functioned as landmarks within the Maple HCD. These houses have no relationship to the settler members of the McDonald and Keffer families and the 1950s bungalows have no association with the nineteenth-century or early twentieth-century establishment of the Village of Maple which involved the George Keffer. The association of these lots with the George Keffer name is merely circumstantial and transactional. The indirect connection of George Keffer to the subject land does not entail a

physical manifestation in a built form. The built form of the houses themselves are not connected to the McDonald family or other founders of the village and (to reference the BHEF criteria) are “structures [that have] no significance to Vaughan’s History” and, therefore, are assigned a Fair or Poor grading of ‘0’ (Section 3.1.3).

The combined heritage value of the houses maintains their current “Non-Heritage” building status within the Maple HCD. This conclusion, however, still assumes that the new development should represent sympathetic alterations to the subject land assembly. Although the land assembly is comprised of essentially, two Non-Heritage Buildings, they have compositional attributes that are complementary to the Maple HCD (see subsection 4.3). As they remain included in the Maple HCD, future site alterations, or development proposals should consider the Maple HCD Plan and its Design Guidelines. The proposed new development should consider the HCD design guidelines for new construction to be compatible with the heritage character of the District, since it will be subject to review by the City’s Heritage Vaughan Committee, and ultimately, approval by Council.

## 4.2 Grading of Heritage Value

Based on the Section 3 Heritage Evaluation, the grading of the subject houses are calculated using the City's criteria in the Tables 7 and 8 below. Both houses at 9585 and 9797 Keele Street have similar (low) heritage value which is reflected in their equal evaluation grading. The resulting heritage assessments renders a total grading of 8 and, therefore, both buildings are classified in a Group D having "little or no significance."

Table 7 – Summary of Historical Evaluation for 9785 and 9797 Keele street

CRITERIA	GRADING
HISTORICAL VALUE	0
ENVIRONMENTAL (CONTEXTUAL) VALUE	0
ARCHITECTURE (DESIGN OR PHYSICAL) VALUE (9797 Keele St.)	
Style	0
Construction	0
Age	0
Interior	0
Alterations	8
Condition	0

Table 8 – Overview of Heritage Value of Subject Properties at 9785 and 9797 Keele Street

BUILDING STRUCTURE: 9785 & 9797 Keele Street

COMMON NAME OF BUILDING STRUCTURE:

9785 Keele Street, 9797 Keele Street,

BLOCK: Concession: 3 Lot: 19

COMMUNITY: Maple



YES	NO	DESCRIPTION
	X	Included in the City of Vaughan Heritage Inventory
	X	Included in the City of Vaughan "Listing of Buildings of Architectural and Historical Value"
	X	Designated under Part IV of the Ontario Heritage Act
X		Designated under Part V of the Ontario Heritage Act within a Heritage Conservation District

TOTAL GRADING: 8

GROUP: D

KEY TO GRADING:

- 90-100 GROUP A – Very Significant
- 60-79 GROUP B – Significant
- 40-59 GROUP C – Modest Significance
- 0-39 GROUP D – Little or No Significance

### 4.3 Contributing Attributes of Adjacent Context

Although the houses at 9785 & 9797 Keele Street remain as 'Non-Heritage Buildings' within the Maple HCD, some of the characteristics of their context may still be used as inspiration for the proposed development. As stated in Subsection 9.5.1 of the Maple HCD Plan,

"Within the design of any individual building, architectural elements contribute to the character of the public realm of the street. Massing, materials, scale, proportions, rhythm, composition, texture, and siting all contribute to the perception of whether or not a building fits its context."

These elements may be expressed in the form of a unique architectural style, suitable to and inspired by the local heritage character of the Maple HCD, or by a specific architectural precedent.

For the development of the land parcel assembly, the character-defining elements ('CDE') which influence and should be addressed by the subject properties at 9785 & 9797 Keele Street are the most relevant components for future incorporation, reproduction, or reinterpretation. According to the Standards and Guidelines for the Preservation of Historic Places in Canada, administered by Parks Canada, Second Edition ('Standards and Guidelines'), character-defining elements are defined as,

"The materials, forms, location, spatial configurations, uses and cultural associations or meanings that contribute to the heritage value of a historic place..."

This term is often used for buildings with significant cultural values that would warrant individual listing or designation. 'CDE' attributes would be its contextual relationship to the neighbouring built heritage.

For this land parcel, the primary and singular CDE would be the adjacent Keffer Home at 9773 Keel Street which was identified as a heritage resource in several references:

- Vaughan Heritage Inventory, 2005, listing prior to Maple HCD Study and Plan;
- Maple HCD Plan Volume 3, Map 4, identified in blue tone as a heritage property contributing to the District;
- Maple HCD Study Volume 1 Inventory, described as a "two-storey, dichromatic brick house".

The adjacent built heritage structure derives its heritage significance from:

- The historical association with George Keffer and the Maple Artificial Breeding Association;
- its context as the homestead of the former McDonald and then Keffer farm lot; and
- architectural design features which are representative of the local Victorian style.

The adjacent Keffer House therefore represents the most significant contextual influence on the subject properties which contribute to the character of the Maple HCD.

The Vaughan Official Plan (VOP) discusses how a development should be integrated compatibly within the contextual street elevation of an HCD (underlines added for emphasis):

"new development on vacant lots or lots currently occupied by non-heritage structures in Heritage Conservation Districts designated under Part V of the Ontario Heritage Act be designed to fit harmoniously with the immediate physical or broader district context and

streetscapes, and be consistent with the existing heritage architectural style through such means as:

- i. being similar in height, width, mass, bulk and disposition;
- ii. providing similar setbacks;
- iii. using like materials and colours; and
- iv. using similarly proportioned windows, doors and roof shape. “(VOP, 6.2.2.6)

The composition of the infill houses should therefore incorporate the stylistic CDEs of the adjacent context of the Maple HCD. The Keffer House, being the predominant heritage resource influencing the subject site, exhibits the CDEs of its streetscape which should be adopted in the new development:

- **Building Orientation** The prominent west-facing (front) elevation provides a direct relationship with the (Keele St.) street frontage with the entry porch and its front door accessed from the sidewalk. The proposed new houses should likewise provide for some of the entry porches and doors facing the street.
- **Form and Massing** The gable rooflines, with soffits, trimmed with siding boards, incorporated an upper floor within the roof height. The exterior massing formation of the house provides a projecting (north) end bay creating a rhythm of recesses (porch) alternating with projections (bay window). These massing characteristics may be reinterpreted in the new development through a contemporary or historical design approach.
- **Materials** The adjacent house incorporates masonry and wood trim which are commonplace materials through the HCD as noted in its Study and Plan. In particular, the dichromatic red and buff brick is integral to its Vernacular Victorian style. It is encouraged that masonry and wood trim be the primary cladding for new development in contrast to the stucco finish of some of the adjacent houses from the recent period.

These suggested building compositional elements contribute to the heritage character of the Maple HCD. The incorporation of these elements should be executed, through the balancing of simple contemporary construction methods and traditional reproduction elements. There must be a consistent and conscientious design that would respectfully relate the old to the new, without falsifying historic appearance, and with sufficient distinguishability. “Distinguishability” is a general conservation principle applied to alterations and additions to a heritage resource. The Maple HCD Plan, in particular, recommends to “make new work physically and visually compatible with, subordinate to, and *distinguishable* from the heritage resource” (Maple HCD Plan, 4.2.2.a). By applying this principle, the new development should exemplify design standards that will add value to the Village of Maple Heritage Conservation District.

## 5.1 Proposed Townhouse Development

Figure 35 – Site Plan, March 15, 2019, RN Design, (Appendix F), (also referred to as ‘March-2019 SP’ in this CHRIA), annotated by AREA with inset photo to show aerial photograph of subject properties



Property Description	The land assembly is comprised of three lots, with the two of them having street addresses, 9785 and 9797 Keele Street, and the third identified as “Block 176”, PCL 176-1 SEC 65M2407 (Figure 35). This land assembly is currently part of an R1 residential zone, and has a combined net "developable" area of 0.24 hectares, with a combined lot frontage of 58.1 metres, and a lot depth of 48.1 metres.
Adjacent Properties	The boundaries of this land assembly comprise the adjacent properties as follows: (1) a historic property at 9773 Keele Street on the south side, (2) the rear portions of subdivision at 30, 34, 38, and 42 St. Mark Drive on the east side, (3) the property at 5 Barrhill Drive on the north side, and (4) Keele Street on the west side.

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**Proposed Development**      Owner-developer proposes the demolition of the existing single-detached houses at 9785-9797 Keele Street for the following proposal (Figure 35, Appendix F):

- Establishment of 16 residential units comprised of 8 semi-detached units and 8 townhouse units in two rows parallel to Keele Street.
- The development comprises two, and four-unit configurations. Smaller two-unit configurations (Blocks 1 to 4) are proposed to face Keele Street. Four-unit configurations are located on the rear (east) portion, accessed through a private lane.
- The Site Plan is attached in Appendix F and its development site statistics are provided in Table 9 below.

Table 9 – Site Statistics of New Development 9785-9797 Keele St.

Gross Floor Area	No. of Units	GFA/Block, sq.m
Block 1	2	614.18
Block 2	2	614.18
Block 3	2	614.18
Block 4	2	614.18
Block 5	4	581
Block 6	4	581
Total Gross Floor Area	16	3,618.72
Net Developable Area (excluding Keele Street road widening)		0.24-ha
Development Density		66.06 units/ha
Floor Space Index		1.49
Lot Coverage		45.33%

## 5.2 Townhouses Replacing Existing Houses

The existing deteriorated houses at 9785 and 9797 Keele Street are proposed to be demolished. The heritage evaluation of the properties (Sections 3 & 4) concludes that the house structures do not have sufficient contextual, historical, or architectural significance to be among the 'Heritage Buildings' within the Maple HCD and do not warrant individual protection.

The house structures comprising the subject property lots are not associated with the Keffer or McDonald families. The original George Keffer concession farm lot was subdivided to create the existing house properties at 9785 and 9797 Keele Street. Both properties do not have associations with any historical figures or events. The house structures within the property lots are also not associated with any architect or builder, and are not reflective of any formal architectural style.

As an example of 1950s, subdivision suburban housing, the design of both house types reflects only the economic expediency that led to their construction. These types of houses, with their pattern-book templates, helped realize the efforts by property owners and developers to provide cost-efficient housing. These two-house structures are, furthermore, infill structures, and they do not belong to a neighbourhood development that would represent the consolidation and establishment of a street "character."

The only heritage value afforded to the subject properties is simply as buildings within the area subject to the Maple HCD. The circumstances of the structures' low heritage value, poor architectural quality, and their lack of compatibility with the evolving Maple HCD preclude their retention, conservation, or reuse. The structures, by themselves, do not represent the historic period of the District, and are in direct opposition to the pressing demand for the village's growth and development.

The subject house structures at 9785 and 9797 Keele Street are non-contributing to the heritage character of the HCD. The substitution of these existing non-heritage house structures with a new townhouse development is found to be an effective way for the subject properties to acquire an active and contributory role within the Maple Heritage Conservation District.

### 5.3 Implementation of Design Guidelines

The subject properties and the proposed development are guided by implementation strategies derived by this CHRIA from the “Village of Maple Heritage Conservation District Plan, 2007, Volume 3” (‘Maple HCD Vol.3’). The Maple HCD Vol. 3 report concludes the findings of the three-year Maple HCD initiative, and completes a set of “District Policies” to successfully implement “sympathetic” future interventions for the four property categories found within the District:

- (1) heritage properties;
- (2) non-heritage properties;
- (3) new developments; and
- (4) landscapes.

The subject proposal seeks to develop new townhouse units to replace two non-heritage single-detached house structures, comprising the lots of 9785 and 9797 Keele Street and the adjacent vacant lot. This CHRIA therefore consults the HCD policies for the applicable property categories of ‘(2) non-heritage properties’ and ‘(3) new developments’. The objectives for these two property categories (see Table 10) seek to retain, conserve, and enhance the architectural, historical, and contextual character of the Maple HCD with compatible infill construction to “complement the area’s village like” heritage character.

To implement these objectives, Section 9.0 “Guidelines for Buildings and Surroundings” of the Maple HCD Vol 3 is specifically referenced in this CHRIA. These Guidelines are described as being “...based on the concepts of preserving the existing heritage buildings, maintaining their character when they are renovated or added to, and ensuring that new development respects the qualities of place established by the existing heritage environment.” Section 9.0 of the Maple HCD Vol. 3 discusses:

- for non-heritage properties, the types of design approaches; and
- for new (residential) developments, the site planning, architectural style, scale and massing.

To discuss these factors affecting non-heritage properties and new residential developments, and to implement the applicable objectives for the Maple HCD, the following CHRIA section discusses the subject project’s design strategies in terms of siting, elevation design, scale, and massing. The successful interpretation of these themes will ultimately define the subject proposal’s compatibility with the physical, visual, and spatial elements that define the District’s heritage character.

**Table 10 Maple HCD Plan Policies for Non-Heritage Properties & New Development**

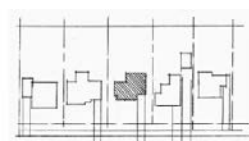
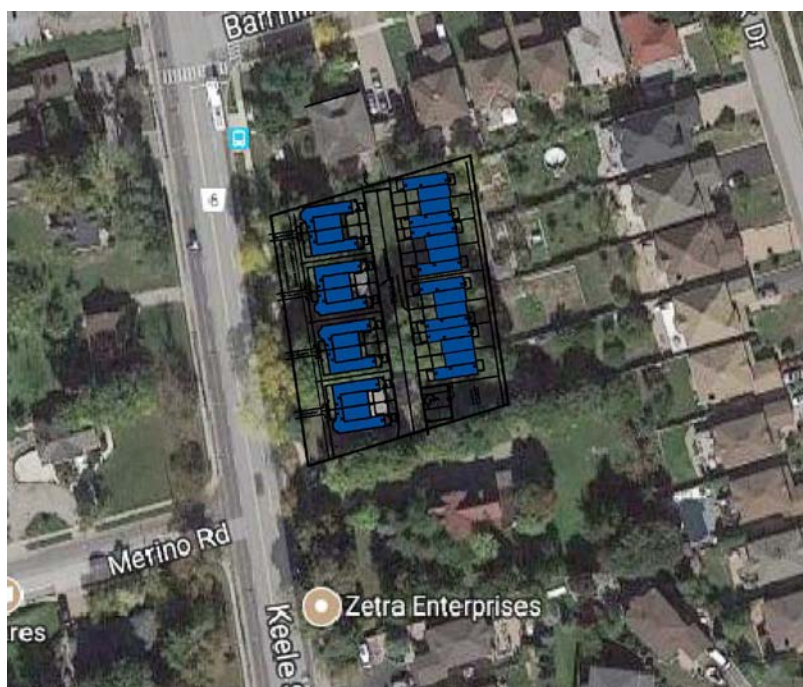
OBJECTIVES FOR NON-HERITAGE PROPERTIES (obtained from 2.4.3 of Maple HCD Vol. 3):	OBJECTIVES FOR NEW DEVELOPMENTS (obtained from 2.4.5 of Maple HCD Vol. 3):
<ul style="list-style-type: none"> <li>– to retain and to enhance complementary characteristics of non-heritage buildings, and</li> <li>– to encourage improvements to non-complementary buildings so that they further enhance the heritage character of the District.</li> </ul>	<ul style="list-style-type: none"> <li>– to ensure compatible infill construction that will enhance the District’s heritage character and complement the area’s village-like, human scale of development, while promoting densities sufficient to secure the District’s future economic viability.</li> <li>– to guide the design of new development to be sympathetic and compatible with the heritage resources and character of the District while providing for contemporary needs.</li> </ul>

## 6 DESIGN COMPATIBILITY OF PROPOSED DEVELOPMENT

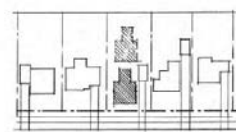
### 6.1 Siting

Building placement has been diversely applied within the District throughout its development. The variety of distances from the buildings' façade to the existing road curb (referred to as "curb-distance" or "building placement" by this CHRIA) is acknowledged as one of Maple HCD's distinct heritage attributes. This variety in building placement is reflective of the HCD's different periods of construction. New developments are encouraged to provide setbacks and frontages that are consistent with the variety of the village pattern.<sup>4</sup>

For example, 1860s-1920s buildings adopt a wide range of 8- to 20-m curb-distances. The cluster of 1860s-1920s buildings around the Keele Street-Major Mackenzie Drive intersection, have 8- to 12-m curb-distances, while those that are farther south of this intersection (such as St. Andrew's Presbyterian Church, and G. Keffer House) incorporate a greater curb-distance of 20-m. The increased curb distance of the "southern" 1860s-1920s buildings reflect how Keele Street was originally an inaccessible marsh. Southern 1860s-1920s buildings were perhaps located farther away from the concession line, and were alternatively accessed from other concessions or sideroads. On the southernmost part of the District, as one approaches the southern boundary, Sherwood-Fieldgate Drive, 1860s-1920s buildings are absent. These southernmost portion, with numerous previously vacant lots became the area for newer developments, beginning in the 1960s. These post-1960s developments adopted uniform curb-distances of 16- to 18-m.



Respect the existing site plan character of similar, but not identical front-yard setbacks. Place a new building to mediate between setbacks of neighbouring buildings.



An extreme difference in setback from adjacent buildings is not appropriate.

Figure 36 – (Above) Illustration of Recommended Setbacks of New Developments Between, from Village of Maple HCD Plan, 2007 Vol.3, City of Vaughan

Figure 37 – (Left) Building Footprints Superimposed on Aerial Satellite Map, from Google Maps, 2015, annotated by AREA to show proposed development.

<sup>4</sup> See 9.5.2.1 Site Planning of the Maple HCD Vol.3, May 2007, p.112

The Maple HCD Study and Plan, Vols.1-3, incorporate several recommendations for siting. First, a proposed development should be reflective of its own time by referring to and abiding by presently governing zoning requirements. Second, as also suggested by the 2003 Heritage Review of the District, and as cited in subsection 1.6 of the Maple HCD Vol.1, it is advised that, "...depending on the context of proposed redevelopment, setbacks should not necessarily follow a rigid consistent setback." This integration with surrounding context is directly translated into the guidelines of section 9.5.2.1 of Maple HCD Vol. 3, which recommends that the siting of new buildings should mediate between setbacks of neighbouring properties (Figure 36Figure 36). The Maple HCD Plan recommends new developments to "respect the existing site plan character" by mediating between neighbouring buildings (Figure 36Figure 36).

The March 2019-SP proposes 16 townhouse or semi-detached units to be located within the land assembly comprising 9785-9797 Keele Street (Figures 35 and 37). Within the 21.50-m depth from the centreline of Keele Street, the SP incorporates an approximate 6-m "potential road widening" allowance on the immediate east side of the existing 8-m boulevard, being the portion of road allowance from street curb to (current) property line (Figure 35). The semi-detached units themselves have an approximate 1.80-m front setback to the bay windows from the (future) boundary of the designated road allowance. Visually, the houses' distance from the street line will appear much greater because most (more than 75%) of the brick façade (which are set back from the bay windows) are actually 3.14-m from the road allowance. Overall and excluding the bay windows, the west façade of the proposed structures are approximately  $(6 + 8 + 3.14 =)$  17.14-m from the Keele Street roadway curb. The March 2019-SP also provides landscaped front yards in front of the street-facing houses as elaborated in the Landscape Plan (Figure 38). These landscaped sections will incorporate indigenous trees and plantings that will enhance the existing pedestrian scale of the subject properties.

The property on the south side of the subject properties contains an individually-listed heritage building, also referred to as the Keffer House at 9773 Keele Street (Figures 20, 33 & 37). This historic structure, itself, has an approximate 20-m distance from the Keele Street roadway, but is currently partially screened with a wood board fence at a 1.50-m distance from the 8-m boulevard strip (as discussed in sub-section 6.3). The existing house structure at 5 Barrhill Road, located to the north of the subject properties, has a principal entryway oriented towards Barrhill Road (vs. Keele Street, see Figure 37). This northern property has a side yard, also fenced with wood boards that are directly abutting (0-m setback with) the existing 8-m street boulevard. The west façade of the northern house is also approximately 15-m from Keele Street roadway.

The varying setbacks of the adjacent properties are again, reflective of their construction period. For example, the adjacent southern property, the Keffer House at 9773 Keele St., would have been sited in consideration of topographical elevations or soil characteristics that may have existed during its 1860s-1890s construction period. On the other hand, 5 Barrhill Road, the adjacent northern property, appears to comply with the zoning regulations governing the subdivision development of which it is part.

Based on the March 2019-SP (Figure 35), and as superimposed on the most recent aerial photograph (Figure 37), the semi-detached units are closer to Keele Street compared to the adjacent building at 9773 Keele Street and have almost the same setback (approximately 1-m difference) as the northerly adjacent house (Figure 37). According to their respective cumulative

set back dimensions, the semi-detached units are 17.14-m away from the roadway curb compared to approximately 20-m and 15-m for the buildings to the south and north respectively. The difference between the proposed townhouse units and the most recessed of the existing adjacent buildings is not found to be “extreme”, considering that both adjacent properties are installed with fence-walls that directly abut the sidewalk and boulevard strip. The overall 17.14-m distance of the proposed townhouse units from the street curb has been prevalently applied by recent developments in the District’s southernmost portion. These recent developments have been approved by the the municipality.

As the development of 9773 Keele St. to the south has been firmed up, in its site plan layout, the siting of the subject semi-detached houses has become better integrated. The Keffer House is proposed to be relocated closer to the street line as part of the development application to the south.

The north portion of the adjacent development is shown in the site plan of the 9785-9797 Keele St. townhouses project (Figures 35). According to the building outlines, the relocated Keffer House will be slightly closer to the street line than the Blocks 1 to 4. With this new layout of buildings along the street line, the semi-detached units of 9785-9797 Keele St. are sited compatibly in coordination with the development of 9797 Keele St. With this strategy, the subject development is, therefore, integrated into the streetscape of the District. It continues the District’s prevalent village pattern, and is therefore contributory to its uniqueness and sense of place.

# DESIGN COMPATIBILITY OF PROPOSED DEVELOPMENT

9785 and 9797 Keele St., Vaughan, Ontario  
Location : Village of Maple Heritage Conservation District

Cultural Heritage Resource Impact Assessment  
Date: 22 April, 2019

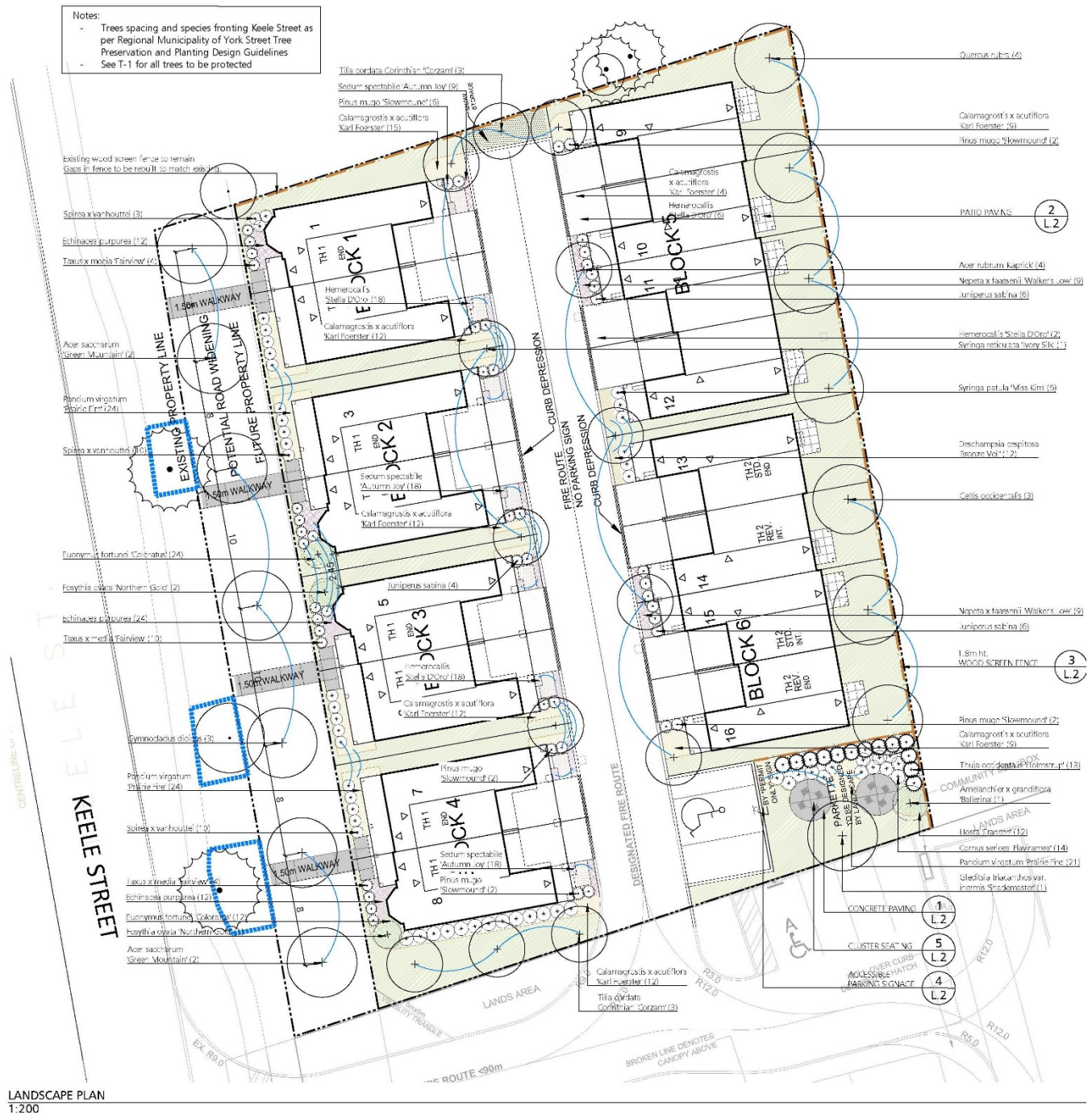


Figure 38 – Landscape Plan, April 11, 2019, BTI Landscape Architecture

## 6.2 Scale and Massing

The adjacent Keffer House is a three-bay plan house structure with a prominent gable end on the north side. This composition and form was distinctively adapted in RN Design's elevations by pairing residential blocks. The March 2019-SDP (Figure 35) illustrates a semi-detached type for the dwelling blocks along Keele Street: Blocks 1 to 4, each with 2 Units. The semi-detached units in Blocks 1 to 4 were paired by design (Figure 39). The paired residential units share the same porch structure to shelter their principal entry ways. The northern and southern units of these paired residential units (Blocks 1 & 4) each also incorporate a two-storey bay window up to a gable to terminate the porches and to mark the corners (Figure 39). The semi-detached houses' (west) elevation design also features three levels of wall planes. For each pair of townhouses, the planes of their façades vary from the most recessed at the doorway in the porch to the most projecting (in the bay window).

The development's proposed height and bay composition also approximately resembles that of the adjacent historic structure (Figure 39). Although the proposed townhouses incorporate an additional third upper storey, the main roof line slopes 'away' and becomes less visible from Keele Street. The visible gable ends from Keele Street feature a roof peak that is the same as the adjacent historic structure. The incorporation of a tri-partite composition of porch, entry doors, and projecting bay-and-gable for each pair of units adopts the adjacent historic structure's 3-bay composition. Overall, the height, scale, and massing of the proposed development recalls and reflects the adjacent heritage building.

These massing and composition strategies serve many purposes. First, they reduce the townhouses' perceived (west) frontage width along Keele Street. The varying wall plane levels allow the incorporation of brick quoins at several corners. The quoins create "jogs" in what would have been a long and continuous wall elevation along Keele Street. The pairing of units and the varying wall plane levels disguise the semi-detached block as a single structure, and give the same appearance as the original, adjacent house structure. Second, the design emulates the frontage width and the geometric form of the adjacent Keffer House, which also has the composition of a southern porch and a northern gable end. While the northern gable end of the Keffer House features a projecting bay, the proposed semi-detached units also incorporate two-and-half-storey projections.

To support provincially-mandated density while respecting the existing heritage character, the subject development proposes a built form that transitions well with the adjacent properties, particularly the neighbouring Keffer House (see Figure 39). Updated elevations within the streetscape rendering are shown in elevation and perspective (Figures 39 & 41). The height as measured from the established average grade to the midpoint of the sloped roofs for the proposed 2½ -storey townhouses and semi-detached blocks is 8.56 metres (Blocks 1 to 4) on their west street-facing elevations.

The Maple HCD Plan Vol.3 allows for adjacent buildings to have a difference in façade height of 1 storey and should be consistent with the City's Zoning By-law:

*Historically appropriate façade heights for residential buildings has been 1 - 1/2 or 2 storeys. The façade height of new residential buildings should be consistent with the façade height of existing buildings. Differences in façade heights between buildings on adjacent properties within the district should be no more than 1 storey. In all instances the*

*height of new buildings shall conform to the provisions of the City's Zoning By-law (Section 4.4.1 e).*

The height of the proposed elevations is within one storey of both adjacent 2-storey houses at 5 Barnhill Rd. and 9797 Keele St. Furthermore, the height of the townhouse and semi-detached units are also consistent with the maximum height provision for its existing zone (R1) which allows for a maximum height of 9.5 metres.

### 6.3 Street Elevation Design

The neighbouring properties at 9773 Keele Street and Barrhill Road incorporate, in their site designs, high board fences that directly abut (or are only 1.50-m away from) the 8-m deep pedestrian boulevard. This fencing enhances privacy at the expense of a diminishing "presence" along Keele Street. The street wall, created by this fencing, weakens the vibrancy and visual interest of this section of Keele Street. The adjacent properties, therefore, do not provide exemplary models to achieve sympathetic site features that enhance the heritage streetscape. This was also noted in subsection 4.2 of the "Village of Maple Heritage Conservation District Study, Volume 2" ('Maple HCD Vol. 2', underline for emphasis), "9773 is a handsome Victorian house on a large well-treed lot. The high board fence and replacement windows are not appropriate to the heritage building." Compared to the wall created by the existing fences, the west façade of the proposed townhouse units (see Figures 39 and 41) creates a dynamic streetwall and a pedestrian-friendly design that also takes inspiration from built elements found within the Maple HCD (see discussion in subsection 8.2 of this CHRIA). Its principal entrances and engaging window fenestration are oriented towards the sidewalk.

Landscaping features are allotted in rows of trees and in planting against the porches to contribute to the District's seasonal interest and colour. A significant feature of the streetscape design of the proposed development is the considerable new landscaping of trees and plantings which will be added to the front yards of the Keele Street-facing houses (Figure 38). This new landscaping will supplement and enhance the retained boulevard trees which will be preserved. The Arborist's Tree Inventory and Preservation Plan identified ten existing street trees on the boulevard in the road allowance which will be protected during construction and elaborated with the new landscaping which includes eight (8) new trees along the frontage. The Maple HCD Design Guidelines recommend to "protect and preserve mature trees" and maintain "the grassed and treed boulevard on Keele Street [which] creates a pedestrian friendly environment." The fullsome streetscape planting also provides a mitigation strategy to mediate and integrate the new development into the Maple HCD.

The proposed Victorian style incorporates variation in terms of detail and colour that will differentiate this project from the south development (9560-70 Keele St.). The elevations also incorporate differentiation amongst the townhouse units within the north development itself.

The architectural features are described in a list and outlined with letter notations on the perspective rendering (Figure 41). It is intended that the composition for these features will be applied to differentiate the outer Blocks 1 & 4 from the inner Blocks 2 & 3. These feature details have precedents within the Village of Maple HCD which will be discussed further below.

The rendering shows different colouring for these street-facing houses in order to “break up” the homogeneity of these semi-detached units. The proposed brick colours of these house façades are as follows:

Blocks 1 & 4 – Outer blocks will have a red brick field (primary) colour with buff (cream) brick accents for quoins, arch voussoirs, banding, etc.

Blocks 2 & 3 – Inner blocks will have a buff (cream) brick field (primary) colour with red brick accents for quoins, arch voussoirs, banding, etc.

Both patterns of brick colouring – red-field/buff-accents and buff-field/red-accents – have precedents within the HCD and in Victorian architecture throughout Ontario. The brick colour patterns are opposite to the south (9560-70) Keele St. development which have the outer blocks in buff-field/red-accents and the inner block in red-field/buff-accents. (The south development actually has some other complications in its brick colour pattern which distinguishes it from this project.) As well, the brick colour of the southern-most Block 4 integrates compatibly with the adjacent Keffer House since they would both have the same red-field/buff-accents pattern. But even within the brick colour pattern, other more detailed decorative masonry features have been incorporated into this design to make it distinct from 9560-70 Keele St.

A chart of the architectural precedents has been created for each of the stylistic features proposed for the house elevations in the 9785-9797 Keele St. development (Appendix G). These architectural features are found in both local nineteenth-century built heritage – identified on the photos under the column “Maple HCD Precedents” – and Victorian architecture throughout Ontario – marked on the photos under the column “Ontario Examples”. This chart of examples for the historically-inspired features to be incorporated into the project design will serve as heritage precedents for the proposed new house elevations. These Victorian architectural features may need further elaboration as the design gets developed.

# DESIGN COMPATIBILITY OF PROPOSED DEVELOPMENT

9785 and 9797 Keele St., Vaughan, Ontario  
Location : Village of Maple Heritage Conservation District

Cultural Heritage Resource Impact Assessment  
Date: 22 April, 2019



Figure 39 – RN Design Concept Elevations, conjecturally incorporated in a streetscape photomontage by AREA to demonstrate the development's relationship with adjacent historic structure, "Keffer House" at 9773 Keele St



Figure 40 – Respectful Development Proposals within the Maple HCD, obtained from the Maple HCD Study Vol.2



## PROPOSED VICTORIAN ARCHITECTURAL FEATURES

- A - TWO-STOREY BAY, MARKING CORNERS OF DEVELOPMENT
- B - ONE-STOREY BAY, INTERIOR UNIT OF DEVELOPMENT
- C - STREET-FACING GABLE JOINS WITH ROOF EAVES
- D - DORMER WINDOW OPEN GABLE, FULLY WITHIN ROOF SLOPE
- E - SQUARE-HEAD WINDOWS 2-OVER-2, WITH SHUTTERS
- F - SEGMENTAL ARCHES WITHOUT SHUTTERS
- G - PORCH PARTIAL& ASSYMETRICAL, ENDS AT BAY WINDOW
- H - PORCH FULL WIDTH, EXTENDS ACROSS ENTIRE FACADE
- I - GABLE, DECORATIVE VERGEBOARD AT END UNITS

Figure 41– Perspective View of Keele St. Façade, incorporating neighbouring Keffer House within the adjacent development at 9773 Keele St., RN Design & Coolaid Studio, April 2019, annotated by AREA to identify variety of Victorian Architecture Features

## 7 IMPACTS OF THE PROPOSED DEVELOPMENT

### 7.1 Demolition of Non-Heritage Buildings

The proposed development seeks to remove the existing single detached houses at 9785 and 9797 Keele Street, and to replace them with newly built townhouse units. As these properties form part of the District, they are subject to the guidelines of the Maple HCD Study and Plan. The Maple HCD Study and Plan anticipated the possibility of demolition for non-heritage properties, as it states (underline for emphasis),

“Generally, the demolition of a Non-Heritage building is not supported if the building is supportive of the overall heritage character of the District.” (Maple HCD Plan, Section 4.3.3., p.20)

Among the four addresses of the two developments by this owner-developer, only the property at 9560 Keele Street was initially subject to a heritage evaluation, as directed by Heritage Planning Staff in May 2014 (Appendix E). However, Heritage Planning Staff subsequently requested heritage evaluation of the buildings on this land assembly of 9785-9797 Keele St. as well.

The houses at 9785 & 9797 Keele Street were subject to the research and evaluation of this CHRIA report (see sections 3 and 4), and were assessed to have insufficient heritage value to be considered as Heritage buildings within the Maple HCD. The houses on this property are Non-Heritage building within the District. The two house properties are the result of subsequent severances to a historic concession lot originally owned by the McDonald family settlers. Built in the 1950s, the houses do not have any associations with a historic figure.

Neither building represents an individual architect's ideas, a formal architectural style, or a landmark status. With these findings, both houses scored low on both the OHA Provincial Criteria, and the City of Vaughan's Built Heritage Evaluation categories that encompass historical, contextual, and architectural values (see section 4). Therefore, because of the absence of heritage criteria, the houses at 9785 & 9797 Keele Street are deemed Non-Heritage buildings and can be appropriately demolished.

The heritage evaluation reports, preceding and comprising this CHRIA, have concluded that both properties at 9785 and 9797 Keele Street are Non-Heritage properties. They incorporate only limited “contributing attributes” to the heritage character of the District such as their building orientation, form and massing, and materials (also see subsection 4.3). These contributing attributes provide opportunities to be “enhanced” by being adopted into the new development. As stated in the Maple HCD Plan Vol. 3, the objectives for Non-Heritage Buildings are (also see Table 10, underline for emphasis),

“...to retain and to enhance complementary characteristics of non-heritage buildings, and to encourage improvements to non-complementary buildings so that they further enhance the heritage character of the District.”

The substitution of these existing non-heritage houses with a new townhouse development provides opportunities for the properties to have an active and contributory role within the Maple HCD.

## 7.2 Balance of Conservation and Growth

Overall, the development supports conservation and growth within the Maple HCD. Its conservation and design strategies accommodate a modest increase in density that is in line with the objectives and recommendations of the Maple HCD Study and Plan, as well as the City of Vaughan's "Official Plan 2010: A Plan for Transformation", as partially approved by the Ontario Municipal Board on July 23, 2013, December 2, 2013, February 3, 2014 and September 30, 2014; with October 2014 office consolidation ("Vaughan OP"). "Schedule 13 Land Use" of Vaughan's OP designates areas within the Maple HCD as,

- a "Local Centre", for land portions within the boundaries of the Historic Village of Maple, and as
- a "Community Area", for properties to the north and south areas of the Historic Village of Maple.

The subject land assembly forms part of the Maple HCD Community Areas, and are therefore governed by Section "2.2.3 Community Areas" of Vaughan's OP. As such, the subject land assembly are characterized to (with "[ ]" for added text, and underlines for emphasis):

- 2.2.3.1 provide most of the City's low-rise housing stock, as well as local-serving commercial uses and community facilities...
- 2.2.3.2. [be] considered Stable Areas...with existing development not intended to experience significant physical change.
- 2.2.3.3. [permit] limited intensification...as per the land use designations on Schedule 13 and in accordance with the policies of Chapter 9 of this Plan.

The subject development proposes three-storey semi-detached and townhouse buildings that meet the criteria for low-rise housing stock, stability, and limited intensification for Community Areas. As defined in the Vaughan OP "9.2.2 Land Use Designations", "Low-Rise Residential" uses are governed by the following policies (with "[ ]" for added text, and underlines for emphasis):

- 9.2.2.1.a ...to consist of buildings in a low-rise form no greater than three storeys,
- 9.2.2.1.b.i ...[to permit] Residential units,
- 9.2.2.1.c.i-ii ...[to permit] Semi-Detached House [and] Townhouse.

Furthermore, the proposed development meets the Vaughan OP 9.1.2.1.a objective, which states that, "in Community Areas, new development will be designed to respect and reinforce the physical character of the established neighbourhood within which it is located." The new development's three-component design strategy, involving siting (6.1), scale and massing (6.2), and street elevation design (6.3) also covered the following elements set out in Vaughan's OP 9.1.2.2:

- a. the local pattern of lots, streets and blocks;
- b. the size and configuration of lots;
- c. the building type of nearby residential properties;
- d. the heights and scale of nearby residential properties;
- e. the setback of buildings from the street;
- f. the pattern of rear and side-yard setbacks; and,
- g. conservation and enhancement of heritage buildings, heritage districts and cultural heritage landscapes.

### 7.3 Densification for Future Economic Viability

One of the objectives for new developments within the Maple HCD is (underline for emphasis) “to ensure compatible infill construction that will enhance the District's heritage character and complement the area's village-like, human scale of development, while promoting densities sufficient to secure the District's future economic viability” (see 6.2 of CHRIA, and 2.4.5 of Maple HCD Vol.3). The subject development proposal supports growth and development while also promoting heritage-compatible strategies to maintain and to enhance the character-defining elements of the Maple HCD.

Increase in density has been the prevalent direction throughout the Maple HCD. This has resulted in developments that have been deemed, for the most part, as successfully compatible following the City's rigorous planning approval process. The Maple HCD studies as well as its resulting Designation By-Law have created thorough and careful development procedures to ultimately guide the success and compatibility of new projects.

The location of the subject properties within the Maple HCD provides sites that are well-fit for moderate densification. This portion of the Maple HCD contains disparate and separated Heritage Properties, built c. 1860s-1920s, which are spread apart from each other. A majority of the properties were previously vacant lots slated for multi-residential developments since the 1960s. At present, at least 4 townhouse developments are approved or undergoing development applications in the vicinity (Figure 25).

With other matters to be addressed under the Planning Act, the City must consult with its appropriate departments and agencies with regard to adjacent uses (ie. compatibility of the size, shape, and the proposed use of the subject lot with the adjacent uses), access considerations, and availability of services. But overall, the strategy of infilling in an existing urban area and heritage conservation district economizes the use of urban space without disrupting the prevalent pattern of both existing and new developments. As the subject proposal complies with the City's applicable policies and guidelines, it perpetuates a desirable pattern of development, such as recent Maple HCD developments that have already been deemed acceptable by the City and its constituents (Figure 40).

## 8 HERITAGE IMPACT & MITIGATION STRATEGIES FOR PROPOSED DEVELOPMENT

### 8.1 Impact on Existing Property

The existing buildings at 9785 and 9797 Keele Street are proposed for demolition. The heritage evaluation of the properties (Sections 3 & 4) concludes that the house structures do not have sufficient contextual, historical, or architectural significance to be among the “heritage properties” within the Maple HCD.

The house structures comprising the subject property lots are not associated with the McDonald or Keffer family settlers. The original McDonald family concession lot was transferred to become the George Keffer farm property. Subsequently, this George Keffer property was subdivided to create the existing property lots at 9785 and 9797 Keele Street. Both 9785 and 9797 Keele Street properties do not have associations with any historical figures or events. The house structures within the property lots are also not associated with any architect or builder, and are not reflective of any formal architectural style.

As an example of 1950s, suburban, housing, the design of both house types reflects only the economic expediency that led to their construction. These types of houses, with their prefabricated templates, helped realize the efforts by homeowners and developers to provide cost-efficient housing. These two house structures are, however, infill structures, and they do not belong to a neighbourhood development that would contribute to the consolidation and establishment of a street “character.”

The heritage designation of the subject properties is only a result of their inclusion within the Maple HCD. The circumstances of the structures’ low heritage value, poor conditions, and their lack of compatibility with the evolving Maple HCD preclude their retention, conservation, or reuse. The structures, by themselves, do not represent the historic period of the District, and are not able to accommodate the pressing demand for the village’s growth and development.

The Maple HCD Study and Plan (Section 4.3.3 of Maple HCD Vol. 3) anticipated the possibility of demolition for non-heritage properties. As it states (underline for emphasis), “generally, the demolition of a Non-Heritage building is not supported, *if* the building is supportive of the overall heritage character of the District.” However, the subject house structures at 9785 and 9797 Keele Street have no heritage value and show intensive alterations and overall neglect. The substitution of these existing non-heritage house structures with a new development of semi-detached and townhouse units is found to be an effective way for the subject properties to acquire an active and contributory role within the Maple Heritage Conservation District (see subsection 3.2. D).

## 8.2 Mitigation Strategy of Historical Complementary Design

In subsection 4.4 of Maple HCD Vol. 3, new residential buildings are prescribed to “have respect for and be compatible with the heritage character of the District.” The built heritage, found within the Maple HCD, is comprised of a rich design language, translated into several architectural styles, elements, features, and decorations, to which the new development must be “sympathetic.” There is no singular prescription in achieving a compatible and a distinguishable design. However, several design techniques have proven to be effective.

Subsection 4.3.2 of Maple HCD Vol. 3 identified two design approaches for new residential developments: a “Modern Complementary” approach and a “Historical Complementary” approach. The current development proposal adopts the latter approach, which is defined by the Maple HCD Vol. 3 as to “give an appearance of an older building.” This is implemented through the application of consistent materials, details, and ornaments that are found from the prevalent Victorian Gothic architectural style within the Maple HCD. However, even this specific design approach can be elaborated in different ways.

RN Design prepared elevation drawings that took inspiration from Maple HCD’s prevalent Vernacular Victorian architectural style to achieve a streetscape façade that integrates with the surrounding and adjacent heritage buildings. For example, the proposed design incorporated a gable roof structure, which is a prevalent building form within the District (also see Figure 21). It also adopts a dichromatic brick envelope (see subsection 8.2.1 and 8.2.2), which took inspiration from the adjacent and nearby heritage structures. This strategy of applying different brick types on adjacent or new additions to a historic structure could be observed from “respectful” recent developments within the Maple HCD (Figures 40).

The townhouse’s decorative features and its overall design took inspiration from, but do not strictly comply with Victorian styling principles. The proposed design avoids a “hybrid” design that inappropriately mixes foreign historical styles. The adaptation of, and deviation from Victorian styling allowed the proposal to meet the requirements of “compatibility” and “distinguishability.” Distinguishability, a widely-accepted concept in heritage conservation, is generally applied to different forms of new work within a historic context. The concept of distinguishability promotes harmony with sufficient restraint. It is also advocated in subsection 4.4 of the Maple HCD Vol. 3, which stipulates that, “the design of new buildings will be products of their own time.” This meticulous balance provides a subordinate form of “distinguishability” from the adjacent historic Keffer House and other Victorian structures within the Maple HCD (Figures 42-45). The following subsections outline the different design strategies of the proposed townhouses:

## 8.2.1 Composition of Masonry Brick Wall

The elevation design took inspiration from the dichromatic brick envelope of the adjacent Keffer House structure. The pattern of red-field/buff-accent and buff-field/red accents (see sub-section 6.3) was emulated with the use of other materials, being modern-size bricks and stone accents. This strategy of applying different brick types on adjacent or new additions to a historic structure could be observed from recent developments throughout the Maple HCD (see Figures 42, 44 & 45). This strategy seeks to maintain subtle distinguishability while maintaining historic masonry patterns and accents.

## 8.2.2 String Course Banding and Quoins

String course banding and quoins in a contrasting (accent) brick colour is found in most of the historic brick buildings of Maple (Figures 42, 44 & 45), including the adjacent Keffer House (Figure 39). The double string courses were incorporated on the base level of each storey and on the gable end of the proposal. This placement of string courses incorporated a somewhat similar height distance between them, thereby creating a unifying and rhythmical banding across the townhouse elevations. The quoins provide a variation in the façade planes and thereby reduce the mass of the townhouse blocks.



Figure 42 – Brick Quoins on Heritage Structure at 9920 Keele Street, (north of subject properties) from Maple HCD Vol.1



Figure 43 – Decorative Wood Trims at the Historic Maple Station, 30 Station Street, from Maple HCD Vol.1



Figure 44 – Reverse Dichromatic Brickwork on the Addition to the Historic Structure at 9901 Keele Street, photo taken by AREA, 2015



Figure 45 – Reverse Dichromatic Brickwork on the Addition to Historic Structure at 9994 Keele Street, photo taken by AREA, 2015

### 8.2.3 Fenestration Design

The proposed design incorporates four types of window design: (1) bay windows on the projecting gable ends, (2) rectangular windows with two-over-two or six-over-six pane patterns of double-hung sashes, (3) a variation of type '2' with shutters, and (4) dormer windows with, again, two-over-two or six-over-six sashes. Window types in the proposed townhouse units are rectangular or segmentally arched. The detailing is simple with the windows' square-headed shape. The proportions are also mostly taller than they are wide just as the prevalent window sizes throughout the Maple HCD (see Figures 46-47). The bay windows (window type '(1)') incorporate a two-storey variation of a Victorian bay window (Figure 47). These window types are true to the development's overall design approach, and are derived from Maple HCD's character-defining architectural features.

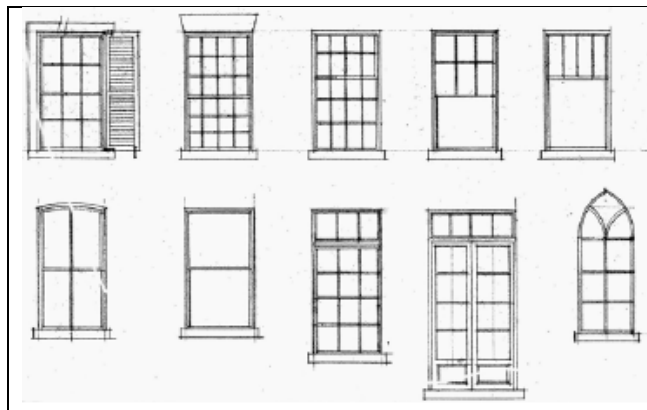


Figure 46 – Illustration of Prevalent Window Design in Maple HCD, mostly with 2:1 ratio from subsection 9.2.4 of the Maple HCD Vol. 3

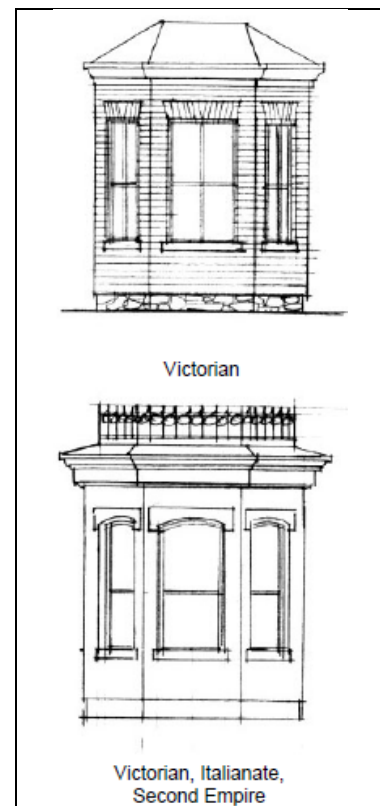


Figure 47 – Common Bay Window Designs in Maple HCD from subsection 9.2.5 of the Maple HCD Vol. 3

The proposed townhouse design therefore is distinguishable but historically complementary. It adapted the form and massing of the adjacent Keffer House while managing to incorporate an inconspicuous play and modification of strict Victorian styling. Yet, the design proposal's incorporated "modifications" remain indigenous to the Maple HCD area, which reflects subsection 4.4 of the Maple HCD Vol.3 that provides ('[]' for added text), "...but [new buildings] should reflect one of the historic architectural styles traditionally found in the District." The proposed townhouse design for example, incorporated decorative timbering that are found among other Maple HCD historic structures (see Figure 43).

### 8.3 Compatibility of Development within District

The subject development proposal seeks to introduce 16 residential units in replacement of 2 single-family detached house structures. This objective fits the location of the subject properties, which are located outside the central core of the Village of Maple (Figures 4, 13 & 14) at the intersection of Keele St. and Major Mackenzie Dr. Within the immediate proximity, 1860s-1920s house structures are rather dispersed. This resulted in a majority of property lots being treated as sites for new developments since the 1960s. At present, at least 4 townhouse developments are under development applications, approved or underway (Figure 25).

The proposed townhouse development incorporates various design strategies in terms of siting (6.1), scale and massing (6.2), and street elevation design (6.3). The new development proposal is conscientious in terms of building placement, site setbacks, site allowances, building height, and blocking. At street level, it promises to enliven the Keele Street streetscape. The characteristics of the existing Maple HCD context – its “villagescape” – comprised of a variety in setbacks, the mixture of built forms, its pedestrian-friendly scale, abundance of trees, etc. (see 3.2.1), must be consistently conserved. The proposed townhouse development incorporates and follows mitigation strategies that are recommended by the City’s policies and guidelines with regards to the Maple HCD. It is the opinion of this CHRIA that the subject development proposal supports and advances City’s goals and objectives as identified in its Official Plan and the Maple HCD.

## 9 DESIGN REVISIONS & RECOMMENDATIONS

### 9.1 Design Consultation

This April 2019 revision of the CHRIA incorporates several updates since the earlier reports of June/July/August 2015 and August 2017. The City Cultural Heritage Coordinator, Katrina Guy, provided Memoranda on June 1 and August 16, 2018 with comments about the proposed design and the original CHRIA. In addition, several discussions and meetings have occurred between the owner accompanied by their planning consultant, Weston Consulting, and City Staff from Planning Department and Urban Design and Cultural Heritage Sections. This revised CHRIA report incorporates the design revisions and other responses to the City Comments.

### 9.2 Commemorative Measures & Concluding Recommendation

The City's CHRIA Guidelines identifies three types of mitigation options: (i) "Avoidance Mitigation" permits developments to proceed with the retention of the subject buildings in-situ; (ii) "Salvage Mitigation" explores the possibility of building relocation or architectural salvage; while, (iii) "Historical Commemoration" recalls the historical development of the property and the subject buildings through a feature within the new development.

Among the three types of mitigation options, only "(iii)" Historical Commemoration" is suitable for the subject property. The deteriorating conditions of the buildings within the property will not permit their in-situ retention or their relocation within the combined land assembly. But most importantly, their low cultural significance does not warrant their retention or even partial salvage of these modest structures. However, Historical Commemoration – as opposed to physical retention – can be achieved with the following measures: (1) partial salvage, (2) documentation through drawings or photographs, (3) naming of streets and public spaces, or (4) installation of historical plaques. In particular, the historical documentation contained in this report can be incorporated into commemorative measures such as the following:

- the design of landscaping features,
- naming of public parks,
- naming of proposed private streets, and/or
- historical plaque(s) or interpretative panel(s).

This CHRIA considerations must however, be finessed, to avoid misconstruing history. For example, the private lane within the new residential development may be named, for example, "Keffer Street" versus "McDonald Street" since the subject property lots are direct derivations of the George Keffer property, and not the James or John McDonald property. Some mitigation options, such as '(1) partial salvage' and '(2) documentation', are only applicable if the house structures, proposed for demolition, possess unique physical attributes that are worth salvaging. However, the simplicity of the subject house structures will not yield salvageable materials and assemblies, worthy to be displayed or kept for future references. So only the commemorative options of (3) street names, and (4) historical plaques are applicable to these lands.

As a form of Historical Commemoration, research-related information, contained in this CHRIA and other component studies for the subject development, may be incorporated into an information depository. Such records will aid in the planning of the project and other future developments in the area.

### 9.3 Concluding Recommendation

These and other submissions for various applications will require the City's heritage approval through the Heritage Planning staff, Heritage Vaughan Committee, and ultimately, Council. Therefore, during the development process, the City heritage authority will have the opportunity to review and approve the heritage compatibility of this project.

It is the opinion of this CHRIA that the subject development proposal is acceptable for incorporation within the Village of Maple Heritage Conservation District. It is a fine example of an infill residential development that is developed carefully and sympathetically with its heritage context.

## 10 APPENDICES

- Appendix A. City of Vaughan, Guidelines for Cultural Heritage Resource Impact Assessment ('GfCHRIA')
- Appendix B. City of Vaughan, Built Heritage Evaluation Form (BHEF)
- Appendix C. City of Vaughan, Vaughan Heritage Inventory, Extract, pp. 1 & 24
- Appendix D. City of Vaughan, Village of Maple Heritage Conservation District, Property Inventory
- Appendix E. Correspondence with Vaughan Heritage Staff, May 12, 2014
- Appendix F. Site Plan, March 15, 2019, RN Design
- Appendix G. Victorian Architecture Features Precedents & Examples
- Appendix H. Qualifications of AREA, and David Eckler

## Appendix A. City of Vaughan, Guidelines for Cultural Heritage Resource Impact Assessment ('GfCHRIA')



### **GUIDELINES FOR CULTURAL HERITAGE RESOURCE IMPACT ASSESSMENT REPORTS**

#### ***Policy Provisions for Cultural Heritage Resource Impact Assessment Reports***

On June 27, 2005, Council approved a document entitled "Strategy for the Maintenance & Preservation of Significant Heritage Buildings". Section 1.4 of the 'Strategy' has the following provision as it relates to Cultural Heritage Resource Impact Assessment requirements:

"Policy provisions requiring Cultural Heritage Resource Impact Assessment reports by heritage property owners shall be included in the City's Official Plan and Official Plan Amendments. Cultural Heritage Resource Impact Assessment (CHRIA) reports will provide an assessment of the heritage site or property and the impact the proposed development will have on the heritage structure. CHRIA reports will also include preservation and mitigation measures for the heritage property."

In addition, Section 4.2.6.4 of OPA 600 policy states, in part, the following:

#### **(i) Block Plans**

The City shall require that a comprehensive Cultural Heritage Resource Impact Assessment be prepared by a qualified heritage consultant as supporting material for a Block Plan. The purpose of the Cultural Heritage Resource Impact Assessment is to document and assess existing heritage features including buildings and other structures, sites, landscapes, areas and environments by means of historical research, photographic documentation and architectural assessment and an archaeological resource assessment.

#### **(ii) Cultural Heritage Assessment**

A detailed Cultural Heritage Resource Impact Assessment prepared by a qualified cultural heritage consultant may be required for development applications which affect either directly or indirectly, an individual property or a group of properties identified in the Inventory, archaeological sites or other significant heritage features.

As a result of the above policy statements, a Cultural Heritage Resource Impact Assessment may be requested by the City of Vaughan as part of the block plan development process for OPA 600 lands.

Buildings identified in the City's "*Listing of Buildings of Architectural and Historical Value*" or listed in the "*City of Vaughan Heritage Inventory*" may be subject to review in a Cultural Heritage Resource Impact Assessment.

A Cultural Heritage Resource Impact Assessment should not be confused with an archaeological resource assessment. To better differentiate the two, a cultural heritage assessment will identify, evaluate and make recommendations on *built heritage resources and cultural landscapes*.

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***Guidelines for Cultural Heritage Resource Impact Assessment Reports  
Updated September 2012***

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Conversely, an archaeological resource assessment identifies, evaluates and makes recommendations on *archaeological resources*.

### ***Purpose***

The purpose of undertaking a Cultural Heritage Resource Impact Assessment is to identify and evaluate cultural heritage resources in a given area (i.e. real property) to determine the impact that may result from a specific undertaking or development of the subject property. As a result of this assessment process by a qualified consultant, the following is to be determined:

1. Whether a building is significant and should be preserved and incorporated within the proposed development. If the building is not considered significant, valid reasons on why it is not should be presented in the Impact Assessment report.
2. Preservation option (as found below) for the significant building and how it will be preserved or incorporated in a development (whether commercial or residential).

### ***Requirements of a Cultural Heritage Resource Impact Assessment***

The requirement of a Cultural Heritage Resource Impact Assessment shall be identified and requested by Cultural Services staff in its review of development applications as circulated by the Vaughan Planning Department for comment. Notification of the requirement to undertake a Cultural Heritage Resource Impact Assessment shall be given to a property owner and/or his/her representative as early in the development process as possible. Cultural Services staff will identify the known cultural heritage resources on a property that are of interest or concern.

In conjunction to the requirements set out in these guidelines, please refer to Ontario Heritage Toolkit, InfoSheet #5, as it assists in the understanding of the Provincial Policy Statement, 2005 policies related to the conservation planning of cultural heritage and archaeological resources.

The following items are considered the minimum required components of a Cultural Heritage Resource Impact Assessment report:

1. The hiring of a qualified heritage consultant to prepare the Cultural Heritage Resource Impact Assessment report. It is recommended that the consultant be a member of C.A.H.P. (Canadian Association of Heritage Professionals).
2. A concise history of the property and its evolution to date.
3. A history and architectural evaluation of the built cultural heritage resources found on the property.
4. The documentation of all cultural heritage resources on the property by way of photographs (interior & exterior) and /or measured drawings, and by mapping the context and setting of the built heritage.
5. An outline of the development proposal for the lands in question and the potential impact the proposed development will have on identified cultural heritage resources.
6. A comprehensive examination of the following preservation/mitigation options for cultural heritage resources. Recommendations that result from this examination should be based

***Guidelines for Cultural Heritage Resource Impact Assessment Reports  
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on the architectural and historical significance of the resources and their importance to the City of Vaughan's history, community, cultural landscape or streetscape. The options to be explored include (but are not limited to):

#### ***Avoidance Mitigation***

Avoidance mitigation may allow development to proceed while retaining the cultural heritage resources in situ and intact. Avoidance strategies for heritage resources typically would require provisions for maintaining the integrity of the cultural heritage resource and to ensure it does not become structurally unsound or otherwise compromised. Feasible options for the adaptive re-use of built heritage structure or cultural heritage resources should be clearly outlined.

Where preservation of the entire structure is not feasible, consideration may be given to the preservation of the heritage structure/resource in part, such as the main portion of a building without its rear, wing or ell addition. The preservation of facades only, while not a preferred option, may be considered.

#### ***Salvage Mitigation***

In situations where cultural heritage resources are evaluated as being of minor significance or the preservation of the heritage resource in its original location is not considered feasible on reasonable and justifiable grounds, the relocation of a structure or (as a last resort) the salvaging of its architectural components may be considered.

#### ***Historical Commemoration***

While this option does not preserve the cultural heritage of a property/structure, historical commemoration by way of interpretive plaques, the incorporation of reproduced heritage architectural features in new development, or erecting a monument-like structure commemorating the history of the property, may be considered.

#### ***Review/Approval Process***

Four copies of the Cultural Heritage Resource Impact Assessment shall be distributed to the City of Vaughan: 2 copies to the Vaughan Planning Department and 2 copies to the Cultural Services Department (one copy shall be stored for research purposes in the City of Vaughan Archives).

Staff will determine whether the minimum requirements of the Impact Assessment have been met and review the conclusions and recommendations outlined in the subject report. City staff will meet with the owner/applicant to discuss the Impact Assessment report and recommendations contained therein.

Heritage Vaughan Committee, a statutory advisory committee to Vaughan Council, will also review all Impact Assessment reports. Heritage Vaughan Committee may make recommendations to Vaughan Council with regards to the recommendations contained in the subject reports.

The preparation and submission of a Cultural Heritage Resource Impact Assessment report may be a required condition of approval for development applications and draft plan of subdivision applications.

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***Guidelines for Cultural Heritage Resource Impact Assessment Reports  
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Any questions or comments relating to these guidelines may be directed to:

**Cecilia Nin Hernandez, B.E.D.S, M.Arch**  
**Cultural Heritage Coordinator**  
Cultural Services Division, Department of Recreation and Culture  
2141 Major Mackenzie Drive, Vaughan, ON., L6A 1T1  
Phone: (905) 832-8585, ext. 8115  
Fax: (905) 832-8550  
[cecilia.nin@vaughan.ca](mailto:cecilia.nin@vaughan.ca)

**Daniel Rende, M.Pl.**  
**Cultural Heritage Coordinator**  
Cultural Services Division, Department of Recreation and Culture  
2141 Major Mackenzie Drive, Vaughan, ON., L6A 1T1  
Phone: (905) 832-8585, ext. 8112  
Fax: (905) 832-8550  
[daniel.rende@vaughan.ca](mailto:daniel.rende@vaughan.ca)

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## Appendix B. City of Vaughan, Built Heritage Evaluation Form (BHEF)

### **BUILT HERITAGE EVALUATION FORM**

BUILDING/STRUCTURE ADDRESS:  
LOT: CON:

COMMUNITY:

COMMON NAME OF BUILDING/STRUCTURE (IF KNOWN):

<b><u>ARCHITECTURE</u></b> (Maximum 80 points)		<b>TOTAL ARCHITECTURE:</b>	
<b>STYLE</b>	<b>EVALUATION CRITERIA</b>	<b>GRADING</b>	<b>COMMENTS</b>
Good, notable, rare, unique, or early example of a particular architectural style or type. Exterior architectural style only should be evaluated. (i.e. change in roofline, skylights, additions, or removal of features, etc. that have changed the style of the building.)	E-Excellent to very good or extremely early example of its style.	E – 20	
	VG-Good example of its style with little to no changes to the structure.	VG – 15	
	G- Good to fair example of its style (e.g. style evident in structure, however changes have occurred to building).	G- 8	
	F/P- Style is not evident or considered a good example.	F/P – 0	
<b>CONSTRUCTION</b>	<b>EVALUATION CRITERIA</b>	<b>GRADING</b>	<b>COMMENTS</b>
Good, notable, rare, unique, or early example of a particular material or method of construction. (i.e.) log construction, pre-1850, stone, board on board construction, etc.)	E-Excellent or early example of its construction method.	E – 10	
	VG- Good or early example of its construction method.	VG – 8	
	G/F- Good to fair example of its construction method.	G/F- 5	
	P- Construction method is not significant in nature nor is it of particular interest.	P – 0	
<b>AGE</b>	<b>EVALUATION CRITERIA</b>	<b>GRADING</b>	<b>COMMENTS</b>
Comparatively old in the context of the City of Vaughan's architectural history.	E- Built between dates 1790-1820.	E – 5	
	VG- Built between dates 1821-1910.	VG – 3	
	G- Built between dates 1911-1939.	G- 2	
	F/P- Built since 1940.	F/P – 0	
<b>INTERIOR</b>	<b>EVALUATION CRITERIA</b>	<b>GRADING</b>	<b>COMMENTS</b>
Integrity of interior arrangement, finish, craftsmanship, and/or detail are particularly attractive or unique and/or still exist.	E- Excellent interior (80-100% intact).	E – 5	
	VG- Very good interior (70-79% intact).	VG – 3	
	G- Good interior (50-69% intact).	G- 2	
	F/P- Fair or poor (0-49% intact).	F/P – 0	

ALTERATIONS	EVALUATION CRITERIA	GRADING	COMMENTS
Building has undergone minor exterior alterations, and retains most of its original materials and design features.  Checklist includes: Original Exterior Siding 30% Windows/doors 30% Veranda/s/trim 30% Foundation/location 10% Structural Plan (no modern or sympathetic additions) 10%	E- Exterior of building is unchanged. (90-100% intact)	E - 20	
	G- Exterior of building has changed somewhat, but character retained. (61-89% intact)	G- 15	
	F- Exterior of building has changed somewhat and original character compromised. (40-60% intact)	F- 8	
	P- Original exterior character destroyed. (0-30% intact)	P - 0	

CONDITION	EVALUATION CRITERIA	GRADING	COMMENTS
Exterior/interior of building is in good structural condition (i.e. evidence of decay in exterior siding, roof, or interior basement, wall surface, flooring, or ceiling, suggesting structure to be unsound.)  Checklist: Exterior Siding/Gutters (cracks, spalling) Roof/Interior Ceiling/Gutters Flooring, unstable, depressions Interior Wall surface, cracks, etc Basement (leaks mold, dry or wet rot on beams)	G- Good structural condition. (No evidence of decay)	G- 20	
	S- Somewhat good structural condition. (Minor/little evidence of decay)	S - 15	
	F- Fair structural condition (Some (i.e. 2 from adjacent list) evidence of decay).	F- 10	
	P- Poor structural condition. (Significant/considerable evidence of decay.)	P- 0	

### **HISTORICAL SIGNIFICANCE** (Maximum 5 points)

### **TOTAL HISTORY:**

HISTORICAL SIGNIFICANCE	EVALUATION CRITERIA	GRADING	COMMENTS
Structure is associated with the life or activities of a person, group, organization or event significant to the history of Vaughan, or illustrative of the community's cultural social political, economic or industrial history.	E- Individual, group, event or site of primary significance to the surrounding community. (Political official, prominent community member, religious leader, significant site/landmark in history of Vaughan.)	E- 5	
	VG- Individual, group, event or site of some significance to the surrounding community. (Owner /family was long-standing member/s of community.)	VG- 3	
	M- Individual, group, event or site of minor or little significance to the surrounding community. (No historical background on structure or individual that built structure or family.)	M-2	
	F/P- Site, structure, has no significance to Vaughan's history.	F/P- 0	

**ENVIRONMENT**  
(Maximum 15 points)

**TOTAL  
ENVIRONMENT:**

ENVIRONMENT/STREETSCAPE/COMMUNITY	EVALUATION CRITERIA	GRADING	COMMENTS
Structure contributes to the continuity or character of the street, community, or area.	E- Of particular importance in establishing the dominant/historic character of the area, community, or streetscape.	E – 15	
Heritage buildings in a rural areas (i.e. former farm buildings), not yet developed or part of a Block Plan development, that have a good architectural rating should be rated for its community and/or contextual significance based on the criteria defined.	VG- Of importance in establishing or maintaining the dominant/historic character of the area, landscape, streetscape, or significant to the community for its architectural value (i.e. received a 79+ rating under the architectural evaluation portion of this form).	VG –10	
	G- Compatible with the dominant character of the area or streetscape or considered of some significance to the rural architectural history of the area/community (i.e. building is not part of historic streetscape, but an architecturally good building, based on a high evaluation under the architectural evaluation section of this form/64-79 total.)	G –8	
	F/P- Incompatible with the dominant character of the area, streetscape and of no particular significance architecturally to the community, based on its architectural evaluation in the first section of this form/0-64 total.	F/P – 0	

GRADING:

TOTAL

**KEY TO GRADING**

80-100 = GROUP A –VERY SIGNIFICANT

65-79=GROUP B- SIGNIFICANT

40-64 =GROUP C- MODEST SIGNIFICANCE

0-39= GROUP D – LITTLE OR NO SIGNIFICANCE

## Appendix C. City of Vaughan, Vaughan Heritage Inventory, Extract, pp. 1 & 24



### City of Vaughan Heritage Inventory

The City of Vaughan Heritage Inventory includes:

- **all individually designated properties**  
(Buildings or structures designated under Part IV of the Ontario Heritage Act.)
- **all properties within a Heritage Conservation District**  
(Buildings or structures designated under Part V of the Ontario Heritage Act.)
- **all properties in the *Listing of Buildings of Architectural and Historical Value***  
(The City of Vaughan's Register of Property of Cultural Heritage Value as per Part IV, Subsection 27 of the Ontario Heritage Act (approved by Council on June 27, 2005.)
- **all properties of interest to Cultural Services Division**  
(After further review or research, these properties may be determined to have cultural heritage significance.)

<b>Address</b>	Properties are arranged alphabetically by street name and then street number
<b>Bldg</b>	Multiple buildings or structures within the same municipal address are identified by a letter
<b>LSHS</b>	Building or structure included in the <i>Listing of Buildings of Architectural and Historical Value</i> . <i>Approved by Council in 2005, commonly known as <b>Register of Property of Cultural Heritage Value</b></i>
<b>Part IV</b>	Building or structure designated under Part IV of the Ontario Heritage Act
<b>Part V</b>	Building or structure is within a Heritage Conservation District and, therefore, designated under Part V of the Ontario Heritage Act
<b>HCD</b>	(KN) Kleinburg-Nashville Heritage Conservation District (T) Thornhill Heritage Conservation District (M) Maple Heritage Conservation District (W) Woodbridge Heritage Conservation District

Vaughan Heritage Inventory

	Property Address	Name	Architectural Style	Year Built	Registered in LSHS	Part IV	Part V	HCD
400	9519 Keele Street						✓	M
401	9560 Keele Street						✓	M
402	9570 Keele Street						✓	M
403	9575 Keele Street						✓	M
404	9580 Keele Street						✓	M
405	9589 Keele Street						✓	M
406	9593 Keele Street						✓	M
407	9597 Keele Street						✓	M
408	9600 Keele Street						✓	M
409	9611 Keele Street						✓	M
410	9631 Keele Street						✓	M
411	9635 Keele Street						✓	M
412	9643 Keele Street						✓	M
413	9649 Keele Street						✓	M
414	9652 Keele Street						✓	M
415	9654 Keele Street						✓	M
416	9655 Keele Street						✓	M
417	9656 Keele Street						✓	M
418	9664 Keele Street						✓	M

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## Appendix D. City of Vaughan, Village of Maple Heritage Conservation District, Property Inventory

### Village of Maple, City of Vaughan

### Inventory

#### Keele Street (east side)



#### 9797 Keele Street

- 1½ storey (rendered) Cape Cod house with cantilevered rectangular bay window (c. 1940).
- **Description** – Modest pitched-roof bungalow has been substantially altered over the years, with render assumed to cover original exterior wall surface, which is assumed to have been red brick, as at (rebuilt) single-vent central chimney. Projecting, central bay window was probably clad in wooden siding, as remains at north and south gables, and would have been a decorative feature. Windows have been replaced and original window types, probably with smaller, multiple-pane upper sashes over taller, single-pane lower sashes, are now gone.
- **History** – 1968: “the home of Agnes Witherspoon” (source unknown).
- **Comments** – A once-attractive house which is the lone representative of its type in Maple. Small house is unfortunately much compromised by later alterations, though restoration would not be difficult; and an addition could be easily accommodated at rear of house. Garage is a later addition, and without heritage value. Very large lot has large deciduous tree at NW corner, and tall conifer at SE corner.

Nicholas A. Holman MA, OAQ

November 2005

## Appendix E. Correspondence with Vaughan Heritage Staff, May 12, 2014

**From:** Rende, Daniel <Daniel.Rende@vaughan.ca>  
**Sent:** May 12, 2014 4:52 PM  
**To:** 'Julia Pierdon'; deckler@areaarchitects.ca; Ryan Guetter; Paul Lorusso  
**Cc:** Nin Hernandez, Cecilia; Palermo, Angela  
**Subject:** RE: Keele Street Heritage call  
**Attachments:** Pages from Maple HCD Inventory.pdf; Pages from Maple HCD Inventory-2.pdf; Copy of CHRIASept 2012.pdf

Hi all,

Please find attached extracts from the Heritage Inventory, which is Volume 1 of the Plan, for 9560, 9570, and 9797 Keele Street. I was not able to find the page for 9795 Keele.

9560 Keele street is the building that requires an HIA, referred to as a Cultural Heritage Resource Impact Assessment by Vaughan staff. I have attached the requirements for a CHRIA.

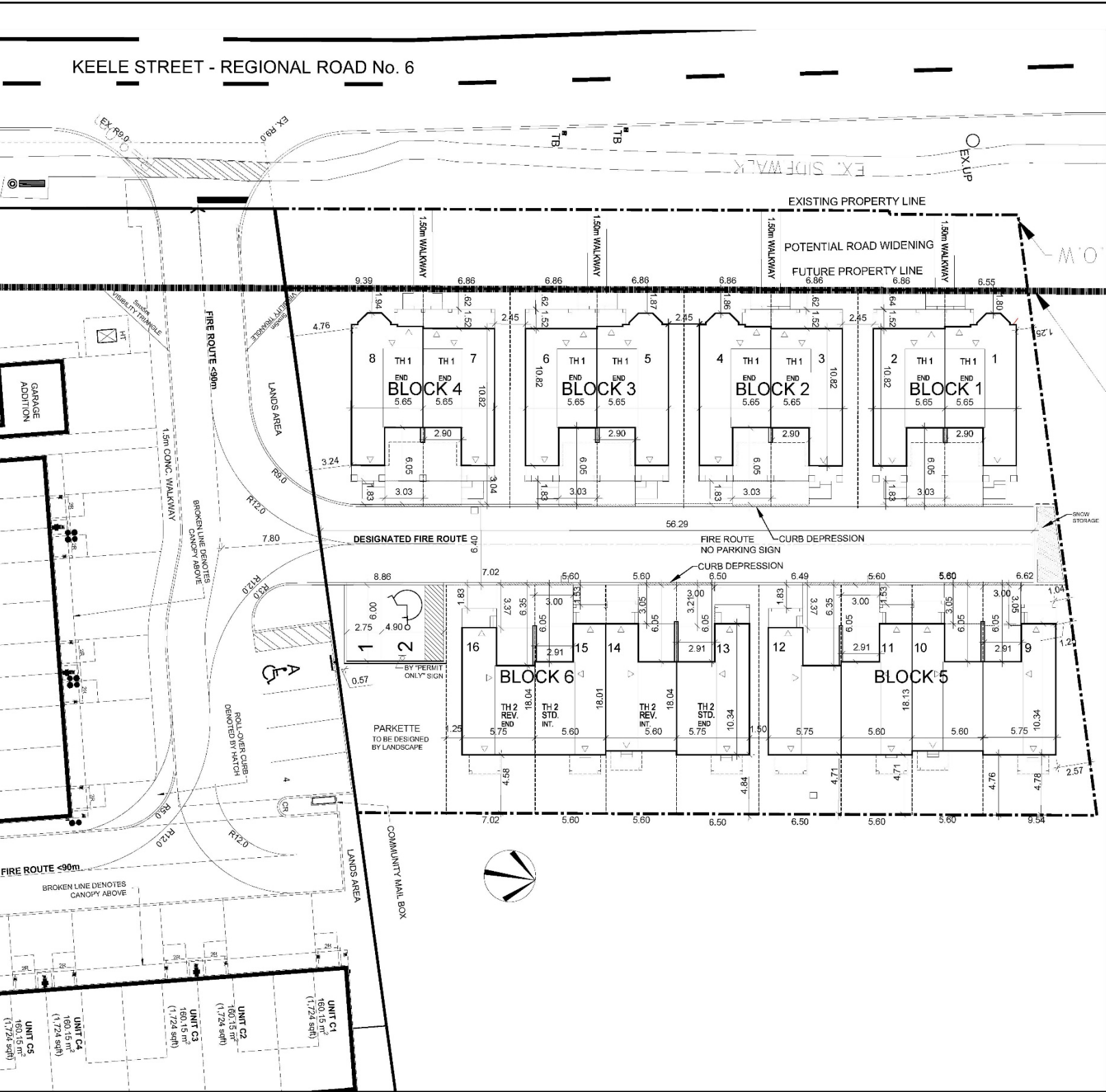
I do not have an electronic version of Volume 2 of the Maple HCD Guidelines, but I will send one if I manage to find or upload an electronic version.

Please contact me with any questions.

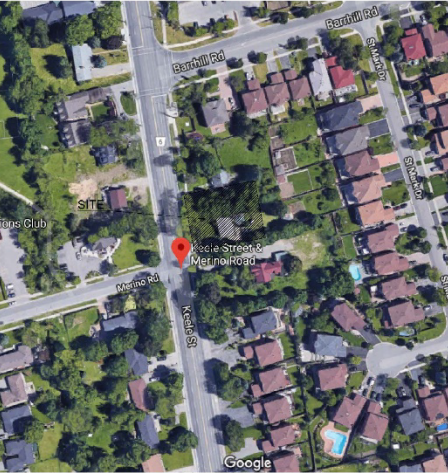
Regards,

**Daniel Rende, M.Pl.**  
Cultural Heritage Coordinator  
City of Vaughan  
905-832-8585 x8112  
[Daniel.Rende@Vaughan.ca](mailto:Daniel.Rende@Vaughan.ca)

Appendix F. Site Plan, March 15, 2019, RN Design



KEY PLAN N.T.S



Site Statistics			
Address: 9785, 9797 Keele Street, Vaughan, Ontario			
2. Site Area	Area (Sq. m.)	Area (Acres)	
Total Site Area	2523.35	0.21	
3. Zone	Area (Sq. m.)	Percentage (%)	
Residential	1578.05	62.54	
Landscaping/Open Space	725.13	28.73	
Lot Coverage (B) Buildings, Porches, Decks, Balconies, Pools and other structures	1007.78	40.33	
Lot Coverage (C) Landscaping	243.35	9.67	
4. Units per Block (UPB)			
Block 1	2	2	
Block 2	2	2	
Block 3	2	2	
Block 4	2	2	
Block 5	2	2	
Block 6	2	2	
Total	12	12	
5. Gross Floor Area (GFA)			
Block 1	654.18		
Block 2	654.18		
Block 3	654.18		
Block 4	654.18		
Block 5	654.18		
Block 6	654.18		
Total	3925.08		
6. Floor Space Index (FSI)			
Block 1	1.89		
Block 2	1.89		
Block 3	1.89		
Block 4	1.89		
Block 5	1.89		
Block 6	1.89		
Total	11.34		
7. Building Height (Maximum)			
Block 1	12 m		
Block 2	12 m		
Block 3	12 m		
Block 4	12 m		
Block 5	12 m		
Block 6	12 m		
Total	12 m		
8. Amenity Area			
TH-1 (Terrace)	3.72		
TH-2 (Terrace)	3.72		
TH-3 (Deck)	3.72		
Common Area	118.63		
Total	125.78		
9. Building Height			
Block 1	8.54		
Block 2	8.54		
Block 3	8.54		
Block 4	8.54		
Block 5	8.54		
Block 6	8.54		
Total	50.86		
10. Setbacks (Minimum)			
Front	1.0 m		
Side	0.9 m		
East	4.5 m		
West (Abutting Keele St.)	1.7 m		
11. Parking Space			
Number of Resident's Parking	Required: 30, Provided: 30		
Number of Visitor's Parking	Required: 1, Provided: 1		
Number of Barrier-Free Parking	Required: 1, Provided: 1		

THESE DRAWINGS ARE NOT TO BE SCALED.  
ALL DIMENSIONS SHALL BE VERIFIED BY CONSTRUCTION FROM THE  
COMPARISON OF ANY WORK. ANY DISCREPANCIES SHALL BE  
REPORTED IMMEDIATELY TO RN DESIGN LTD.

PROJECT COMMENTS:

NO.	DESCRIPTION	DATE	ISSUED	CHK
1	PRELIMINARY SITE PLAN FOR REVIEW	JUNE 13/18	MS	MS
2	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
3	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
4	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
5	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
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17	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
18	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
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28	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
29	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS
30	REVISIONS TO PRELIMINARY SITE PLAN	JUNE 13/18	MS	MS

CLIENT

LAURIER HARBOUR (KEELE) INC.

PROJECT LOCATION









9785, 9797 KEELE STREET  
VAUGHAN, ONTARIO

DRAWING

SITE PLAN

DATE	SCALE
JUNE 13-18	1:150
DRAWN BY	CHECKED BY
BJ	MS
PROJECT NUMBER	DRAWING NUMBER
17005	SP100

## Appendix G. Victorian Architecture Features Precedents & Examples

VICTORIAN ARCHITECTURE FEATURES	MAPLE HCD PRECEDENTS	ONTARIO EXAMPLES
A - TWO-STOREY BAY	 9773 KEELE STREET	 TORONTO, ONTARIO IMAGE SOURCE: URBANEER.COM
B - ONE-STOREY BAY	 1 JACKSON STREET	 LYNDEN, ONTARIO IMAGE SOURCE: ONTARIOARCHITECTURE.COM
C - STREET-FACING GABLE BELOW ROOF RIDGE	 10,125 KEELE STREET	 BARRIE, ONTARIO IMAGE SOURCE: ONTARIOARCHITECTURE.COM
D - DORMER WINDOW OPEN GABLE	 10,101 KEELE STREET	 ELLORA, ONTARIO IMAGE SOURCE: ONTARIOARCHITECTURE.COM
E - SQUARE-HEAD WINDOWS 2 OVER 2	 9801 KEELE STREET	 PORT DALHOUSIE, ONTARIO IMAGE SOURCE: ONTARIOARCHITECTURE.COM

VICTORIAN ARCHITECTURE FEATURES	MAPLE HCD PRECEDENTS	ONTARIO EXAMPLES
F- SEMI-CIRCULAR & SEGMENTAL ARCHES	 <p>2,339 MAJOR MACKENZIE</p>	 <p>TORONTO, ONTARIO IMAGE SOURCE: ONTARIOARCHITECTURE.COM</p>
G- PORCH PARTIAL & ASYMMETRICAL	 <p>9920 KEELE STREET</p>	 <p>BROCKVILLE, ONTARIO IMAGE SOURCE: ONTARIOARCHITECTURE.COM</p>
H- PORCH FULL WIDTH	 <p>9715 KEELE STREET</p>	 <p>BROCKVILLE, ONTARIO IMAGE SOURCE: ONTARIOARCHITECTURE.COM</p>
I- GABLE DECORATIVE VERGE BOARD	 <p>9715 KEELE STREET</p>	 <p>BARRIE, ONTARIO IMAGE SOURCE: ONTARIOARCHITECTURE.COM</p>

## Appendix H. Qualifications of *AREA* and David Eckler



### FIRM PROFILE | HERITAGE & MUSEUM WORK

**AREA** is a full service firm, based in Toronto and operating across Canada, which specializes in the restoration and adaptive re-use of historic buildings, urban design for heritage streetscapes and approvals under the Ontario Heritage Act. The firm has a history extending over 30 years of practice, and is managed by 2 principals and 8 technical staff – including intern architects, interior designers and architectural technologists – with experience in the documentation and restoration of historic buildings and sites. Although we are qualified for heritage and museum projects, the members of our firm have also undertaken a wide range of institutional and commercial projects often involving the integration of historic components into new developments.

**AREA** and its staff are members of various heritage associations and advisory boards across Canada. David Eckler, B.E.S., B.Arch., OAA, MRAIC is an active member in many heritage associations including the Architectural Conservancy of Ontario Advisory Board. He is a former Vice-Chair of Heritage Toronto, which advised Toronto City Council on heritage matters as a LACAC under the Heritage Act. Bernard Rasch, B.Arch., PPOAA, FRAIC, ARIBA has served on a number of heritage committees and boards including the Markham District Historical Society and City of York Historical Committee and the Metro Board of Management for The Guild from 1984 to 1998 where he served in many positions including Chair & Vice-Chair of the Board.

#### Historical Façade Improvement Guidelines & Heritage Districts

- Stouffville Main Street Revitalization, 1998, DEA was presenter at workshop
- Yonge Street Commercial Façade Improvement Program, 1996, received City approval of grant
- Woodstock Façade Improvement Program, 1995, DEA initiated program for City
- Hazelton-Yorkville Area Heritage Conservation District Study, City-sponsored study
- Fergus Downtown Community Masterplan & Design Guidelines

#### Historic Museums, Institutional & Cultural Buildings

- Officers' Quarters (1830), Military & Naval Establishment, Discovery Harbour, Penetanguishene
- Spence Half-Way House Restoration (c. 1850), Muskoka Pioneer Village, Huntsville
- Sharon Temple Compound (1821), Sharon, York Region
- Heliconian Hall (first Olivet Sunday Schoolhouse, circa 1876), (Yorkville)
- Cedar Ridge Studio Gallery (1918), 225 Confederation Drive, (Scarborough)
- Aurora Historical Society Museum (1886 school), 22 Church Street, Aurora
- The Niagara Institute (early 20th.c), 9 Weatherstone Crt., Niagara on the Lake
- St. Lawrence Hall (1840) – renovations of town hall to accommodate National Ballet School

#### Historic House Restorations

- Jacob Ross House Restoration (1852), 108 Stayner Ave.
- William Wonch House Restoration (1840), 2777 Woodbine Ave., Markham
- Robert Milroy House Restoration (c. 1833), 7111 Reesor Rd., Markham
- McDougall Farmhouse (1893) Heritage Assessment, James Snow Parkway, Milton, ON
- Devonian House Restoration & Addition (circa 1923), 144 John St. E., Niagara on the Lake
- Savage House & Blacksmith Shop (c.1840), 1480 Derry Rd. E., Mississauga

#### Converted Historic Residences

- Old Post Inn (c. 1830), 367 Kingston Road East, Ajax
- Valley Halla Villa (Jackson Residence, 1922), Toronto Zoo, Rouge Valley, Scarborough
- Armour Heights Officer's Mess (1913, 'Strathrobyn'), Canadian Forces College, 215 Yonge Blvd.
- Bellevue Daycare Centre (1887), 95 Bellevue Ave.
- Gerrard & Bay Historic Houses (1860-1890), 68-84 Gerrard St. W.
- Toronto French School Restoration (Sifton Estate, 1923), 294 - 318 Lawrence Ave. E.



#### EDUCATION

University of Waterloo  
B.Arch (1985)  
B.E.S. (1982)

#### MEMBERSHIPS

Ontario Association of Architects  
[Former Councillor & Chair Awards Committee]

Royal Architectural Institute of Canada

Canadian Standards Association (CSA)

Architectural Conservancy of Ontario Advisory Board

Society for the Study of Architecture in Canada

Heritage Canada Foundation

Ontario Historical Society

#### CAREER SUMMARY

AREA, Architects Rasch Eckler Associates Ltd.  
President  
2001 to Present

David Eckler Architect  
1991 – 2001

Page & Steele Architects  
1989 – 1991

Arthur Erickson Architects  
1986 – 1989

**DAVID ECKLER** B.E.S., B.Arch., OAA, MRAIC  
AREA, Architects Rasch Eckler Associates Ltd.  
President & Principal – Senior Heritage Architect

David Eckler is the firm's principal and is responsible for the design, construction drawings, specifications and construction administration of all heritage projects in the office. Mr. Eckler has over 25 years experience in the conservation, restoration and adaptive reuse of heritage structures for government, non-profit agencies and private sector owners and developers. Mr. Eckler directs the Concept Design, Design Development and Contract Documents phases of heritage projects and authors many of the firm's heritage assessment reports.

Mr. Eckler established a specialization in heritage conservation beginning in 1992 with his previous firm *David Eckler Architect (DEA)* and continuing in his current practice, *AREA Architects*. His architectural heritage services include feasibility studies, preservation planning, infill projects within historic districts, adaptive reuse and building restoration. David is an active member in many architectural and heritage associations including the *Architectural Conservancy of Ontario Advisory Board*. He is a past member of the *Canadian Association of Professional Heritage Consultants* and is a former Vice-Chair of *Heritage Toronto*, which advised Toronto City Council on heritage matters under the Heritage Act and as an advisory board for the city's museums.

Mr. Eckler has particular experience in the restoration of heritage properties within public parks and cultural landscapes. An example of a heritage attraction in a park setting is the restoration of the Officers' Quarters within the *Discovery Harbour* museum in Penetanguishene. He has most recently worked on the restoration of the historic site of the *1910 Allan Gardens Conservatory*.

**RELEVANT EXPERIENCE:** Toronto location unless indicated

#### Heritage Adaptive Re-use

- Goldring Student Centre [Wymilwood, 1954] – 150 Charles St. W., Toronto
- Warwick Office Building [1905] – 401-409 King St. W.
- Church of Christ, Scientist [1928], Condominium Redevelopment, 70 High Park
- Eglinton Hunt Club [1929] – Condominiums, 1355 Kingston Rd.
- Hutton House [1853] – Community Centre, Ardmore Park, St. Marys
- Bellevue Daycare Centre [1887] – 95 Bellevue Avenue

#### Restoration of Institutional Historic Buildings

- Allan Gardens Conservatory Complex [1910] – 160 Gerrard St. E.
- Aurora Historical Society Museum [Church Street School, 1886]
- Toronto French School (Sifton Estate, 1924) – 306 Lawrence Ave E
- Armour Heights Officers' Mess [Strathrobyn' 1913] – 215 Yonge Blvd.
- Medical Arts Building Restoration [circa 1929]
- Officers' Barracks [1830] – Discovery Harbour, Penetanguishene
- Heliconian Hall (first Olivet Church, 1876) – 35 Hazelton Ave.

#### Heritage Planning, Parks & Streetscape Design

- Cookstown Heritage Conservation District – Innisfil, ON.
- Old Pickering Village Planning & Heritage Study, Ajax
- Yorkville-Hazelton Avenue Heritage Conservation District
- Limehouse Kilns Heritage Masterplan, Halton Hills
- Confederation Commemorative Park, Charlottetown, PEI
- Gerrard & Bay Historic Houses (1860-1890)



AIR PHOTO  
9785, 9797 KEELE STREET &  
PARCEL KNOWN AS PCL176-1 SEC 65M2407,  
BLK 176 PL 65M2407  
CITY OF VAUGHAN



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Vaughan, Ontario L4K 5K8  
T: 905.738.8080 F: 905.738.6637  
Oakville: 1660 North Service Rd. E. Suite 114  
Oakville, Ontario L6H 7G3  
T: 905.844.8749 F: 905.738.6637  
Toronto: 127 Berkeley St.  
Toronto, Ontario M5A 2K1  
T: 416.640.9917 F: 905.738.6637

REVISIONS LIST


File Number: 6728  
Date Drawn: 22 JUNE 2015  
Drawn By: SM  
Planner: RG  
Scale: NTS  
CAD: 6728/air photo.dgn

Drawing Number:







ATTACHMENT 4

BLOCK 1



ATTACHMENT 5

BLOCK 2

#### PROJECT CONSULTANTS:



ISSUED OR REVISION COMMENTS			
DESCRIPTION	DATE	DWN	CHK
ISSUED FOR SPA	11-APR-16	SD	SD
ISSUED FOR SPA	24-AUG-17	NM	NM
ISSUED FOR VAUGHAN HERITAGE	15-MAR-19	NM	NM


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LAURIER HARBOUR (KEELE) INC.

PROJECT/LOCATION

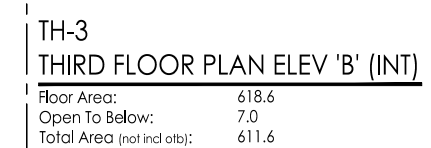
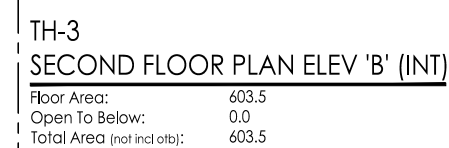
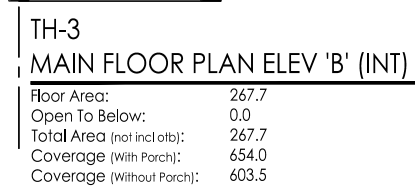
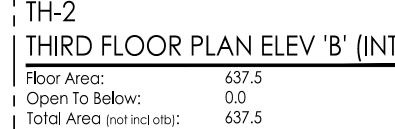
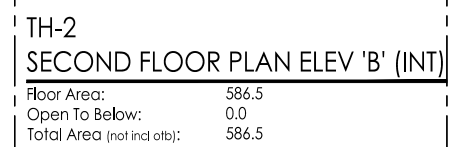
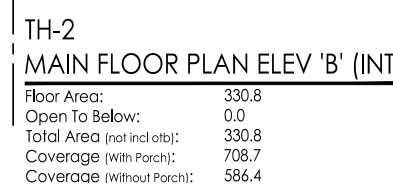
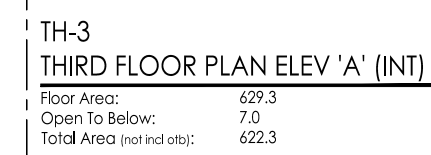
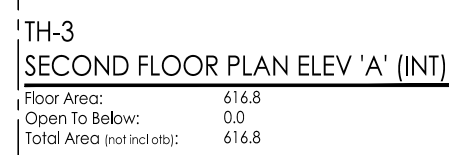
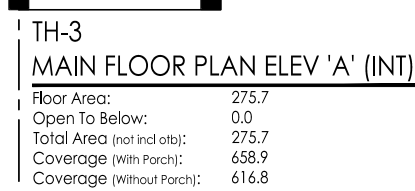
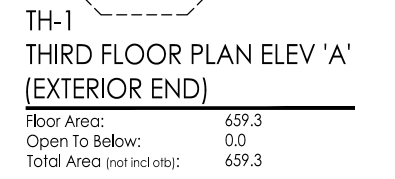
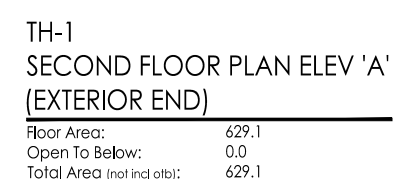
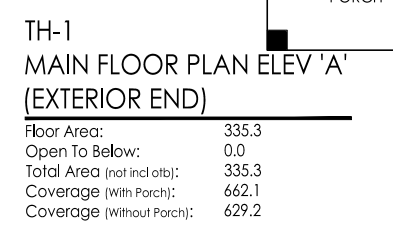
9785, 9797 KEELE STREET  
VAUGHAN, ONTARIO

DRAWING





























BLOCK 5 - ELEVATIONS

DATE APR 11/16	SCALE 1/8"=1'-0"
DRAWN BY SD	CHECKED BY SD
PROJECT NUMBER 17005	DRAWING NUMBER SPA 305

PROJECT CONSULTANTS:



**LEGEND**

	SMOKE ALARMA (A)		CARBON MONOXIDE ALARMA (CWA) (A)
	WATERPROOF		EXIT (EXIT SIGN WITH ARROW)
	WATER AND INTAKES		HYDRO METER
	HOSE BIB		GAS METER
	EXHAUST FAN		GROUND DRAIN
	COLD CELLAR VENT (CV)		COLD BEARING (COLD BEARING WITH ARROW)
	SIEVE VENT		POINT LOAD
	FIRE PLACE VENT		FLAT ARCH
	DRYER VENT		2 STORY CURB WALL
	D.J. DOUBLE JOINT		U/S UNDER SIDE
	P.T. PRESSURE TREATED LUMBER		FG FIRE GRADING
	G.T. GROUND RIDGE		GB GLASS BLOCK
	A.F. ABOVE FINISHED FLOOR		FL FLUSH
	B.F.M. BEAM BY FLOOR MEMBER		DL DROPPED
	R.F.S. REPEAT SPAN JOINT		

[illegible]

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<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="width: 40%;"> <p style="margin: 0;">CLIENT</p> <p style="font-size: 1.2em; margin: 10px 0;">LAURIER HARBOUR (KEELE) INC.</p> </div> <div style="width: 60%;"></div> </div>	
<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="width: 40%;"> <p style="margin: 0;">PROJECT/LOCATION</p> <p style="font-size: 1.2em; margin: 10px 0;">9795, 9797 KEELE STREET VAUGHAN, ONTARIO</p> </div> <div style="width: 60%;"></div> </div>	
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BLOCK 1

BLOCK 2

BLOCK 3

BLOCK 4

WEST ELEVATION - KEELE  
STREETSCAPE



TREE INVENTORY & PRESERVATION PLAN  
1:250

TREE INVENTORY

Tree No.	Tree Species	Diameter at Breast Height (cm)	Canopy (m)	Recommended Action	Health	Structure	Comments	Location		
								Subject Site Tree	Boundary Tree	Municipal Tree
1	Gleditsia triacanthos	37,46	10	RC**	M	M	2L, IB and grafted, PL, WS, branch stubs			X
2	Pinus sylvestris	30	6	P	M	M	PL			X
3	Gleditsia triacanthos	51	6	RC**	M	M	10°L(N) and UB, PL, WS, Crack to 2m			X
4	Gleditsia triacanthos	42	6	RC**	M	M	PL, med DB			X
5	Gleditsia triacanthos	40,56	8	RC**	MH	MH	2L, med DB			X
6	Gleditsia triacanthos	36	4	RC**	M	M	PL(base - 4m), 30°L(E)			X
7	Gleditsia triacanthos	24,36	6	RC**	M	M	2L, 1 leader broken, @2.5, 1 leader SU +UB(N)			X
8	Gleditsia triacanthos	62	10	RC**	H	H	large DB			X
9	Picea pungens	56	7	P	M	M	2L, IB			X
10	Gleditsia triacanthos	28	5	RC**	M	M	20oL(S), WS			X
11	Acer platanoides	20	6	P	M	M	UB(S), slight SU			X
12	Acer negundo	26	4	RC	M	ML	30°L(W), WS	X		
13	Ulmus pumila	30	4	RC	ML	M	topped, WS			
14	Acer negundo	23,24	4	RC	M	ML	2L, IB, 1 leader 25°L(E), 1 leader broken	X		
15	Ulmus pumila	30	5	P	M	M	med DB, WS		X	
16	Ulmus pumila	28,29	5	RC	M	ML	many BB, 2L, IB	X		
17	Acer platanoides	~15	4	P	M	M	SU		X	
18	Pinus nigra	~30	6	P	M	M	diploidea		X	
19	Pinus nigra	~35	6	P	M	M	diploidea		X	
20	Acer negundo						NO LONGER PRESENT	X		
21	Acer platanoides	24	5	RC	H	H	grown into fence			
22	Malus sp.	14,15, 22	10	RC	M	M		X		
23	Acer negundo	14,17	5	RC	M	ML	1 broken top, 1 leader 30°L(E)	X		
24	Acer negundo	35,37	8	RC	M	ML	ML, WS, broken top, BB all limbs	X		
25	Picea pungens 'glauca'	57	11	RC	H	H		X		
26	Acer platanoides	70	13	RC	H	H	crack to union, 10%TD (base with rot), G(root), med-large DB	X		
27	Acer platanoides	31	11	RC	H	H		X		
28	Acer platanoides	33,35	8	RC	H	M	2L, IB%	X		
29	Acer platanoides	26	8	RC	M	M	UB(N), graft	X		
30	Acer platanoides	22	8	RC	M	M	UB(N), graft	X		
31	Pinus	30	4	R	L	L	DEAD	X		
32	Pinus	24	4	R	L	L	DEAD	X		
33	Acer platanoides	36	9	RC	M	M		X		
34	Acer platanoides	32	9	RC	M	M		X		
35	Acer platanoides	43	9	RC	M	ML	curved trunk, small hole (PL), large BB + DB	X		
36	Acer platanoides	33	9	RC	M	M	cracked with 10%TD	X		
37	Acer platanoides	45	10	RC	M	ML	ripped off limb	X		
38	Acer platanoides	17,33	7	RC	ML	ML	UB(S), 40%D, broken branch balancing, 2L, IB	X		
39	Acer platanoides	36	9	RC	M	M	UB(S), med DB	X		
40	Acer negundo	41	7	RC	M	ML	FFB, UB(S), PL(base)	X		
41	Acer negundo	46	8	RC	ML	ML	45°L(W), ripped limbs, PL	X		
42	Acer platanoides	28	7	RC	M	M		X		
43	Acer platanoides	20	2	R	L	L	Topped	X		
44	Acer platanoides	27	8	RC	M	M	UB(S)	X		
45	Acer negundo	47	9	RC	M	L	45oL(N)	X		
46	Acer platanoides	36	8	RC	H	MH	UB(S)	X		
47	Acer negundo	48	10	RC	M	L	45°L(N)	X		
48	Thuja occidentalis	13,14,14 15,22	3	RC	M	M		X		
49	Picea abies	65	9	RC	H	H	G(wire)	X		
50	Acer platanoides	5x15	6	RC*	MH	ML	2L, PL (leader resprouted), UB(W)		X	
51	Ulmus pumila	14,15, 7x15	6	RC*	M	ML	Resprout from stump, ZZ, 15°L(N)		X	
52	Ulmus pumila	16	5	RC*	M	M	15°L(S)		X	
53	Ulmus pumila	14,15,22	6	RC*	M	ML	2 limbs topped, ML		X	
54	Ulmus pumila	24	6	RC*	M	M	2L, IB, ZZ at base, UB(N)		X	
55	Ulmus pumila	14,16	7	RC*	ML	L	2L, broken tops		X	
56	Acer platanoides	34	7	RC*	H	H	grafting with branch		X	
57	Acer platanoides	16,18,19 22,22	8	RC*	MH	M	ML, IB		X	
58	Acer platanoides	22	7	RC*	MH	M	UB(S), 10°L(S)		X	
59	Acer platanoides	16	7	RC*	MH	M			X	

Trees less than 15cmØ caliper, and large shrubs may exist on the site. It is the contractors responsibility to determine the extent of possible removals by field review prior to submission of quotations for removals work.

TREE PROTECTION RECOMMENDATIONS:

- Install hoarding for subsequent municipal review/approval.
- Hoarding may be moved temporarily to provide access for tree removal only. These trees should be felled away from protected areas to avoid pulling and breaking of roots of trees to remain.
- Pruning, if required, should be done prior to construction and in accordance with current arboricultural practices.
- Storage of any materials, fill, vehicles/equipment, and disposal of liquids is not permitted within 1m of protected areas.
- Excavation in close proximity to protected areas are to be undertaken with a certified arborist present.
- Roots encountered due to excavation are to be cut with a clean sharp blade. Tearing and ripping of roots is not permitted.
- Hydrovac'ing is recommended as the preferred method for excavation, within 1m of protected areas.
- Exposed roots are to be covered immediately with mulch or topsoil and watered thoroughly. A light coloured tarpaulin may also be used to prevent root desiccation.
- Deep root fertilize (3:1:1) following backfilling.
- Trees should be re-assessed periodically in order to maintain an up to date understanding of health and structure.

York Region Notes:

- All trees located on the regional road allowance to be preserved shall conform to the following requirements
- All trees preservation shall be in accordance with the York Region Street Tree and Forest Preservation Guidelines
  - York Region NHF shall be notified when tree protection measures have been installed
  - All tree protection fencing shall be installed prior to construction and must remain in good repair for the duration of construction
  - At the sole discretion of YR NHF any existing trees that die or exhibit a decline in health prior to final acceptance shall be replaced pr compensation shall be provided

TREE INVENTORY LEGEND

**Biological Health**  
H (High) - No apparent diseases or symptoms, moderate to high vigour.  
M (Medium) - Minor diseases and/or symptoms, moderate vigour.  
L (Low) - Major disease and/or symptoms, poor vigour.

**Structural Condition**  
H (High) - No defects, well-developed crown.  
M (Medium) - Minor structural defects.  
L (Low) - Major structural defects.

**Recommended Action**  
P - Preserve  
R - Remove for poor condition  
RC - Remove for Construction  
RC\* - Remove with Neighbours Approval  
RC\*\* - Remove with Town's Approval  
T - Transplant

**Comments**  
B Borer  
BF Backfilled  
CS Compacted soil  
DB Dead branches  
G Girdling  
HA Hazard  
IB Included bark  
LS Lean showing direction (i.e. LS=lean south)  
ZL 2 leaders or codominant stems  
MB Multibranched node  
MS/ML Multistem  
PL Pruned limbs  
SU Suppressed crown  
TB Torn/broken branch  
TD Trunk damage  
TH Top heavy  
UB Unbalanced crown (N,S,E,W indicates weighted side of crown)  
V Vine growing in tree  
WB Witches broom growth  
WP Woodpecker damage  
WS Watersprouts  
ZZ Zigzag trunk  
\_KD % crown is dead

LEGEND

- Property Line
- Heavy Duty Plywood Tree Protection (Fencing)
- Existing Vegetation Grouping to be Removed
- Existing tree to be preserved
- Existing tree to be removed
- Existing tree to be removed  
Dead, girdled or dangerous.

LIMITING CONDITIONS:

This tree inventory was derived from data gathered on the site using accepted arboricultural practices. This includes a visual examination of all above ground parts of the tree for structural defects and signs of health and vigour. All examination took place from the ground plane and no trees were cored, probed or climbed. There was also no detailed inspection of the root crown where excavation would have been required.

This inventory describes the healthy, structural stability and identifies potential hazards of the trees to a reasonable extent. Where dead branches or other are identified in the notes it is the owners responsibility to take action. This inventory does not provide or imply a guarantee that these trees or branches will remain standing intact. The stability of any tree or branches of a tree cannot be predicted with absolute certainty under all circumstances.

There is, likewise, no guarantee of survival for those trees to be preserved during construction but which are subject to injury. Tree preservation guidelines that are provided in this report are generally suitable for the tree as determined by the visual assessment. However, there is no guarantee that these guidelines will be followed throughout construction unless an arborist is retained for complete supervision of the site at all times. Even with complete supervision, roots in an urban environment are unpredictable. Guidelines, that suppose an even distribution of roots may not be effective in cases where roots have clustered in small areas.

The assessment in this inventory is valid only at the time of inspection.



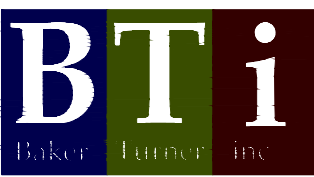
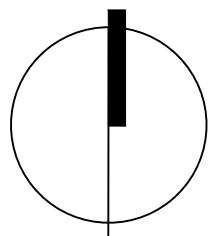
Nick Taylor  
ISA Certified Arborist  
ON-2068A  
Baker Turner Inc.

REVISIONS

- 17 Aug 2019 Issued for SPA  
14 May 2019 Issued for Review  
30 Aug 2017 Revised for Site Plan Approval Submission  
01 Mar 2015 Issued for Coordination  
30 Jan, 2015 Issued for Client Review

DATE DESCRIPTION

NOTE: Contractor is to check and verify all dimensions and conditions on the project, and is to immediately report any discrepancies to the landscape architect before proceeding with the work.



Landscape Architecture | Site Design

Suite 300  
8501 Mississauga Road  
Brampton Ontario L6Y 5G8

Tel: (905) 453-9398  
Fax: (905) 453-9376  
email: tba@bakerturner.com

Project Title

Keele St. Townhouses  
9785, 9797 Keele Street  
Vaughan, ON

TREE INVENTORY & PRESERVATION PLAN

Date Issued

November, 2014

Job Number Drawn By  
BTI-1211 JW, NT, MY

Scale Checked By  
AS SHOWN TT

Sheet Number File Number  
T.1 of 2

<b>LAURIER HOMES</b> 9785 Keele Street, Vaughan SPA Exterior Colour Package RN JOB# 17005 Prepared: August 24, 2017 Revised: February 26, 2019 -		
EXTERIOR COLOUR SELECTIONS	MANUFACTURER	PACKAGE 1
Roof	<b>CERTAINTED LANDMARK</b>	Moire Black
Metal Roof (where applicable)	<b>COLOUR STEELS (or equivalent)</b>	Black
Main Brick	<b>MERIDIAN BRICK</b>	Old Markham
Accent Brick (quoins & headers)	<b>MERIDIAN BRICK</b>	Guildwood
Shutter	<b>KAYCAN</b>	Black (02)
Aluminum Soffit/Fascia/Downspouts	<b>KAYCAN (or equivalent)</b>	White SG
Columns/Railings/Decorative Trim	<b>PARA PAINTS</b>	Courtyard P5220-44
Front Door	<b>PARA PAINTS</b>	Walkin' In the Rain P5204-85
Garage Door	<b>PARA PAINTS</b>	Stoneware Tint 3 P2064-02
Windows	<b>JELDWEN (or equivalent)</b>	White



SHINGLE



MAIN BRICK



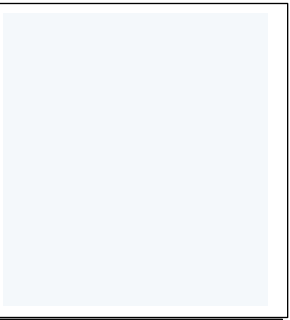
ACCENT BRICK



METAL ROOF



WINDOW



SOFFIT/FASCIA



SHUTTER



COLUMN/RAILINGS



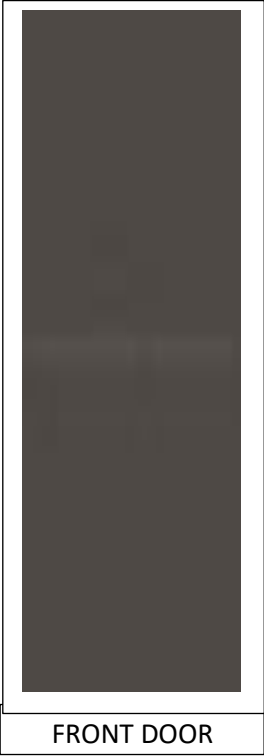
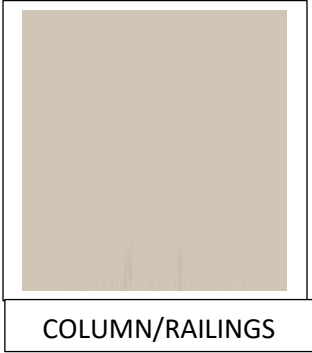
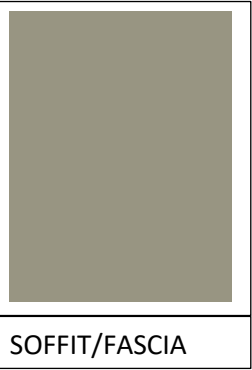
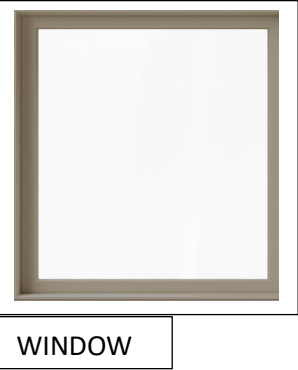
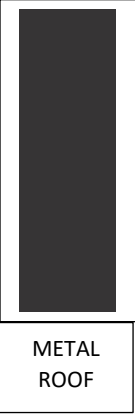
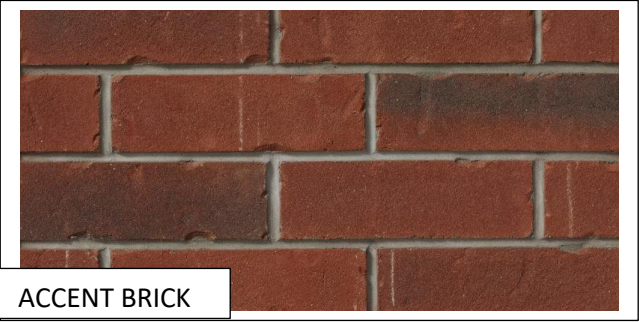
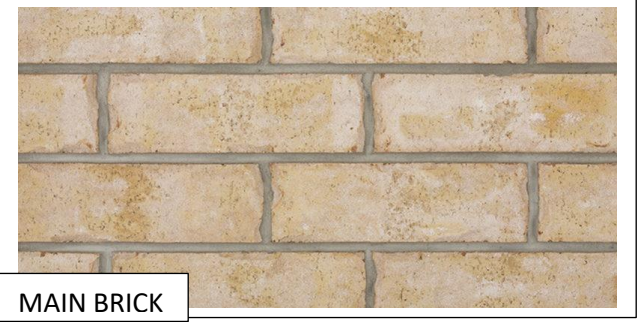
GARAGE DOOR



FRONT DOOR

Notes:  
 1) All flashing to match shingle

<b>LAURIER HOMES</b> 9785 Keele Street, Vaughan SPA Exterior Colour Package RN JOB# 17005 Prepared: August 24, 2017 Revised: February 26, 2019 -		
EXTERIOR COLOUR SELECTIONS	MANUFACTURER	PACKAGE 2
Roof	<b>CERTAINTEED LANDMARK</b>	Driftwood
Metal Roof (where applicable)	<b>COLOUR STEELS (or equivalent)</b>	Dark Brown
Main Brick	<b>MERIDIAN BRICK</b>	Guildwood
Accent Brick (quoins & headers)	<b>MERIDIAN BRICK</b>	Old Markham
Shutter	<b>KAYCAN</b>	Clay (08)
Aluminum Soffit/Fascia/Downspouts	<b>KAYCAN (or equivalent)</b>	Khaki
Columns/Railings/Decorative Trim	<b>PARA PAINTS</b>	Stoneware Tint I P2062-1
Front Door	<b>PARA PAINTS</b>	Blackfoot Trail P2109-05
Garage Door	<b>PARA PAINTS</b>	Stoneware Tint 3 P2064-02
Windows	<b>JELDWEN (or equivalent)</b>	Claystone



Notes:

- 1) All flashing to match shingle



## Heritage Vaughan Committee Report

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**DATE:** Wednesday, October 16, 2019

**WARD(S):** 2

**TITLE: REMOVAL OF ADDITION FROM SINGLE FAMILY DWELLING  
LOCATED AT 8109 KIPLING AVENUE**

**FROM:**

Jason Schmidt-Shoukri, Deputy City Manager, Planning and Growth Management

**ACTION:** DECISION

---

**Purpose**

To seek a recommendation from the Heritage Vaughan Committee regarding the proposed demolition of a 3-storey apartment addition attached to a single-family dwelling located at 8109 Kipling Avenue; a property located in the Woodbridge Heritage Conservation District and designated under Part V of the *Ontario Heritage Act*, as shown on Attachment 4.

**Report Highlights**

- The Owner is proposing the demolition of a 3-storey apartment addition attached to a single-family dwelling at 8109 Kipling Avenue.
- The existing main dwelling is identified as a contributing property in the Woodbridge Heritage Conservation District Plan ("Woodbridge HCD Plan").
- The proposal is consistent with the relevant policies of the Woodbridge HCD Plan.
- Heritage Vaughan review and Council approval is required under the *Ontario Heritage Act*.
- Staff is recommending approval of the proposal as it conforms with the policies of the Woodbridge HCD Plan.

**Recommendations**

1. THAT Heritage Vaughan recommend Council approve the proposed removal of a 3-storey apartment addition from a single-family dwelling at 8109 Kipling Avenue under Section 42 of *Ontario Heritage Act*, subject to the following conditions:

- a) Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning and Manager of Urban Design and Cultural Heritage;
- b) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the Ontario Planning Act or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application;
- c) That the Owner submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Vaughan Development Planning Department, Urban Design and Cultural Heritage Division.

### **Background**

8109 Kipling is a rectangular parcel of land presently containing a 19th century single-family Gothic Revival residence with a 1950's apartment block attached to the rear of the house. 8109 Kipling Avenue is designated under Part V of the Ontario Heritage Act as part of the Woodbridge Heritage District.

The property fronts onto Kipling Avenue at the southwest corner of the intersection with Porter Avenue. The existing residence is a 1½ storey brick and wood framed house with a small front porch facing Kipling Avenue. The three-storey concrete block addition is attached at the existing east side brick party wall of the 19<sup>th</sup> Century residence (Attachment 4). Existing surface parking spaces are located at the rear of the property.

### **Previous Reports/Authority**

NOT APPLICABLE

### **Analysis and Options**

The Owner is proposing to demolish the 3-storey apartment addition at 8109 Kipling Avenue. The building has been functioning as a rental income property with the apartment ceasing to be in use in 2014. The house is planned to be restored for use as single-family dwelling leased for residential use, with maintenance restoration of the building exterior. Existing surface parking spaces adjacent to the apartment block are proposed to be returned to lawn area, and new surface parking to service the heritage house is planned to be located near the rear entry to the house.

**All redevelopment that impact heritage attributes of designated buildings must conform to the policies and guidelines within the Woodbridge HCD Plan and the**

**Vaughan Official Plan 2010 ('VOP 2010'). The following is an analysis of the request according the notices of VOP 2010' and the Woodbridge HCD Plan.**

**Woodbridge HCD Plan 6.2.6 ACTIVITIES THAT ARE SUBJECT TO REVIEW**

- *The erection, demolition, or removal of any building or structure, or the alteration of any part of a property other than the interior of a building or structure are subject to review*

**Vaughan Official Plan 2010 – Section 6.2.2.5**

*To require that, for an alteration, addition, demolition or removal of a designated heritage property, the applicant shall submit a Cultural Heritage Impact Assessment, as set out in this Plan and in the Vaughan Heritage Conservation Guidelines when:*

- b. the proposed demolition involves the demolition of a building in whole or part or the removal of a building or designated landscape feature.*

The proposed plan is consistent with the Woodbridge HCD Plan and the VOP 2010 as the Owner has provided a complete Cultural Heritage Impact Assessment (Attachment 1), that supports staff's analysis and comments.

**Woodbridge HCD Plan 6.2.1 STANDARDS AND GUIDELINES FOR CONSERVATION**

*The Woodbridge HCD states:*

*“As a starting point, this HCD Plan adopts the Federal “Standards and Guidelines for the Conservation of Historic Places in Canada” (Standards and Guidelines). These Standards and Guidelines provide a foundation for the conservation of archaeological sites, landscapes and buildings.*

*The Standards and Guidelines should be applied in tandem with the Woodbridge HCD Plan. Where a discrepancy may occur between these two documents, the Woodbridge HCD Plan will prevail.*

*It is the intent of this HCD Plan to conserve and restore the heritage resources within the District and prevent their demolition or relocation. The retention of the existing heritage resources is essential to maintaining the village character of Woodbridge.”*

**Conservation**

*The conservation of heritage buildings involves actions or processes that are aimed at safeguarding the heritage attributes of the resource to retain its heritage value and extend its physical life. Conservation can involve preservation, rehabilitation, restoration or a combination of these actions. These terms are defined as follows:*

- **Preservation**

*The action or process of protecting, maintain, and/or stabilizing the heritage attributes (materials, form, integrity) of the entire heritage resource (or an individual component of the resource) while protecting its heritage value.*

- **Rehabilitation**

*The action or process of ensuring a continuing use or a compatible contemporary use of a heritage resource (or an individual component) through repair, alterations, or additions, while protecting its heritage value. This can include replacing missing historic features either as an accurate replica of the feature or may be a new design that is compatible with the style, era, and character of the heritage resource.*

- **Restoration**

*The action or process of accurately revealing, recovering, or representing the state of the heritage resource (or of an individual component), as it appeared at a particular period in its history, while protecting its heritage value. This could include removal of features from other periods in its history and the reconstruction of missing features from the restoration period (based on clear evidence and detailed knowledge).*

The proposed plan aligns with the Woodbridge HCD Plan, Standards and Guidelines for Conservation extracts above. By safely removing the addition at 8109 Kipling the 19<sup>th</sup> Century residence will be fully revealed. These guidelines are met by a satisfactory engineering report outlining the removal process (Attachment 5). Maintenance restoration of the building exterior will occur after the removal of the addition as identified in the Cultural Heritage Impact Assessment (Attachment 1).

### **Financial Impact**

There are no requirements for new funding associated with this report.

### **Broader Regional Impacts/Considerations**

There are no broader Regional impacts or considerations.

### **Conclusion**

The Cultural Heritage Division of the Development Planning Department is satisfied the proposed demolition of a 3-storey apartment addition on the subject property conforming to the policies and guidelines within the Woodbridge HCD Plan and VOP 2010. Accordingly, staff can support Council approval of the proposed demolition of the addition at 8109 Kipling Avenue under the *Ontario Heritage Act*.

**For more information**, please contact: Wendy Whitfield Ferguson, Cultural Heritage Coordinator, ext. 8813

### **Attachments**

1. Cultural Heritage Impact Assessment
2. General Site Location
3. Site Plan and Survey
4. Photos of building
5. Engineering Plan

### **Prepared by**

Nick Borcescu, Senior Heritage Planner, ext. 8191

### **Reviewed by**

Rob Bayley, Manager of Urban Design/Cultural Services, Development Planning  
Mauro Peverini, Director of Development Planning



# **CULTURAL HERITAGE IMPACT ASSESSMENT**

**8109 Kipling Avenue  
Vaughan, Ontario, Canada**

**15 July 2019**

**prepared by**



architecture + planning + urban design  
+  
heritage conservation  
+  
real estate development

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416.920.8105  
mark@mwhallcorp.com  
www.mwhallcorp.com

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2.1	History of the property and evolution to date
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2.3	Architectural evaluation of the subject property
2.4	Redevelopment proposal for the subject property and potential impacts on identified cultural heritage resources
2.5	Examination of preservation / mitigation options for cultural heritage resource
2.6	Impact of development and mitigating measures – summary
3.0	RECOMMENDATIONS

## **APPENDICES**

1	Property Survey, 8109 Kipling Avenue
2	Existing Photographs, 8109 Kipling Avenue
3	Photograph of adjacent building at 8101 Kipling Avenue
4	Vicinity Map, 8109 Kipling Avenue, City of Vaughan, Ontario
5	Aerial Photograph of Vicinity of subject property
6	1860 Tremaine Map, excerpt showing approximate property location
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8	Vaughan Official Plan map
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10	Ownership Chain for 8109 and 8101 Kipling Avenue
11	Site Plan of planned redevelopment of subject property
12	Curriculum Vitae, Mark Hall, OAA, MRAIC, FAIA, RPP, CAHP

## **1.0 INTRODUCTION TO THE PROPERTY**

This Cultural Heritage Impact Assessment (CHIA) follows City of Vaughan Guidelines for Cultural Heritage Impact Assessments, updated February 2016 (Appendix 1).

The former village of Woodbridge is within the City of Vaughan. Woodbridge is located just north of the City of Toronto, along the Humber River, and is one of four historic villages within the City of Vaughan. Kipling Avenue was formerly called Concession Eight Roadway. 8109 Kipling Avenue is located north of Woodbridge Avenue which was the main original bridge crossing and the village commercial core. It is west of the Humber River, west of the Woodbridge Fair grounds. The property fronts onto Kipling Avenue at the southwest corner of the intersection with Porter Avenue, which was the main roadway from Concession Eight Roadway into the Woodbridge Fairgrounds.

Woodbridge is zoned as mixed-use consisting of primarily residential land use, ranging from single family housing to mixed use condominiums, with commercial, industrial, open space and conservation areas intermixed.

The property is within the designated Woodbridge Conservation District and represents one of the highest concentrations of heritage properties in the City [source: Woodbridge Heritage Conservation District Study and Plan, April 2009]. 8109 Kipling is a rectangular parcel presently containing a 19<sup>th</sup> century single-family residence designated under Part V of the Ontario Heritage Act as part of the Woodbridge Heritage District. The 19<sup>th</sup> century house has a 1950's apartment block attached to the rear of the house. The concrete block apartment addition is planned for demolition. The heritage house has been functioning as a rental income property. The house is planned to be restored for use as single family leased residential use, with maintenance restoration of the building exterior. Existing surface parking spaces adjacent to the apartment block are to be returned to lawn, and new surface parking to service the heritage house is planned to be located near the rear entry to the house.

8109 Kipling Avenue is not a Designated Heritage Property under Part IV of the Ontario Heritage Act.

Woodbridge Heritage District contains many heritage buildings and structures of similar scale, combined with recently redeveloped parcels, including industrial properties along the north-south rail line which runs near this property.

The owner of the property retained MW HALL CORPORATION, Heritage Conservation Consultants to prepare this Cultural Heritage Impact Assessment (CHIA) of the property and review of the planned redevelopment.

The subject property is owned by:

D. Condello Trucking Ltd.  
3627 Rutherford Road  
RR #2 Woodbridge, Ontario L4L 1A6

Contact information is as follows:

Mr. Tony Condello  
Tel: 416 726 6406  
Email: condello@bellnet.ca

## **2.1 History of the property and evolution to date**

Ownership records show that the property was originally part of a 200 acre parcel, Lot 8, Concession 8, Woodbridge registered 9 July 1829, transferred from the Crown to Canada Company. In 1834 Canada Company subdivided the property, creating a ½ acre parcel transferred to Washington Peck. Peck transferred Pt. West half of this lot in 1837 to Rowland Burr.

In 1884 the land was in the ownership of Thompson Porter [perhaps giving the name to the adjacent Porter Avenue] and then transferred to Charles W. Wallace who transferred ownership to Joseph Huson. It was in the period between 1884 and 1894 when likely the present brick house on the property constructed. Wallace held the property until he died and ownership transferred in 1894 to Joseph Huson who married Sarah Egan (Huson).

In 1953 the property was transferred to Bayard Bryant who held the property until 1973 then transferred ownership to John and Olive McQuay. The existing three storey concrete block apartments were added to the brick house, perhaps at this time.

In 1984 D. Condello Trucking Ltd purchased the property, operating it as an apartment rental adjacent building adjacent to other property, including 8101 for use related to their trucking operations on lands to the south of 8109 and 8101 Kipling. The property at 8109 is no longer operating as apartment rentals and is vacant.

The property has now been owned by the Condello family for a number of years, and plans are to retain ownership as part of their overall landholdings adjacent, but to remove the 1950's concrete block rental apartment addition at 8109 Kipling and restore the remaining heritage portion of the building to residential use.

Application is being made to City of Vaughan to revise the property by removal of the 1950's apartment addition which does not conform with the heritage district.

## **2.2 Context and setting of the subject property**

The Woodbridge Heritage Conservation District Study and Plan [reference a] notes that there are seven identified 'character areas' with the Woodbridge Heritage Conservation District. At this portion of Kipling Avenue, the north portion of the Heritage Conservation District, architectural character of the district is a mixture of older, low scaled buildings and newer, larger scaled infill buildings with a sidewalk along Kipling with few trees and some grassed area between the sidewalk and street. The existing residential building at 8183 Kipling Avenue is on the east side of the Kipling Avenue North character area but is, itself, not a heritage property. The existing 1½ storey residential building front on Kipling Avenue with a driveway on its south side. To the south of the property is a newer three-storey residential condominium building which was designed to fit within the heritage district.

## **2.3 Architectural evaluation of the subject property**

The existing single-family residence at 8109 Kipling Avenue is a 1½ storey brick and wood framed single family house with a small front porch facing Kipling Avenue. The original building appears to be in generally sound physical condition and has a later addition of a two storey apartment addition to the rear which is planned by the present owner to be removed.

8109 is constructed with red brick and cream brick accents on the exterior and stone foundation. The original building is a late 19<sup>th</sup> century house original to the now designated heritage district. Another 1½ storey single family residence, 8101 Kipling Avenue, is located adjacent and south of 8109. 8101 is not a part of this application but of heritage significance. 8101 is situated directly adjacent to the Toronto Grey and Bruce Railway line [leased to Canadian Pacific Railway]. 8101 is about the same size as 8109 with similar small front porch, and appears to be of similar vintage to 8109 Kipling Avenue but with different red brick configuration. To the east of these two houses the use of the land use has been changed to a trucking business with newer single storey industrial buildings and paved areas for the trucking business which is also owned by Mr. Condello.

## **2.4 Redevelopment proposal for the subject land and potential impacts on identified heritage resources**

Planned redevelopment of the property is to remove the non-functional 1950's two storey concrete block apartment addition and to restore the heritage house portion of the

property as a rental residence for the foreseeable future. The portion of the site where the existing addition is to be removed and some adjacent paved area will be cleared and replanted with lawn. Given existing redevelopment in Woodbridge and its location of the property to the fairgrounds, the lot with the heritage house and the industrial portion of the lands to the east being under the same ownership, these parcels may be redeveloped to some, as yet, indeterminate use(s). The existing two single family residences will be retained and maintained for the foreseeable future.

## **2.5 Examination of preservation/mitigation options for cultural heritage resources.**

The existing residential building on the property is to be maintained for the foreseeable future. As with other heritage buildings within the heritage districts in Vaughan, there is a public benefit to their maintenance, and it is recommended that, perhaps, compensation to the owners in the form of a tax reduction would provide an incentive to retain the existing heritage buildings and relatively simple landscaping.

### **Avoidance Mitigation**

The house on the property is important to the Woodbridge Heritage Conservation District, and particularly given its relationship to the Woodbridge Fairgrounds.

### **Salvage Mitigation**

The 1950's rear addition to the heritage residence has no heritage merit but must be removed carefully to assure that the heritage house is not damaged. Particularly at the foundation level, the poured concrete foundation is engaged with the stone foundation of the heritage house, and should likely remain as is, but below the new grade at the rear of the house. For removal of the above grade portions of the 1950's building, removal must be carefully performed by hand as the area to be removed may be nominally engaged with the rear brick wall and roof of the heritage house.

### **Historical commemoration**

Historical commemoration is not considered applicable in this case and is not considered.

## 2.6 Impact of development / mitigating measures – summary

### *Potential Negative Impact Assessment*

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- |   |   |
|---|---|
| • <i>destruction of any, or part of any, significant attributes or features</i>                                     | <i>no destruction of any part of any significant <u>heritage</u> element, but removals must be done carefully by hand, without machinery.</i>               |
| • <i>isolation of a heritage attribute from its surrounding environment, context, or a significant relationship</i> | <i>not applicable</i>   |
| • <i>a change in land use where the change in use negates the property's cultural heritage value</i>                |   |
| • <i>siting, massing, and scale</i>   | <i>redevelopment of 8109 Kipling will improve the setting of the heritage house consistent with guidelines for development within the Heritage District</i> |
| • <i>design that is sympathetic with adjacent</i>   | <i>removal of the deteriorated 1950's rear addition will improve the property within this Heritage District</i>   |

### 3.0 RECOMMENDATIONS

Section 2 of the *Ontario Planning Act* indicates that City of Vaughan shall have regard to matters of Provincial Interest such as the conservation of features of significant architectural, cultural, historical, archeological, or scientific interest. In addition, Section 3 of the *Planning Act* requires that decision of Council shall be consistent with the *Provincial Policy Statement* (PPS 2014). Policy 2.6.3 of the PPS requires that “...*Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*”

In this instance, demolition/removal of the non-heritage rear addition should be overseen by MW HALL CORPORATION or another heritage architect to assure that the heritage attributes of the remaining heritage house are not disturbed and are restored.

*“Conserved” means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archeological resources in a manner that ensures their cultural heritage value or interest is retained under the Ontario Heritage Act.”*

This Cultural Heritage Resource Impact Assessment is respectfully submitted by

MW HALL CORPORATION



per: Mark Hall, OAA, MRAIC, FAIA, RPP, CAHP  
President

## REFERENCES

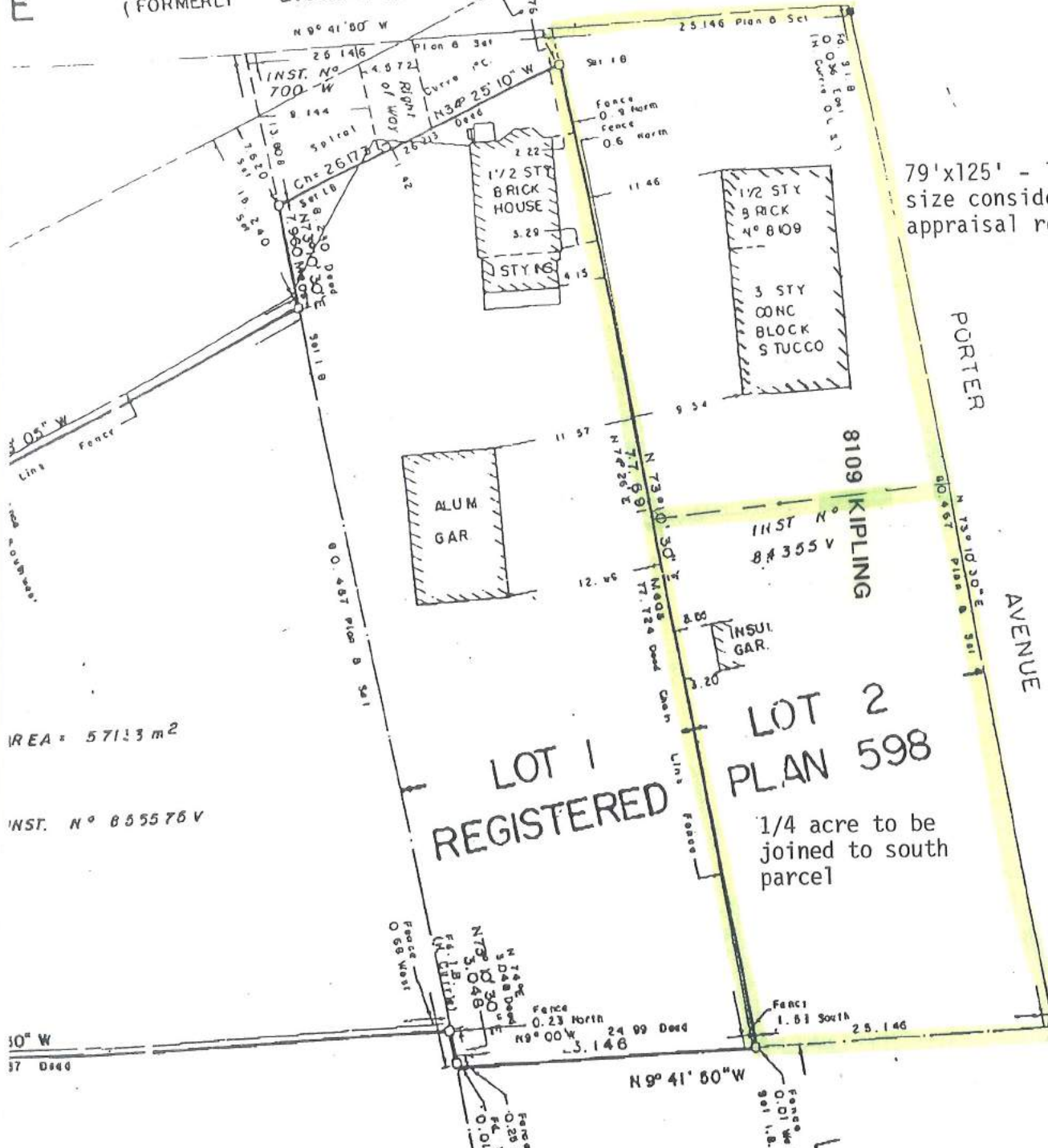
- a) Woodbridge Heritage Conservation District Study and Plan,
- b) Ontario Planning Act, Section 2, regarding City Council responsibility for Provincial Interest heritage properties
- c) Ontario Planning Act, Section 3, regarding requirement that Council decisions are consistent with Provincial Policy Statement of 2014.
- d) Ontario Provincial Policy Statement [PPS 2014] section 2.6.3
- e) Vaughan Official Plan, Land Use, 2010
- f) City of Vaughan Guidelines for Cultural Heritage Impact Assessments

## APPENDICES

- 1 Property Survey, 8109 Kipling Avenue
- 2 Existing Photographs, 8109 Kipling Avenue
- 3 Photograph of adjacent building at 8101 Kipling Avenue
- 4 Vicinity Map, 8109 Kipling Avenue, City of Vaughan, Ontario
- 5 Aerial Photograph of Vicinity of subject property
- 6 1860 Tremaine Map, excerpt showing approximate property location
- 7 1880 County Atlas Map of Vaughan, excerpt showing location of 8109 Kipling Avenue
- 8 Vaughan Official Plan map
- 9 Heritage Conservation District Map, Woodbridge
- 10 Ownership Chain for 8109 and 8101 Kipling Avenue
- 11 Site Plan of planned redevelopment of subject property
- 12 Curriculum Vitae, Mark Hall, OAA, MRAIC, FAIA, RPP, CAHP

E

(FORMERLY EIGHTH AVENUE)



79'x125' - lot size considered in appraisal report

PLAN OF SURVEY

AREA = 57133 m<sup>2</sup>

INST. N° 855576 V

LOT 1 REGISTERED  
LOT 2 PLAN 598

1/4 acre to be joined to south parcel





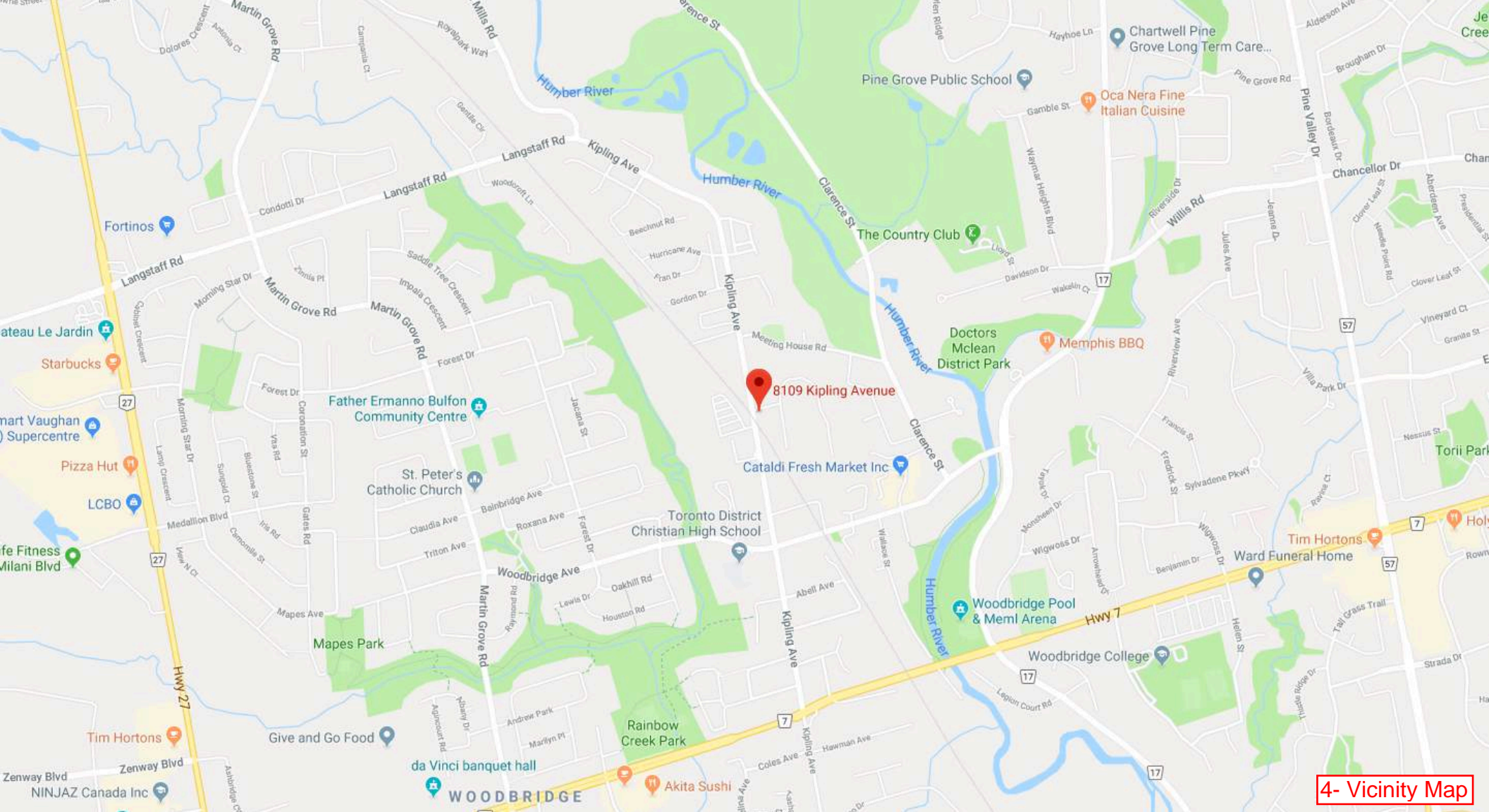


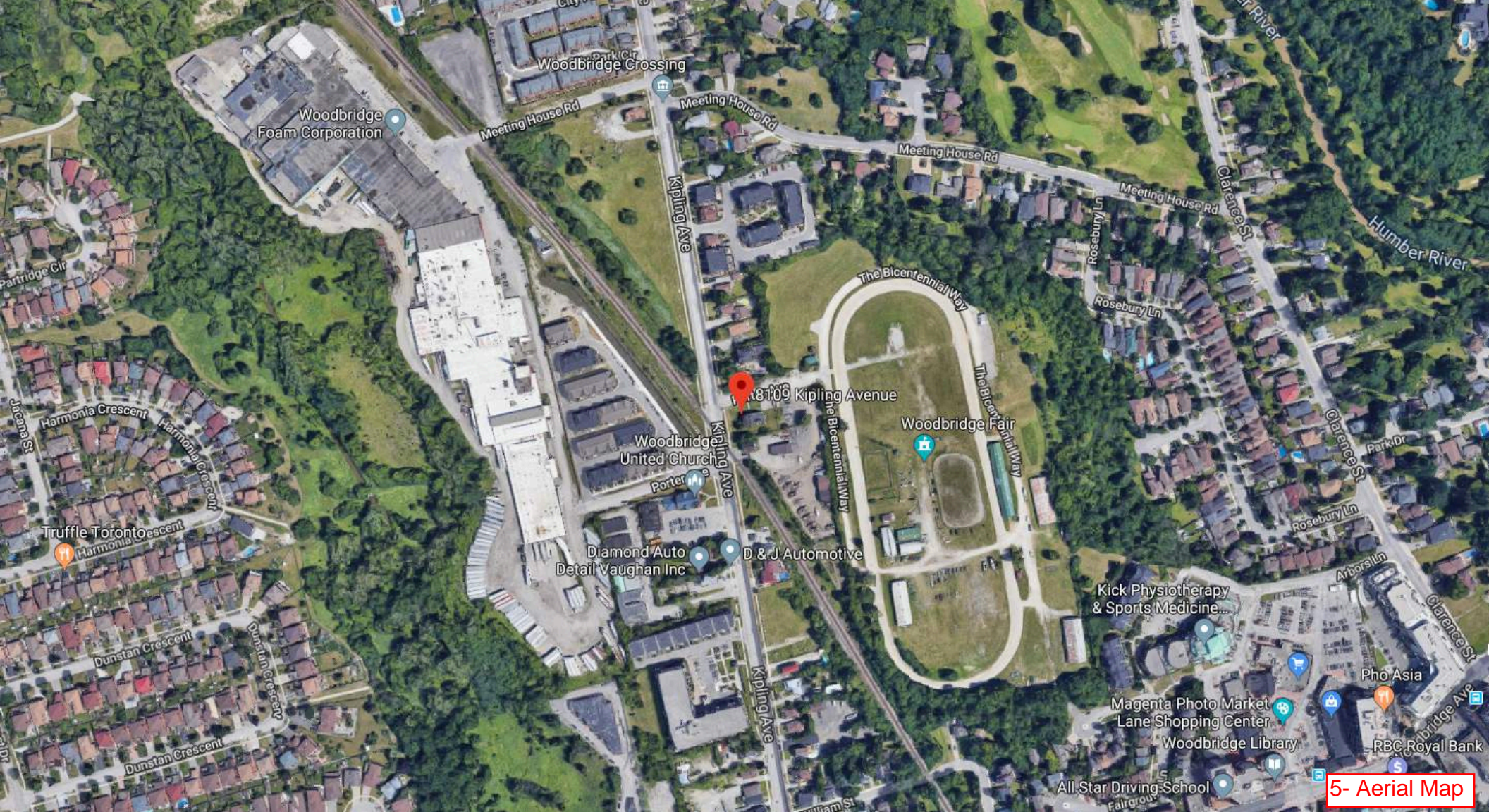




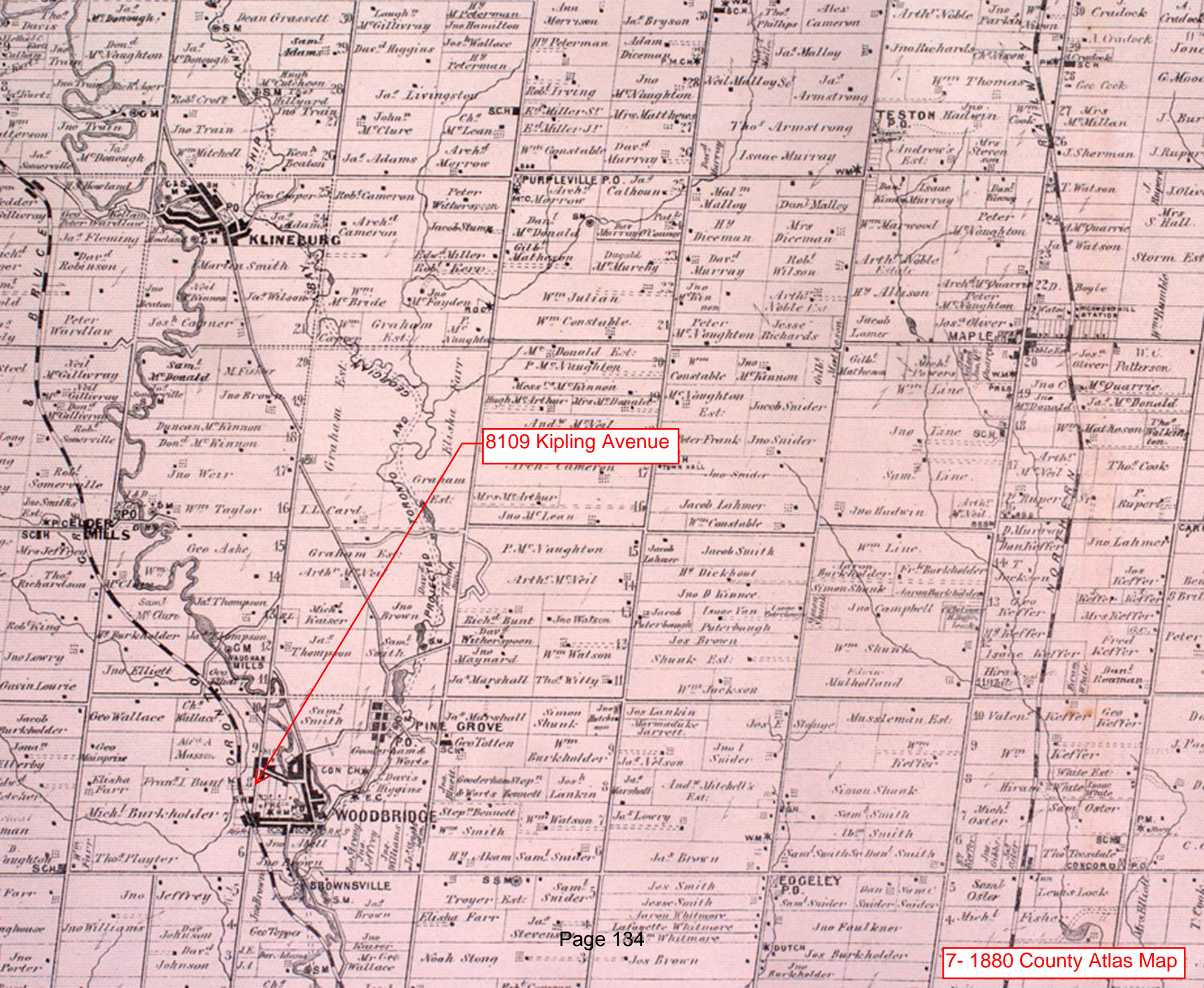


3- Adjacent building (8101 Kipling)









8109 Kipling Avenue

SCHEDULE 13

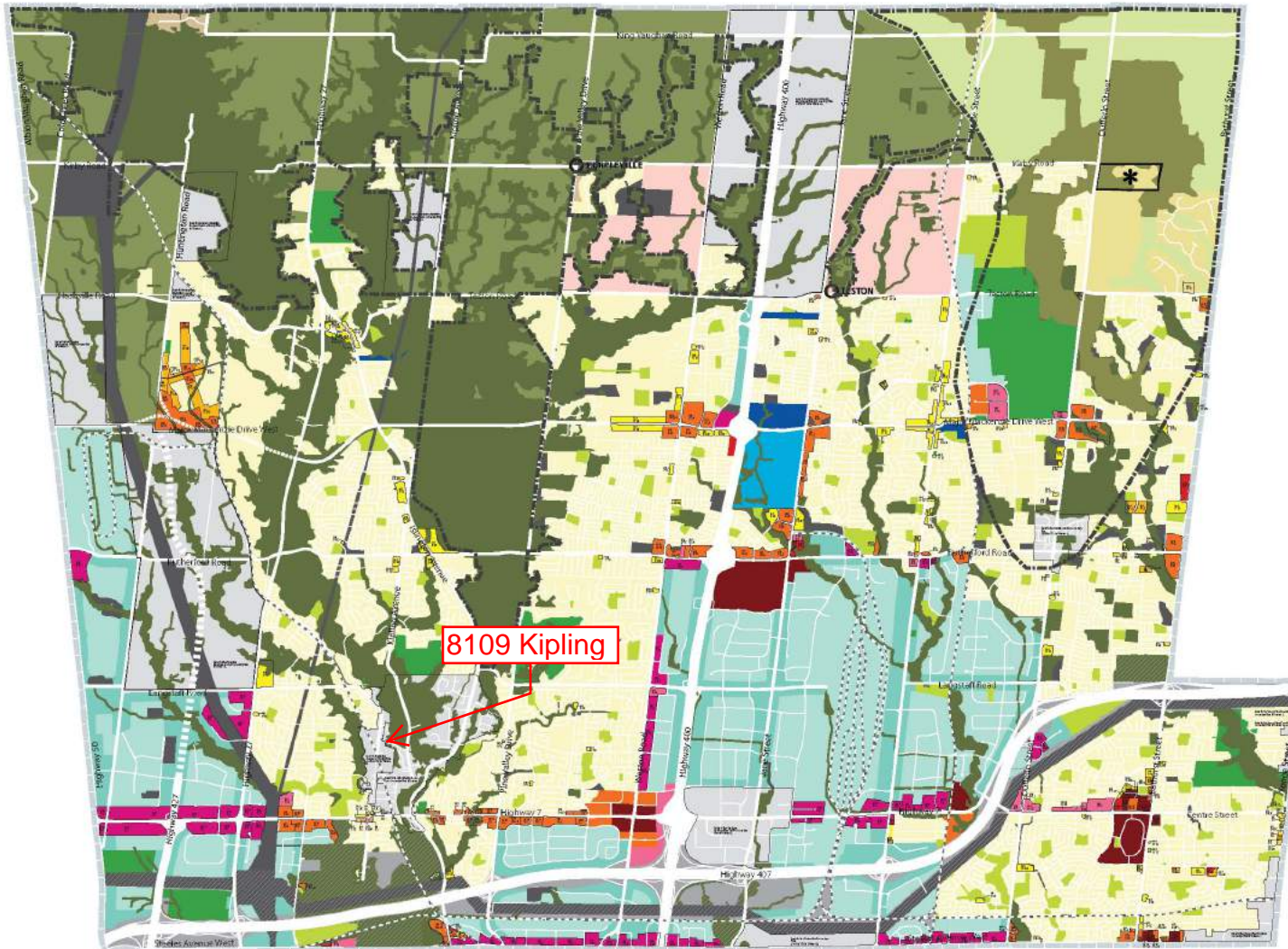
Land Use

- Natural Areas
- Parks
- Private Open Spaces
- Agricultural
- Rural
- Low-Rise Residential
- Low-Rise Mixed-Use
- Mid-Rise Residential
- Mid-Rise Mixed-Use
- High-Rise Residential
- High-Rise Mixed-Use
- Community Commercial Mixed-Use
- Employment Commercial Mixed-Use
- General Employment
- Prestige Employment
- Major Institutional
- New Community Areas
- Theme Park and Entertainment
- Parkway Belt West Lands
- Infrastructure and Utilities
- Lands Subject to Approved Area Specific Secondary Plans (see Schedule 14)
- Roads
- Railway
- Greenbelt Plan Area & Oak Ridges Moraine Conservation Plan Area
- Oak Ridges Moraine Natural Core
- Oak Ridges Moraine Natural Linkage
- Oak Ridges Moraine Countryside
- Hamlet
- Minister's Decision on ORMCP Designation Deferred
- Municipal Boundary

Refer to Schedules 14B-C for Lands Subject to Area and Site Specific policies in Volume 2.



February 2014





8109 Kipling Avenue, Woodbridge (Vaughan)

Owner: D. Condello Trucking Ltd.

Outstanding mortgage: National Bank of Canada

CHAIN OF TITLE

Lot 2, Plan 598, Vaughan

(formerly Pt Lot 8, Concession 7, Vaughan (Woodbridge))

PIN 03300-0129

Instrument #	Instrument type and amount paid	Date of Instrument	Registration Date	Vendor	Purchaser	Amount of land
Patent		9 July 1829		Crown	CANADA COMPANY	All 200 acres
10930	B & S	17 May 1834	15 July 1834	Canada Company	Washington Peck	W 1/2
14566	B & S	22 Feb. 1837	11 Oct. 1837	Washington Peck	Rowland Burr	Pt. W ½
NOTE; The above documents are the only documents I can identify until Plan 598 (owned as Porter) are legible. I cannot locate when Mr. Porter purchased the lands.						

Plan 598		29 Oct. 1894	21 Oct. 1894	Porter		Peter L. Gibson, P.L.S.
149	Grant \$800	22 Nov. 1884	29 Nov. 1884	Thompson Porter	Charles W. Wallace	Village of Woodbridge All ½ acre lot 2
399	Grant \$550	13 Dec. 1894	14 Dec. 1894	Thomas Frank Wallace Estate of Charles W. Wallace	Joseph Huson	All
2816	By-law			Plan 598		
2859	Grant \$6,000	28 Jan. 1953	6 Feb. 1953	Sarah Elizabeth Egan (formerly Sarah Huson)	Bayard Bryant	Lot 2, Plan 598
71601 DOCUMENT MISSING	Grant	17 Jan. 1973	31 Jan. 1973	Bayard Bryant	John B. McQuay and Olive Gertrude McQuay	Lot 2, Plan 598
84355	Grant \$133,800	14 Nov. 1979	7 Dec. 1979	John B. McQuay and Olive Gertrude McQuay	Nicola Villani and Libera Ballarino, each as to undivided one half interest as tenants in common	Lot 2, Plan 598
343272	Transfer \$177,500	26 April 1984	4 May 1984	Nicola Villani, Esquire and Libera Ballarino, married woman, as to undivided one half interest as tenants in common	D. Condello Trucking Ltd.	Lot 2, Plan 598
R726364	Charge \$725,000	18 July 1998	29 July 1998	D. Condello Trucking Ltd.	National Bank of Canada	Lot 2, Plan 598
LT1609039	Notice		19 May 2014	Notice of Change of Address for Service	National Bank of Canada 350 Rutherford Road South,	Lot 2, Plan 598 PIN 03300-0129

**8101 Kipling Avenue, Woodbridge (Vaughan)**

**Owner: Domenico Condello and Marianna Condello**

**Outstanding mortgage: National Bank of Canada**

**CHAIN OF TITLE**

**Part Lot 1, Plan 598; part W 1\2 Lot 7, con. 7, part lot 8, con. 7, Vaughan**

**(Woodbridge)**

**PIN 03300-0130**

<b>Instrument #</b>	<b>Instrument type and amount paid</b>	<b>Date of Instrument</b>	<b>Registration Date</b>	<b>Vendor</b>	<b>Purchaser</b>	<b>Amount of land</b>
Patent		9 July 1829		Crown	Canada Company	All 200 acres
10930	B & S	17 May 1834	15 July 1834	Canada Company	Washington Peck	W 1/2
14566	B & S	22 Feb. 1837	11 Oct. 1837	Washington Peck	Rowland Burr	Pt. W ½
NOTE; The above documents are the only documents I can identify until Plan 598 (owned as Porter) are legible. I cannot locate when Mr. Porter purchased the lands.						

Plan 598		29 Oct. 1894	(?) Oct. 1894	Porter		Peter L. Gibson, P.L.S.
149	Grant	22 Nov. 1884	29 Nov. 1884	Thompson Porter	William Henry Bunt	Village of Woodbridge All ½ acre lot 2
700 Woodbridge	Grant \$1,300	9 Nov. 1907	(?) Nov. 1907	William Henry Bunt	The Toronto Grey and Bruce Railway Company	Lot 1, Plan 598 and part of lots 7 Concession 7
1667 Woodbridge	Grant \$700	21 April 1938	29 April 1938	The Toronto Grey and Bruce Railway Company and the Lessee, Canadian Pacific Railway Company (Grantors)	Nicholas Pona	Lot 1, Plan 598 (see plan attached)
2816	By-law			Plan 598		
5882	Grant	25 May 1965	16 June 1965	Nicholas Pona and Sophie Pona	Michael Comission and Pearl Comission	Part lot 1, Plan 598 and part of lots 7 Concession 7
85575	Grant \$102,900	4 July 1980	29 Aug. 1980	Michael Comission and Pearl Comission	Dominic Condello and Marianna Condello	Part lot 1, Plan 598 and part of lots 7 concession 7
R726358	Charge \$725,000	18 July 1998	29 July 1998	Dominico Condello and Marianna Condello	National Bank of Canada	Part lot 1, Plan 598 and part of lot 7 concession 7
LT1609037	Notice		19 May 2014	Notice of Change of Address for Service	National Bank of Canada 350 Rutherford Road South, Plaza II, Suite 110 Brampton, Ontario L6W 4N6	Lot 2, Plan 598 PIN 0330-0130
YR1349468	By-law # 102-2009		2009/07/28	The Corporation of the City of Vaughan A by law to designate an area of the City of Vaughan as a Heritage Conservation		PIN 03300-0130 Part of lots 6, 7, 8 and 9 Conc. 7 and 8



## Mark Hall, OAA, MRAIC, RPP, MCIP, FAIA, AICP, CAHP

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### ACADEMIC + PROFESSIONAL TRAINING

Harvard University, Master of City Planning in Urban Design  
US Navy Civil Engineer Corps Officer School, Certificate of Graduation  
Construction and Design Management  
Massachusetts Institute of Technology  
Graduate Studies in Planning and Economics  
Pratt Institute, Master Degree program studies in Planning and Economics  
University of Michigan, Bachelor of Architecture

### DESIGN AND CONSTRUCTION EXPERIENCE

Mariposa Land Development Company [1438224 Ontario Inc.]  
Toronto / Orillia, President  
Orchard Point Development Company [1657923 Ontario Inc.]  
Orillia, Vice President  
MW HALL CORPORATION, Toronto, Toronto, President  
Teddington Limited, Toronto,  
Development advisor, Planner, Architect  
ARCHIPLAN, Los Angeles, Principal/President

DMJM, Los Angeles, Planner  
Gruen Associates, Los Angeles, Planner  
US NAVY, Civil Engineer Corps, Officer  
Apel, Beckert & Becker, Architects, Frankfurt  
Green & Savin, Architects, Detroit

### CITY DEVELOPMENT / URBAN DESIGN / REAL ESTATE DEVELOPMENT

Mark Hall has directed a number of city development and urban design projects, including waterfront revitalization, commercial, multi-unit residential, industrial facilities and major mixed use projects in both public and private clients/employers. He has worked on staff for public agencies, including real estate development and property management services. He understands the dynamics of city development, the techniques required for successful implementation, and procedural, financial and political requirements. His experience and contributions range throughout Canada, the United States, Europe, Southeast Asia, the Middle East and the Arctic. As a result of his extensive experience in this area, he has been invited to participate in the Regional Urban Design Assistance Team [R/UDAT] programs of the American Institute of Architects, and a program of waterfront renewal in Toronto by the Ontario Professional Planners Institute. He is a Registered Professional Planner in Ontario, member of the Canadian Institute of Planners, and a founding member of the American Institute of Certified Planners. Recently, as president of Mariposa Land Development Company, he designed and built a 54 unit condominium apartment project designed to upgrade the waterfront of historic downtown Orillia, Ontario. The building has spurred a number of revitalization projects in Orillia.

### HISTORIC PRESERVATION / ADAPTIVE REUSE

Mr. Hall has developed special interest and expertise in historic preservation and adaptive reuse of historic structures and city districts. He has served as president of the Los Angeles Conservancy, and designed projects combining historic preservation and appropriate adaptive reuse of the properties. He is a member of the Canadian Association of Heritage Professionals. Recently he served as preservation architect on renovations of the RC Harris Water Plan, a designated cultural heritage building in Toronto. He has served as architect for restoration and additions to a number of historic houses in the Annex, Beaches and other areas of central city Toronto, as well as Belleville, Orillia, Mississauga and Brampton, and in Los Angeles and Florida. He frequently works with property developers, municipalities and heritage property owners as consultant regarding historic properties of concern to municipalities in which they are working.

### ARCHITECTURE

A licensed architect for over 40 years, Mr. Hall is licensed to practice in Canada and the US. He has been responsible for design and construction of a number of significant projects: mixed use structures, corporate headquarters and industrial facilities, military facilities, multi-unit residential, civic and commercial centres, and seniors housing. He understands the design, construction and real estate development process, as well as management of multi-disciplinary and client concerns for cost effective, efficient, award-winning structures. Many of the structures he has built are the result of implementing more comprehensive master planned developments. For his work in historic preservation, education and community service he was awarded Fellowship in the American Institute of Architects.

### COMMUNITY & EDUCATION SERVICE

In addition to professional practice, Mr. Hall has made major commitments to teaching and community service. He taught urban design and city planning at USC, UCLA, Southern California Institute of Architecture [SCI ARC] and Boston Architectural Center. While at Harvard he worked with the Harvard Urban Field Service in Boston's Chinatown. As an officer in the US NAVY he was awarded a special Commendation Medal for development of a master plan for the NAVY's Arctic Research Laboratory and the adjacent Inupiat community of Barrow, Alaska. His work has been published in professional journals and has received various awards and honors. He served on the board of directors and later as president of the Southern California chapter of the American Institute of Architects. He was co-chair for the Ontario Professional Planners Institute [OPPI] of a multi-disciplinary design Charette to determine the future of the Metropolitan Toronto waterfront, and later on a committee of the Ontario Association of Architects looking into solutions to urban sprawl. He has served as president of the non-profit Housing Development Resource Centre [HRDC] and as president of Toronto Brigantine, a non-profit organization providing sail training aboard two tall ships in the Great Lakes.



[illegible]





May 28, 2019,

To. Mr. Tony Candello, Manager  
D. CONDELLO TRUCKING LTD.  
3627 Rutherford Rd., RR#2,  
Woodbridge, ON., L4L 1A6

**Project:**

BUILDING DEMOLITION REPORT  
8109 KIPLING AVE., WOODBRIDGE, ON.

**Area of work & description of Buildings.**

DEMOLITION OF THE BUILDING LOCATED AT 8109 KIPLING AVE.,  
WOODBRIDGE, ON., LOT 2, REGISTERED PLAN 598.

At the subject lot area there are two existing buildings which are attached along one side where the existing brick wall of the oldest building is used as a common party wall.

The first building is the oldest two storey brick building and is located at the west site of the property. This building is classified as Heritage Building under part 5 of the Heritage Building classification. This building is constructed approximately in the year of 1896, with footprint of +/- 20'-0" x +/-28'-0" and it is not subject to demolition therefore, this building must remain as it is undamaged.

The second building is a three storey concrete block with stucco finish, approximately 60 year old building with foot print of +/- 27'-0" x +/-28'-0". This building is located towards the east side of the property and is attached at the existing east side brick party wall of the oldest building. This building is subject to demolition.

The demolition of the east side three storey building shall be provided in two phases.

The 1st phase shall consist of demolition of the east and central part of the east building using adequate mechanical equipment. The equipment must work with extreme caution starting from the roof and by removal of one storey at a time and shall be located at safe distance from the existing party wall of the oldest building.

The 2nd phase shall consist of hand demolition of the remaining parts which are close or attached to the party brick wall of the oldest building. The 2nd phase of demolition also shall be done starting from the roof and working at one storey at a time by following and coordinating with the demolition work of the 1st phase.

**Scope of Demolition Work:**

The scope of demolition work for the subject building shall be in accordance with the demolition agreement which consist:

- Removal of the sidewalk and driveways from the site at the rear of the east building.
- Removal of all construction debris and rubble from the site.
- Removal of the above grade building including the foundation walls and footings.
- Back fill and compact site to finish grade with non-organic material.
- Cover site with top soil to a minimum depth of four inches with sod or seed.
- Grade in accordance with approved applicable grading and drainage control plan.

**Equipment being used:**

- \* Excavator Hitachi 350
- \* Excavator Hitachi 370
- \* Excavator John Deer 350
- \* Excavator John Deer 225
- \* All with attachments Bucket, grapples, hammer, & shears
- \* Bobcats with Bucket/Grapple
- \* Hydraulic Hammer
- \* Zoom boom, scissor lift

**Procedure for Demolition:**

- \* The demolition site is to be secured/hoarded/fenced as required to meet City of Woodbridge Municipal Code, Ontario Building Code, Ontario Occupational Health and Safety Act and regulations for Construction projects.
- \* On site work that generates noise will be restricted to scheduled hours from Monday to Friday (Statutory holidays excluded).
- \* Permission to access the area by the owner and/or subcontractors will require pre-approval by the Demolition Company prior to entry. Access will be limited and approved by Demolition Company and is subject to prevailing site conditions.
- \* Demolition Company Foreman and labor force to review procedures prior to work commencing. Ensure the work is supervised by an experienced and competent foreman at all times.

- \* Work to commence upon completion of the disconnection and making safe all existing services including the requirement to mark and locate all services passing under, through, overhead and adjacent to the work area. Such services include: Electrical power lines, gas mains, oil pipelines, communication cables, water mains, drainage piping ( storm and sanitary).
- \* Provide and maintain temporary services required during the Work to the satisfaction of the authorities having jurisdiction, including fire department and utility companies.
- \* Protect, relocate and maintain existing active services for the west building and whenever they are encountered for the duration of time required for use by the Demolition Contractor in the case of demolition the east building or if specified by the Scope of Work all services are to be made inactive, sealed and removed by the end of the Work. Wherever inactive services are encountered or when active services are to be made permanently inactive, seal and cap the service at a location indicated in the Scope of Work or if not indicated at a location approved by the Owner's Designee. Remove the unwanted portion of the service with approval of the authorities having jurisdiction or public utility concerned in a manner approved by them.
- \* Before commencing of the demolition work, contact the Electrical Department of local authority to confirm that all electrical supply has been disconnected. If there is active electrical supply to the property, tour the Site with the Electrical Department representative. Post warning signs on electrical lines and equipment which must remain energized during the period of demolition. Prior to completion of the work, remove electrical equipment scheduled for removal as required by the Work.
- \* Before commencing of the demolition work, contact the Natural Gas supply company to confirm that all gas supply has been disconnected. If there is active supply to the Property, tour Site with the company representative to identify and mark the locations of active lines and to determine possible locations for capping/removal.
- \* Disconnect and cap mechanical services ( sewer, water supply, heating, ventilation, air Conditioning) in accordance with requirements of local authority having jurisdiction and in accordance with the capping location specified by the Scope of Work or if not specified by the Scope of Work, by the Owner's Designee. Remove and dispose of other existing underground services and mechanical equipment including services located outside of the buildings footprint, unless otherwise agreed upon in writing by the Owner's Designee.
- \* At the end of each day's work, leave the work and site in as safe condition.

- \* All required personal protective equipment to be provided to and worn by Demolition Contractor's employees including hard hats, safety glasses, reflective vests, CSA approved construction footwear, and fall arrest protective equipment when required.
- \* Demolition Contractor to install any public protection/barriers at perimeter of work area as required, prior to Demolition Contractor mobilizing into work space. Demolition Contractor to install safe protection fence along all the perimeter of the proposed demolition area.
- \* Use of explosive during the demolition is strictly prohibited & any explosive demolition will not take place.

**Sequence and performance of demolition:**

1. Initiate the demolition of the east building starting from the roof and complete the two phases (the 1st and then the 2nd phase) of demolition on the roof area. Similarly repeat the demolition in sequence for the lower levels of the building Including the foundation walls and the footings as well. Do not damage the existing roof, party wall and foundations of the oldest building which must Remain undamaged.

The structural system of the building subject to demolition is wood roofing framing, plywood and roofing shingles, wood floors joists supported on 10" thick exterior concrete block bearing walls and on mid-interior 2x6 @ 16" o/c., stud walls at all above grade floor levels.

There are steel lintels along the exterior windows elevations and steel framing at the rear exist.

The foundation walls are 12" concrete block and poured concrete, concrete floor slab on grade at basement and concrete footings as well.

The partition non load bearing walls are stud walls with drywall, and the ceiling is Drywall and acoustic ceiling tiles. The flooring finish is Carpet, wood, vinyl, tiles, and ceramic floor tiles.

2. Demolition of the east building will be performed in sequences starting from the roof, then the upper floor, then the masonry block and stud wall bearing walls and, then all the partition stud walls, the steel beams & columns, at each floor level and finally the concrete floor slab on grade, foundation walls and footings as well.


3. Demolition of the roof system, the masonry walls, the partition stud walls, the Concrete slab and concrete foundations shall be performed with the Excavators "Hitachi 350, Hitachi 370 and Bobcat with Bucket/Grapple as required.
4. Torch cutting equipment to be used to remove the re-bars from the reinforcement concrete members (slab, beam, walls) when required.
5. Remove all material debris separating the wood, concrete, brick, block, steel and other material and dispose with excavator into separate disposal bins. Any asbestos material shall be removed in accordance with the Ontario Occupational Health and Safety Act as required.
6. Remove all concrete sidewalks & curbs around the building and off site.
7. At the end of demolition and debris removal adequate back fill of the pit excavation with adequate compacting to finish grade with non-organic material shall be provided.
8. Final debris removal shall be performed to assure safe site condition.

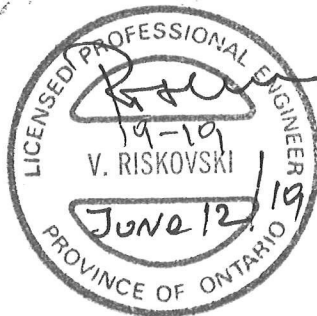
### Additional Recommendations:

1. Do not use any vibration equipment for compacting the back fill, within 8 feet of the heritage house. This compaction should be done by hand to avoid any disturbance to the masonry of the heritage house.
2. Do not use mechanical equipment to remove any of the apartment building, within 8 feet of the heritage house. This demolition should be done by hand.
3. Any construction attached to the heritage house should be removed by hand.
4. In the event of rain during the demolition process use tarps to protect the heritage house until rain ceases.
5. If utilities for heritage house are connected to the apartment building, they should be separated prior to any demolition.

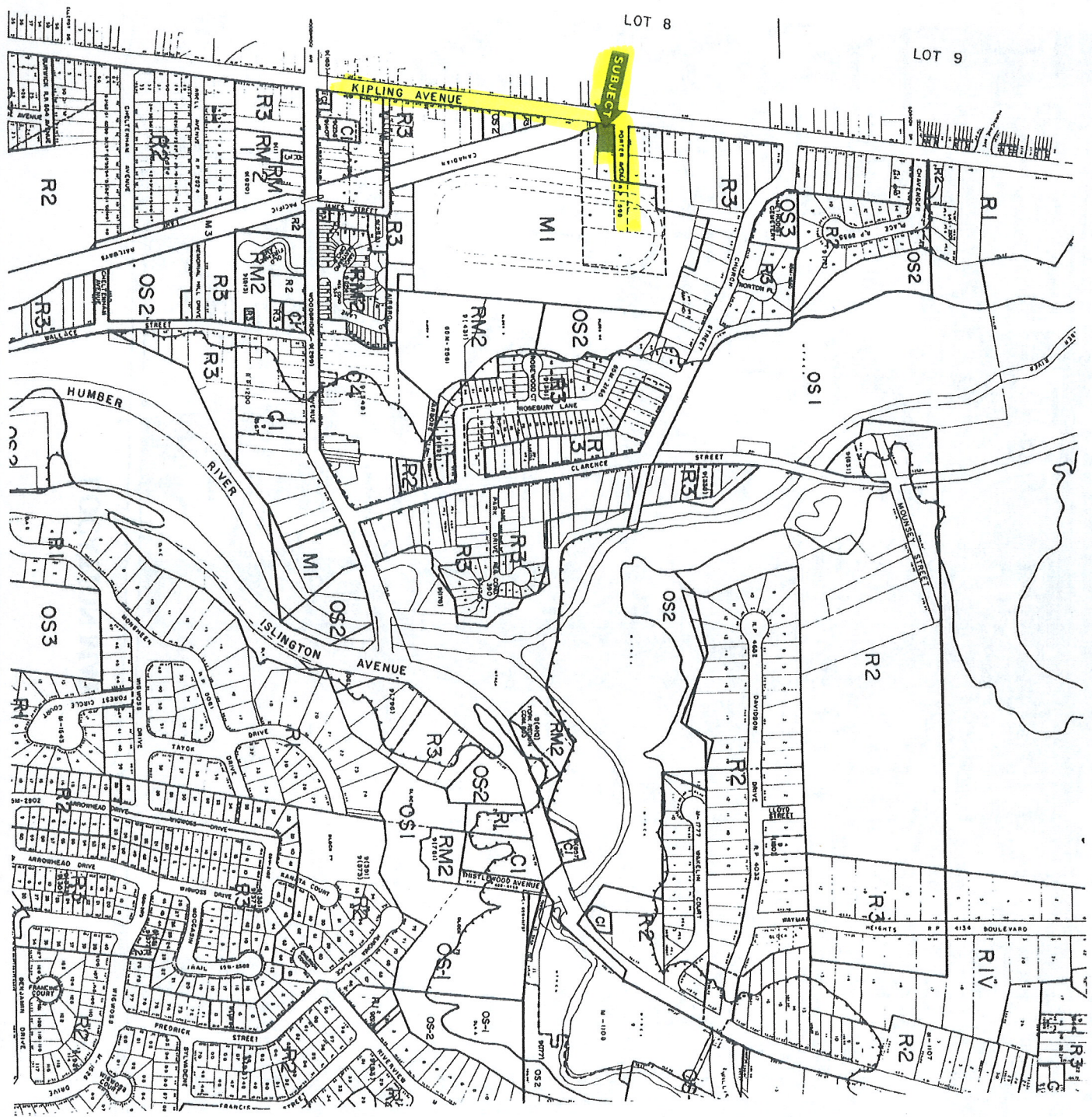
If you have any questions or concerns please do not hesitate to contact us.

Respectfully,

  
Vasil Riskovski, M. Eng. P.Eng.  
VASCO Engineering Inc.



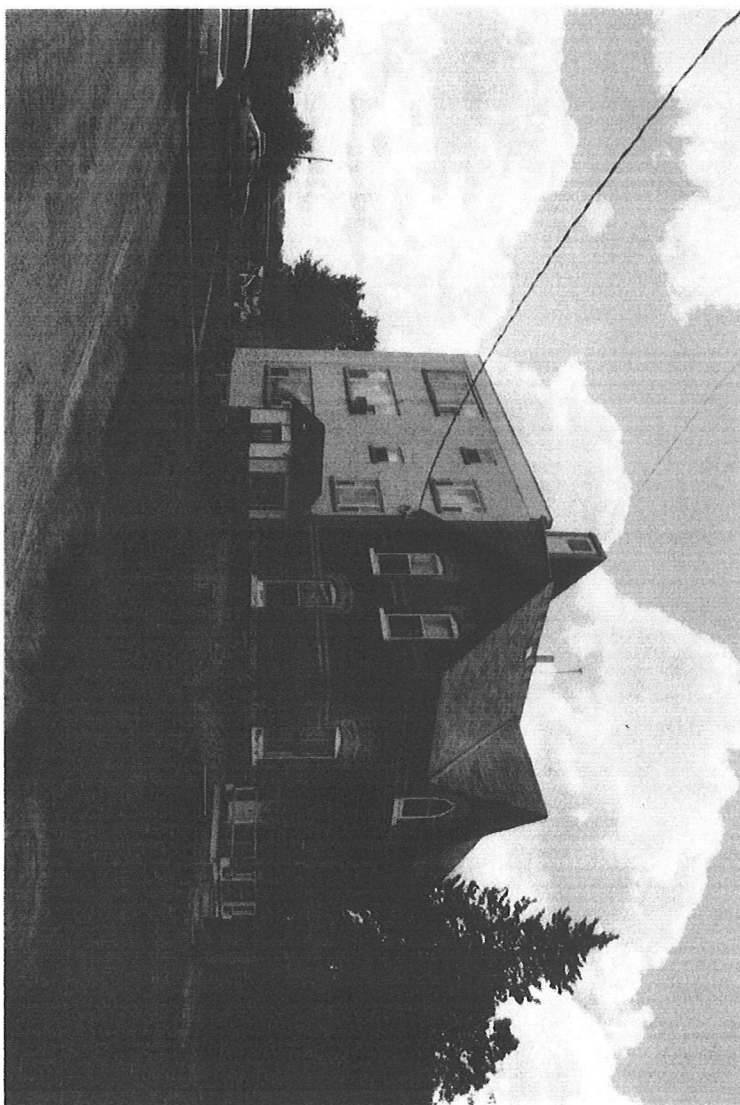




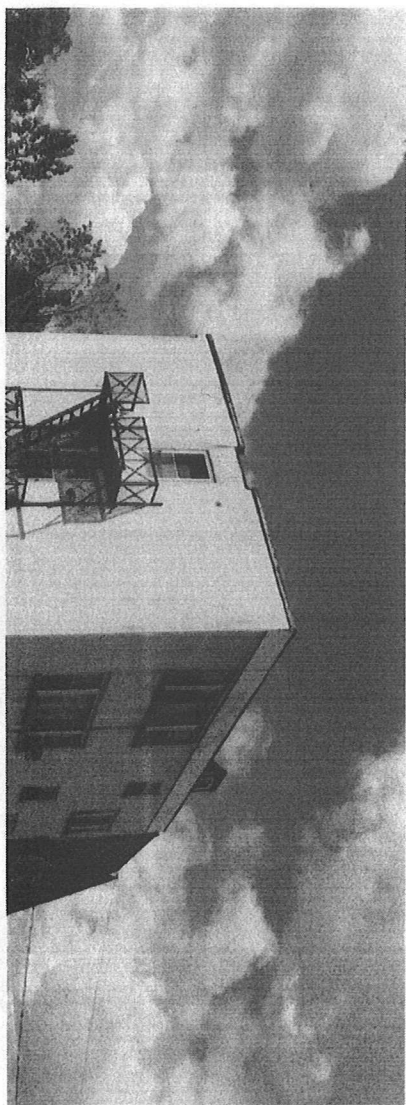
ZONING MAP

**SUBJECT PROPERTY**

**8109 Kipling Avenue, Woodbridge**



**Front View**



**SUBJECT PROPERTY**





## Heritage Vaughan Committee Report

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**DATE:** Wednesday, October 16, 2019

**WARD(S):** 4

**TITLE: RELOCATION OF ONE DESIGNATED PART IV HOUSE (58 FANNING CIRCLE) AND A LISTED HOUSE (39 KEATLEY DRIVE) TO 10090 BATHURST STREET, VICINITY OF BATHURST STREET AND MAJOR MACKENZIE DRIVE WEST**

**FROM:**

Jason Schmidt-Shoukri, Deputy City Manager, Planning and Growth Management

**ACTION:** DECISION

---

**Purpose**

To seek a recommendation from the Heritage Vaughan Committee regarding the proposed relocation and restoration of the George Munshaw House (Designated under By-law 403-87 as Amended by By-law 103-2016) located at 58 Fanning Mills Circle, and the relocation of the Bassingthwaite House (Listed under Section 27 of the *Ontario Heritage Act*) currently located at 39 Keatley Drive (formerly 10244 Bathurst) to a new location known as 10090 Bathurst Street.

**Report Highlights**

- The Owner is proposing to relocate 2 heritage structures to a new location at 10090 Bathurst Street
- One structure is known as the “George Munshaw House” (Designated Part IV under By-law 403-87, as amended by by-law 146-2016)
- One structure is known as the “Bassingthwaite House” and is Listed under Section 27 of the *Ontario Heritage Act*.
- Heritage Vaughan review and Council approval is required under the *Ontario Heritage Act*
- Staff recommends approval of the proposal as it conforms with the policies of Vaughan Official Plan 2010 regarding the relocation of heritage structures.

## **Recommendations**

1. THAT Heritage Vaughan recommend Council approve the proposed relocation and restoration of the George Munshaw House located at 58 Fanning Mills Circle to 10090 Bathurst Street under Section 34 of *Ontario Heritage Act*, subject to the following conditions:
  - a) The Owner shall enter into a Heritage Easement Agreement under Section 37 of the *Ontario Heritage Act* with the City of Vaughan for the preservation / conservation of cultural heritage value;
  - b) The Owner shall provide a Letter of Undertaking with financial securities calculated to the cost of relocation and restoration of the George Munshaw House;
  - c) The Owner shall provide the City with an updated legal description of the new location to facilitate the amendment of the designation by-law;
  - d) The George Munshaw House shall be relocated, stabilized and footings, foundation and site services be installed prior to the relocation and restoration of the Bassingthwaite House;
  - e) Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning and Manager of Urban Design and Cultural Heritage;
  - f) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application; and
  - g) The Owner shall submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Vaughan Development Planning Department.
2. THAT Heritage Vaughan recommend Council approve the proposed relocation of the Bassingthwaite House located at 39 Keatley Drive to 10090 Bathurst Street of *Ontario Heritage Act*, subject to the following conditions:
  - a) The Owner shall enter into a Heritage Easement Agreement under Section 37 of the OHA with the City of Vaughan for the preservation of the conservation of cultural heritage value;
  - b) That the Owner provide a Letter of Undertaking with financial securities calculated to the cost of relocation and restoration of the Bassingthwaite House;

- c) The Owner shall provide the City with an updated Statement of Cultural Heritage Value in order to facilitate the inclusion of the Bassingthwaite House into the amendment of the designation by-law;
- d) Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning and Manager of Urban Design and Cultural Heritage;
- e) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application; and
- f) The Owner shall submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Vaughan Development Planning Department.

## **Background**

Both the George Munshaw House and the Bassingthwaite House were originally located within Draft Plan of Subdivision file 19T-03V13. In 2005, several structures in the subject area were approved for demolition with the exception of the George Munshaw House (designated under by-law 403-87) which was located at 980 Major Mackenzie Drive West and the structure known as the Bassingthwaite House located at 10244 Bathurst Street. The two houses were to be integrated into the future subdivision due to their strong cultural heritage value.

The following is an extract from the August 24, 2005, Council approved recommendation:

*“That the Bassingthwaite House (at 10244 Bathurst Street) be preserved and integrated into the subject Draft Plan of Subdivision to the satisfaction of Cultural Services staff.  
That the owner continue to have the George Munshaw House (the small building at 980 Major Mackenzie Drive) preserved and eventually integrated into the subject Draft Plan of Subdivision to the satisfaction of Cultural Services staff.”*

## **The George Munshaw House**

The George Munshaw House was built circa 1825-1850, with vertical plank sheathing as a frame support and represented the transition period from post and beam construction to balloon frame construction. Originally located on Concession 2, Lot 44 West Half, it was moved to 980 Major Mackenzie Drive West in 1984 and in 1987 was

designated under Part IV of the *Ontario Heritage Act* ('OHA') due to its historical and architectural value.

In May 2015, the Owner proposed the relocation of the George Munshaw House to its current location (Lot 104 of Phase 2 of Draft Plan of Subdivision file 19T-03V13) on Major Mackenzie Drive West, west of Bathurst Street. This proposal was recommended for approval at the 13 May 2015 Heritage Vaughan meeting and was approved by Council on June 23, 2015. Subsequently, the George Munshaw House was relocated in September of 2016 to its current location municipally known as 58 Fanning Mills Circle. The relocation was not entirely completed as the house has remained on stages and has been kept on supports with no new foundation.

As part of the proposal, a current condition survey was completed and the house was found to be in relatively good condition as outlined in the submitted Cultural Heritage Resource Impact Assessment (CHRIA). It is imperative that the house be stabilized as soon as possible in the proposed new location however, to prevent further deterioration.

#### The Bassingthwaite House

According to the initial research provided in the Archeological Services Inc., March 2005 report entitled "Cultural Heritage Impact Assessment for Helmhorst Investment Limited," The Bassingthwaite House is a two-storey structure constructed in approximately 1860, which was renovated and enlarged in the 1980s with a two-storey rear addition that "was constructed to the south elevation." The time period of this later addition is confirmed through the review of aerial photos from this period.

The Bassingthwaite House was identified in 2005 as containing significant cultural heritage value and Listed under Section 27 of the *Ontario Heritage Act*. At the early stages of the application process it was identified as one of the buildings to be retained and integrated into Draft Plan of Subdivision file 19T-03V13. The house remains in its original place, although its municipal address was changed from 10244 Bathurst Street to 59 Keatley Drive. In 2012, demolition clearances were given to demolish the collection of outbuildings (a garage and 3 barns) located on the original property. In 2014 a Letter of Undertaking was issued for the structure's restoration, but conservation work has yet to begin. The dwelling is currently unoccupied.

#### 10090 Bathurst Street

The proposed new location for both houses is 10090 Bathurst Street. This property located on the west side of Bathurst Street, just north of Major Mackenzie Drive West. This property was the location of the Patterson School Secondary School No.19, built in 1870 and decommissioned in 1964. Upon its decommission it was sold and readapted into a private home on the site. As the site was never Listed or Designated by the City

of Vaughan, it was not identified as a heritage property and was demolished in 2018.

### **Previous Reports/Authority**

Heritage Vaughan August 24, 2005

Heritage Vaughan Committee – April 23, 2014

Heritage Vaughan Committee May 13, 2015

### **Analysis and Options**

#### ***Ontario Heritage Act***

Under the *Ontario Heritage Act*, the relocation and restoration of the George Munshaw House must follow the process outlined in the following Sections of the OHA;

Section 33 – the alteration of a designated property, both in the removal of the structure and its restoration and renovation.

Section 30 – the amendment of the designation by-law to update and amend the new legal description of the property.

Section 34 – the relocation of the structure is to be treated as a demolition of the structure, with the subsequent repeal of the previous designation (i.e. Fanning Mills Circle).

The ongoing preservation of the cultural heritage value of the Munshaw House will be ensured by the City entering into an easement agreement with the Owners under Section 37 of the OHA, for the conservation of property of cultural heritage value. This covenant is to be entered into after Council approves the proposed works presented in this report.

The Bassingthwaite House is not designated under Part IV and therefore its relocation and restoration does not require a heritage permit. However, as the intent is relocate the house to what will have become a designated Part IV property consisting of the George Munshaw House, it too will therefore be covered under Part IV protection upon relocation, and its restoration should be considered in the context of conserving its cultural heritage value. To this end, there will be another Section 37 heritage easement agreement needed, to identify and conserve the additional cultural heritage value of the Bassingthwaite House.

**All new development must conform to the Cultural Heritage policies and guidelines within the *City of Vaughan Official Plan 2010* ('VOP 2010').**

Section 6.1 of VOP 2010 promotes an active and engaged approach to the recognition and conservation of cultural heritage resources and their integration into future development.

Section 6.2.2.4 of VOP 2010 states that Designated heritage properties shall be conserved in accordance with good heritage conservation practice, and that the City may permit alterations or additions to designated heritage properties when those properties and their heritage attributes are conserved in accordance with good heritage conservation practice.

Section 6.2.2.7(c) of VOP 2010 allows for the alternative to relocate a designated heritage property to another site within the same development if all options for on-site retention have been explored. Conservation in-situ of the same use or through adaptive reuse are the preferred first and second options, while relocation to another site within the same development is the third option.

Staff supports the relocation and retention of the George Munshaw House given that the house was previously moved in 1984 from its original site in modern-day Richmond Hill and that the proposed relocation within the new proposed subdivision provides a viable continued residential use and siting that is sympathetic to its character defining elements. It will also provide for the stabilization and restoration of the structure. The proposed new location will be visible along Bathurst Street and not far from its original location on the east side of Bathurst.

The initial intent was for Bassingthwaite House to be retained in-situ but it was determined that the proposed location will improve the setting of the Bassingthwaite House by providing it with a naturalized setting. The original orientation of the Bassingthwaite House, facing east towards Bathurst Street, can be maintained. This will improve the visual prominence of the resource. Depending on its use, it may also facilitate greater accessibility to and appreciation by the public.

The Owner has submitted a combined Cultural Heritage Resource Impact Assessment (CHRIA) and Conservation Plans for both locations. Cultural Heritage staff has reviewed these reports and find that they meet the City of Vaughan Guidelines. The documents do not set out a sequence of when the buildings are to be moved, but recognizes that if the George Munshaw House is to be saved, relocating it to a location where it can be restored and rehabilitated is a priority.

By contrast, the relocation of the Bassingthwaite House is not as urgent, and Cultural Heritage staff recommends that it be stabilized in place until the Munshaw House has been relocated with a new foundation, footings and site services have been installed. Once the George Munshaw House has been stabilized at the new location, the Bassingthwaite House may be prepared for relocation.

Cultural Heritage staff notes that the Toronto and Region Conservation Authority ('TRCA') regulates the construction, reconstruction or placement of a building or structure of any kind on the proposed site as it is under Ontario Regulation 166/06. Based on a preliminary review of the site plan, the TRCA has no concern with the proposed locations of the buildings and the intent that the programming of the buildings will be completed after the move, through the related *Planning Act* approvals.

For the time being the use of property will be maintained as residential, with one of the buildings identified as a dwelling unit and the other as an accessory structure. Any future changes in use will require a Zoning By-law amendment. Furthermore, once the designation is updated, any proposed alterations to the property will require an application to alter a structure under Section 33 of the *OHA*.

### **Financial Impact**

There are no requirements for new funding associated with this report.

### **Broader Regional Impacts/Considerations**

There are no broader Regional impacts or considerations.

### **Conclusion**

The Urban Design and Cultural Heritage Division of the Development Planning Department is satisfied the proposed relocation and restoration proposals conforms to the policies and guidelines within the Vaughan 2010 Official Plan. Accordingly, staff can support Council approval of the proposed relocation of the Part IV designated George Munshaw House located at 59 Fanning Mills Circle, and the relocation of the Bassingthwaite House (Listed under Section 27) currently located at 59 Keatley Drive (formerly 10244 Bathurst) to a new location known as 10090 Bathurst Street, as shown on Attachment 1.

**For more information**, please contact: Katrina Guy, Cultural Heritage Coordinator, ext. 8115

## **Attachments**

1. Context Plan
2. Aerial Plan
3. Existing Site Plan for Fanning Mills Circle
4. Existing Site Plan for 39 Keatley Drive
5. By-law 403-87 as amended by bylaw 146-2016
6. Cultural Heritage Resource Impact Assessment
7. *Conservation Plan for the George Munshaw House*
8. *Conservation Plan for the Bassingthwaite House*
9. Proposed Site Plan for 10090 Bathurst Street

## **Prepared by**

Nick Borcescu, Senior Heritage Planner, ext. 8191

## **Reviewed by**

Rob Bayley, Manager of Urban Design/Cultural Services, Development Planning  
Mauro Peverini, Director of Development Planning

Location of Subject Property



Red: 58 Fanning Mills Circle (George Munshaw)

Orange: 39 Keatley Drive (Bassingthwaite)

Yellow: 10090 Bathurst Street (Proposed Location)

# ***THE CITY OF VAUGHAN***

# ***BY-LAW***

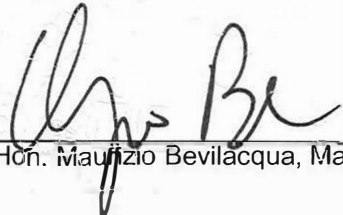
## **BY-LAW NUMBER 146-2016**

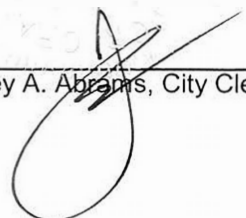
A By-law to amend By-law 403-87 as amended by By-law 167-2014, a by-law to designate the George Munshaw House, Lot 104, Plan 65M-4491, in the City of Vaughan, Regional Municipality of York, as being of architectural and historical value under Section 29 of the *Ontario Heritage Act*, R.S.O.1990.

The Council of the Corporation of the City of Vaughan enacts as follows:

1. That By-law 403-87 as amended by By-law 167-2014, a by-law designating the George Munshaw House, under Part IV of the Ontario Heritage Act, be amended by deleting Schedule "A", Description of Lands, and replacing it with the attached Schedule "A".
2. That the Clerk is hereby authorized to cause a copy of this amending By-law to be served on the Owner and the Ontario Heritage Trust.
3. That the City Solicitor is hereby authorized to cause a copy of the amending by-law to be registered against the property description in Schedule "A" in the proper Land Registry Office.
4. By-law 167-2014 is repealed.

Enacted by City of Vaughan Council this 20<sup>th</sup> day of September, 2016.

  
Hon. Maurizio Bevilacqua, Mayor

  
Jeffrey A. Abrams, City Clerk

Authorized by Item 25 of Report No. 26  
Committee of the Whole  
Adopted by Vaughan City Council on  
June 23, 2015;

and

Authorized by Item 38.1 of Report No. 26  
Committee of the Whole  
Adopted by Vaughan City Council on  
June 23, 2015.

**SCHEDULE "A" TO BY-LAW 403-87**

Description of Lands

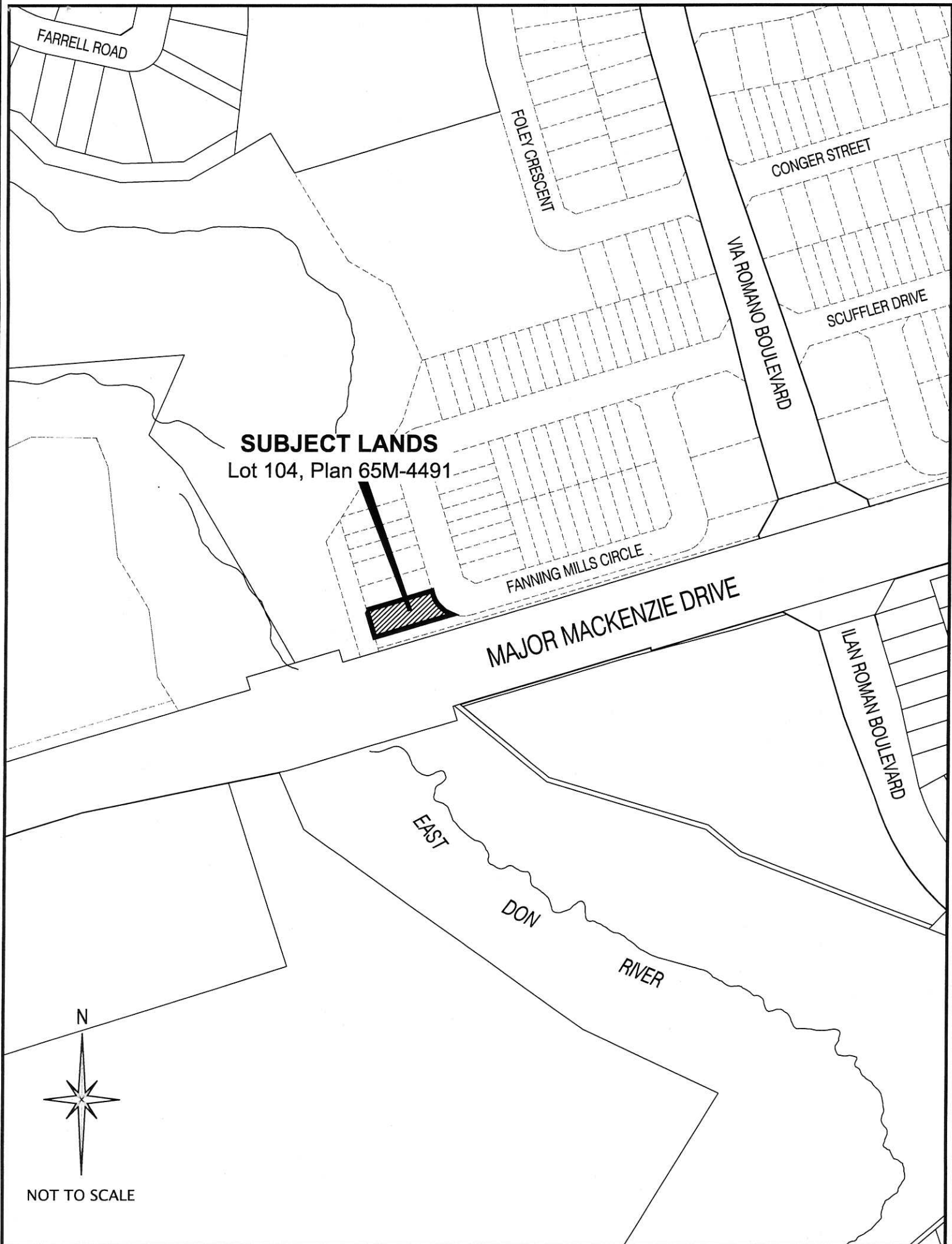
*Lot 104, Plan 65M-4491, City of Vaughan, Regional Municipality of York, being all of PIN 03341-7280*

#### **SUMMARY TO BY-LAW 146-2016**

This by-law is an administrative revision to the locational description contained within Heritage Designation By-law 403-87 as amended by By-law 167-2014 under Part IV, Section 29 of the Ontario Heritage Act. This is to reflect the relocation of the George Munshaw House as approved by Council on June 23, 2015.

This by-law amendment is pursuant to Section 30.1 of the Ontario Heritage Act.

By-law 167-2014 previously revised the legal description, therefore this bylaw will replace and repeal By-law 167-2014.



## LOCATION MAP TO BY-LAW 146 - 2016

FILE No. N/A  
LOCATION: Part of Lots 21 & 22, Concession 2  
APPLICANT: GEORGE MUNSHAW HOUSE  
CITY OF VAUGHAN



SUBJECT LANDS

THE CORPORATION OF THE TOWN OF VAUGHAN

BY-LAW NUMBER 403-87

A By-law to designate the George Munshaw House located on the property known municipally as 980 Major Mackenzie Drive, Patterson, in the Town of Vaughan, Regional Municipality of York as being of architectural value or interest.

WHEREAS Section 29 of the Ontario Heritage Act, R.S.O. 1980, authorizes the Council of a municipality to enact by-laws to designate real property, including all buildings and structures thereon, to be of architectural and/or historic value or interest; and,

WHEREAS the Council of the Corporation of the Town of Vaughan has caused to be served on the owners of the lands and premises known as the George Munshaw House, 980 Major Mackenzie Drive, Patterson, being Part of Lot 21, Concession 2, in the Town of Vaughan, in the Regional Municipality of York, more particularly described in Schedule "A" attached hereto; and upon the Ontario Heritage Foundation, notice of intention to designate the aforesaid real property and has caused such notice of intention to be published in a newspaper having general circulation in the municipality once for each of three consecutive weeks; and,


WHEREAS no notice of objection to the proposed designation has been served on the Clerk of the Municipality:


NOW THEREFORE the Council of the Corporation of the Town of Vaughan ENACTS AS FOLLOWS:

1. There is designated as being of architectural value or interest the building known as the George Munshaw House, situated at 980 Major Mackenzie Drive, Patterson, being Part of Lot 21, Concession 2, in the Town of Vaughan, in the Regional Municipality of York, more particularly described in Schedule "A" attached hereto.
2. The reasons for designation are set out in Schedule "B" attached hereto.

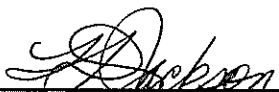
3. The Town Solicitor is hereby authorized to cause a copy of this By-law to be registered against the property described in Schedule "A", attached hereto, in the proper land registry office.
4. The Town Clerk is hereby authorized to cause a copy of this By-law to be served on the Owner of the aforesaid property and on the Ontario Heritage Foundation and to cause notice of the passing of this by-law to be published in the same newspaper in which notice of intention to so designate was published once of each of three consecutive weeks.

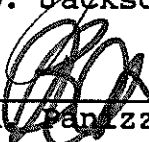
READ a FIRST and SECOND time this 16th day of November, 1987.

  
\_\_\_\_\_  
L. D. Jackson, Mayor

  
\_\_\_\_\_  
R. A. Panizza, Town Clerk

READ a THIRD time and finally passed this 16th day of November, 1987.

  
\_\_\_\_\_  
L. D. Jackson, Mayor

  
\_\_\_\_\_  
R. A. Panizza, Town Clerk

DESCRIPTION OF LANDS

All and singular that certain parcel or tract of land and premises situate, lying and being in the Town of Vaughan, in the Regional Municipality of York in the province of Ontario and being composed of Part Lots 21 and 22, Concession 2, being Part 2 on Reference Plan 65R-5977, said Plan being deposited in the Registry Office for the Registry Division of York Region (No. 65).

GEORGE MUNSHAW HOUSE



980 Major Mackenzie Drive  
Part Lots 21 and 22, Concession 2  
Maple

Angela Pacchiarotti  
August 1987

## THE GEORGE MUNSHAW HOUSE

Property: The George Munshaw House

Address: 980 Major Mackenzie Drive  
Part of Lots 21 and 22,  
Concession 2,  
Maple, Town of Vaughan

Previous Location: Lot 44, Concession 1  
N.W. 1/2

Original Owner: George Munshaw

Construction Date: c.1825-1850

Reason for  
Designation:

Designation is recommended for the George Munshaw House for its architectural significance in that it is representative of the transitional period from early post and beam construction to balloon frame construction (1825-1850). Its construction is also unique as it has no posts supporting its frame, but has vertical plank sheathing as the frame support.

It is believed that George Munshaw Sr. constructed the house situated on his property, Lot 44, Concession 1. The building was relocated to its present site in 1985. George Munshaw Sr.'s father, Balsor Munshaw was one of the first founding settlers of what is today Markham.

## HISTORICAL SIGNIFICANCE

The Munshaw (Munschauer) family was one of the first families to settle in what is today Richmond Hill. Balsor Munshaw responded to Governor Simcoe's advertisement in the Pennsylvania papers in February 1792 to settle in Upper Canada. Leaving Chester County, Pennsylvania in 1792, Balsor Munshaw arrived in Toronto around 1793.

Balsor was one of the first settlers to make his way up Yonge Street and find an adequate place to settle his family and establish himself as a farmer. It is said that so rough was the track along Yonge Street, that he found it necessary to take his canvas top wagon apart and drag the wagon wheels and other equipment up the steep hills by means of strong ropes.

Most of the land along Yonge Street was referred to as the "Black Ash Swamp", as it was impossible for farming. Balsor Munshaw continued his journey up Yonge Street until he reached the Elgin Mills area where he settled on Lot 51, Concession 1. Balsor built on the property a log cabin and cleared the area around his home. In the summer of 1794, Balsor's fifth child was born. A daughter named Susan, she is believed to be the first white child born in the Township of Vaughan.

Balsor moved to the southeast corner of Yonge Street and Langstaff Road, Lot 35, Concession 1, Markham Township, in 1795. He built a log house on his property (which later became a school house in 1811) and farmed his newly acquired land.

The Munshaw family continued to grow in size with the birth of four more children. There was a total of 9 children: John (b.1779), George (b.1785), Jacob (b.1788), Elizabeth (b.1790), Susan (b.1792), Nancy (b.1795), Aaron (b.1796), William (b.1797), and Sarah (b.1798).

Balsor's second son, George, married Hannah Marie Harvey in 1822. Hannah Marie was born in Ireland in 1801. Both Hannah and George were Methodist in religion.

In 1815, George Munshaw bought the north half of Lot 44, Concession 1, from Orrin Nale for £125.

The 1861 census shows that the Munshaw's lived in a one storey plank house on Lot 44, Concession 1. The agricultural census of 1851 indicates George was a farmer like his father, having 62 acres of his 104 acre property under cultivation.

George and Hannah had seven children: Jacob (b.1822), Benjamin, Susan, Thomas (b.1830), George (b.1832), William (b.1836) and Catherine.

George Munshaw Jr. inherited from his father, the west 40 acres of the north half of Lot 44, Concession 1, the original location of the Munshaw House.

George Munshaw Jr. was a bachelor and lived, according to the 1871 Census, on Lot 44, Concession 1, with his other brother Thomas, also a bachelor, and his mother Hannah. Hannah Munshaw died c. 1896. Thomas Munshaw died on May 19, 1916 at the age of 86. George Munshaw died of "old age" a year later on July 31, 1917, at the age of 85.

#### ARCHITECTURAL ASSESSMENT

The Munshaw House is a one and a half storey vertical plank structure with a medium pitch gable roof. There is a one storey addition also of vertical plank construction, located to the south.

The house originally had a stone mortar foundation. This was replaced when the house was relocated to its present site in 1984. The exterior of the house is covered with horizontal clapboard.

The main entrance is located on the gable wall of the north elevation. The structural opening is flat in shape with a panel of lights on both sides. Two plain trim, sashed windows with a 6/6 pane arrangement are located on the first storey of the facade. Two similar windows are located on the facade's upper storey.

Two plain trim, sashed windows with a 6/6 pane arrangement are located on the first storey of the west elevation. Two similar windows with 6/6 pane arrangement are situated on the first storey of the east elevation. A shed dormer is centrally located on the structure's east elevation. A sashed window with a 3/6 pane arrangement is located in the dormer.

The south elevation of the main structure has a plain trim sashed window with a 6/6 pane arrangement. A similar window lies just above on the second storey opposite a casement window with a 9 pane arrangement.

The rear addition has two entrances located on opposite ends of the west elevation. A plain trim sashed window with a 6/6 pane arrangement is situated between the two doorways.

The east elevation of the addition has a sashed window with a 3/6 pane arrangement. The addition's south elevation has a sashed window with a 6/6 pane arrangement.

The roof is covered with cedar shingles. A chimney is centrally located along the roofline of the main structure. There is a second chimney at the rear of the addition. The roof has extended eaves with a plain fascia and soffit.

The frame of the house is unique in that it has vertical plank sheathing as the frame support. The structure resembles post and beam construction except that the posts are replaced by vertical planks. This type of construction was used between 1825 - 1850 during the transition from early post and beam construction to balloon framing.<sup>1</sup> The method of construction used to build the Munshaw House resembles balloon framing, in that the vertical supports press beside the horizontal supports and not underneath them. The horizontal beams are held up by spikes driven through the planks. This method of construction was more economical than post and beam, as it eliminated the posts and the complicated joinery.

Designation is recommended for the Munshaw House for its architectural significance in that it is representative of the transitional period from early post and beam construction to balloon frame construction (1825-1850). Its construction is also unique as it has no posts supporting its frame, but has vertical plank sheathing as the frame support.

It is believed that George Munshaw Sr. constructed the house situated on his then property, Lot 44, Concesion 1. George Munshaw Sr.'s father, Balsor Munshaw was one of the first founding settlers of what is today Richmond Hill.

<sup>1</sup> Note: A similar frame construction to the Munshaw House is a house at Moulinette, Ontario, near the Quebec border dated 1825. The Moulinette house was demolished to make way for the St. Lawrence Seaway. For details see John I. Rempel, Building with Wood, (Toronto: University of Toronto Press, 1967) p. 124.

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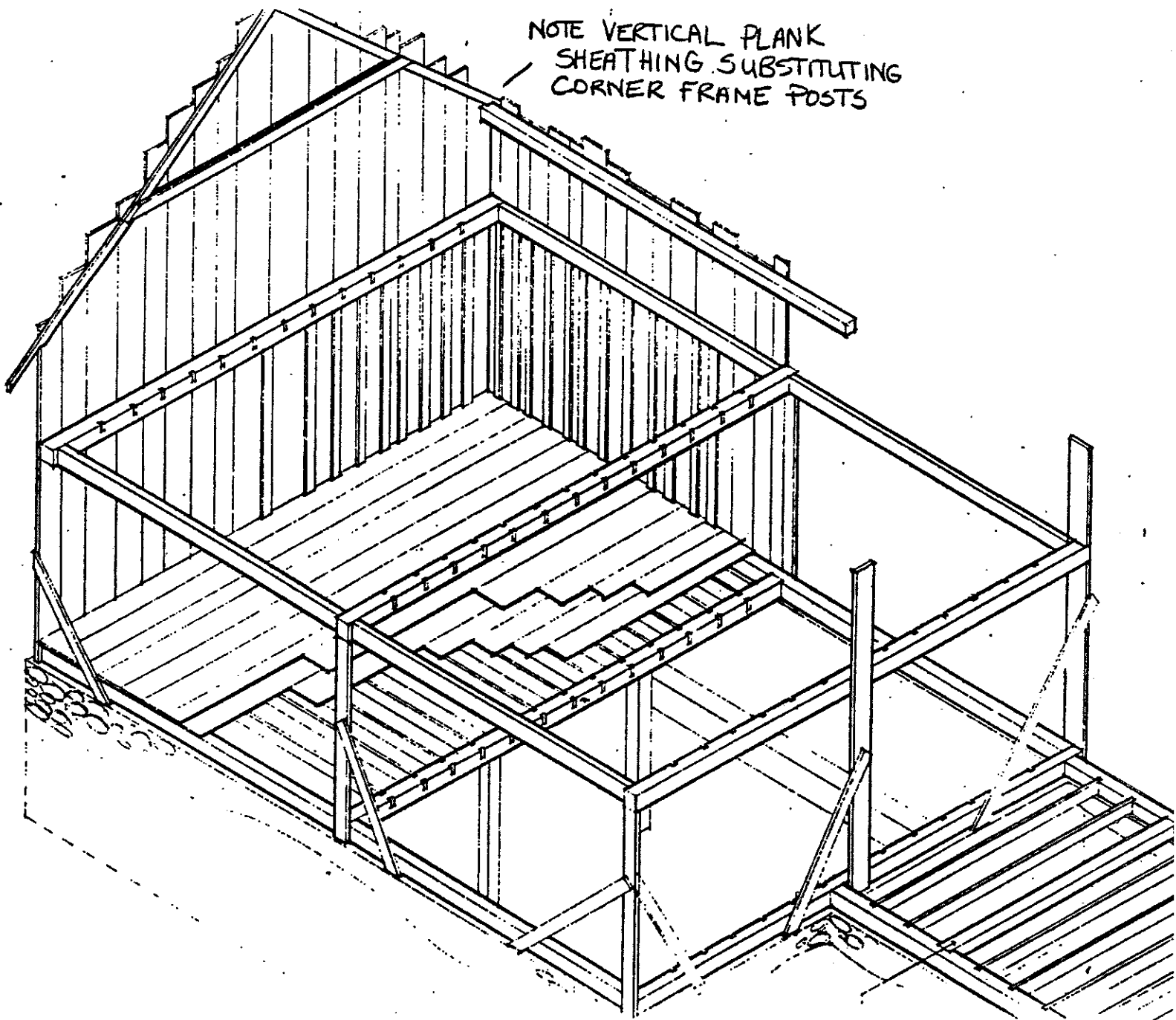
1851, 1861, 1871, 1881, Censuses

Land Registry Records for Lot 44, Concession 1

Taylor, William R. "Some Notes on Balsor Munshaw and His Family, and the County of York in its Infancy", unpublished.

Redelmier, Mrs. Notes and Interviews, July 1987.

Rempel, John I. Building with Wood.  
Toronto: University of Toronto Press, 1967

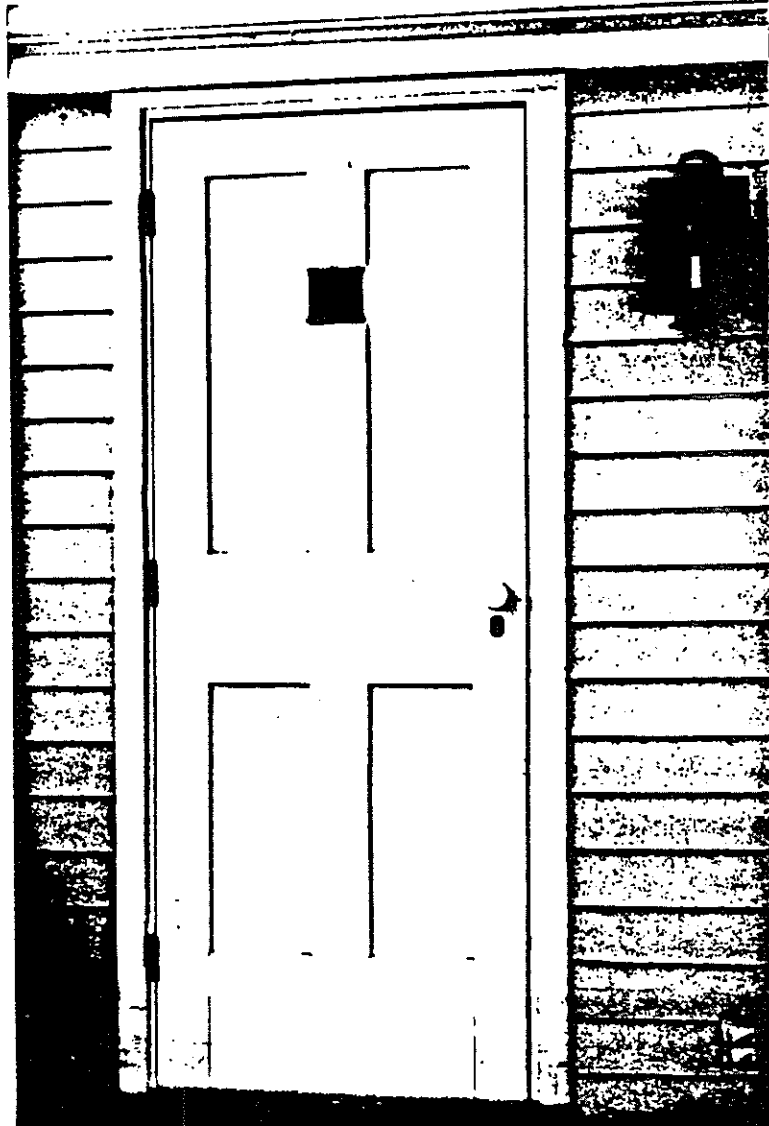
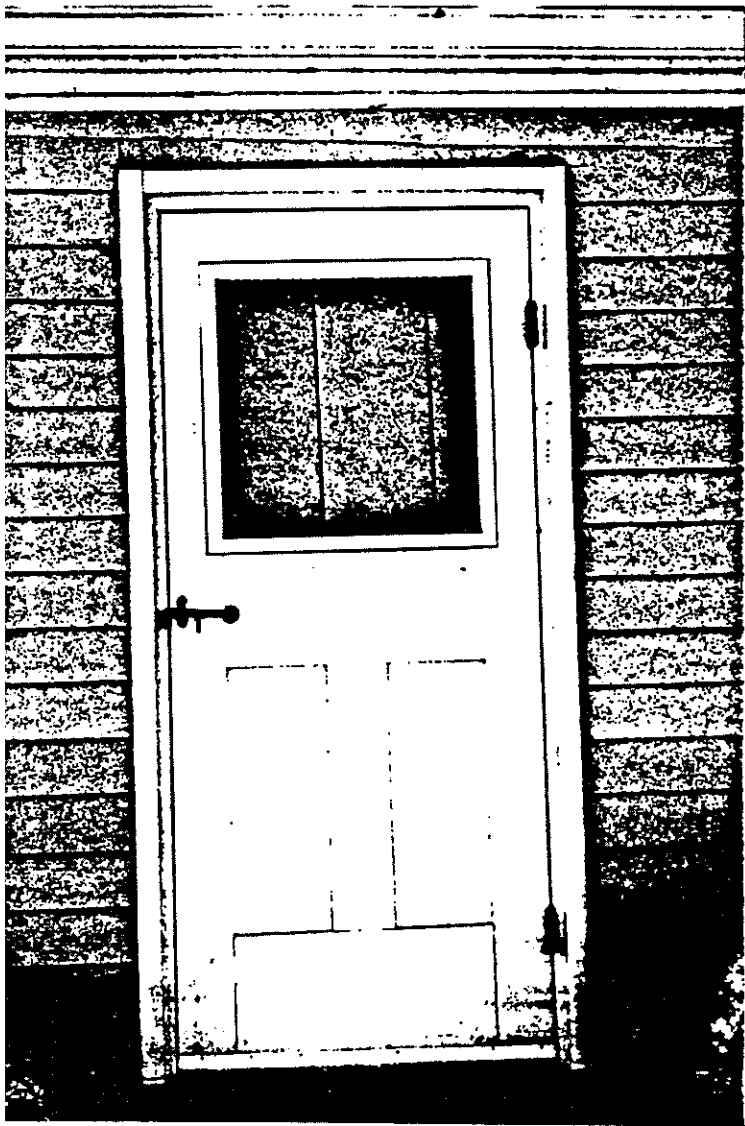


FRAME CONSTRUCTION OF GEORGE MUNSHAW HOUSE

Pentland and Baker, Architects

George Munsaw House  
980 Major Mackenzie Drive





## CULTURAL HERITAGE RESOURCE IMPACT ASSESSMENT

### 980 MAJOR MACKENZIE DRIVE WEST AND 10244 BATHURST STREET, VAUGHAN

Issued: October 30, 2014 (Revised: April 12, 2016, **September 11, 2019**)



# L O N G Y A R D

#### PREPARED FOR:

Longyard Properties Inc.  
30 Floral Parkway, Suite 300  
Concord, ON, L4K 4R1

#### PREPARED BY:

ERA Architects Inc.  
625 Church Street, Suite 600  
Toronto, Ontario M4Y 2G1

Project: 13-106-01

Prepared By: **PE/SL/JQ/GM/AC/ZC**

# ERA

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Cover Image: Left- Munshaw House, right: Bassingthwaite House (ERA, 2019)

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## EXECUTIVE SUMMARY

This Cultural Heritage Resource Impact Assessment (CHRIA) was prepared by ERA Architects Inc. (“ERA”) in support of the development application for the site legally known as Part of Lots 21 and 22, Concession 2 in the City of Vaughan (the “Subject Site”).

The initial CHRIA, dated October 30, 2014 (Revised: April 12, 2016,) has since been approved along with the Longyard draft plan of subdivision (Refer to Appendix 5), which is now approaching full build-out.

The purpose of this revision to the CHRIA is to assess the impacts of updated conservation strategies proposed for two heritage buildings within the Subject Site.

The two heritage buildings within the Subject Site are identified on the City of Vaughan Heritage Inventory.

1. The George Munshaw House is a one-and-a-half-storey structure with a one-storey rear addition built c.1825-1850. The House is the only structure out of a collection of Munshaw structures (see list on page 7) that has been relocated (see page 10). The house now sits on temporary footings on Lot 104 of the Subject Site, along Fanning Mills Circle. It was relocated here from 980 Major Mackenzie Drive West where it had been initially relocated to from its original location

at Lot 44 Concession 2 in 1984. The house is designated under Part IV of the Ontario Heritage Act.

2. The Bassingthwaite House, is a two-storey structure constructed in 1860. The house currently sits in its original location, which has been integrated into the lotting fabric of the Subject Site as lot 35 along Keatley Drive. Despite later alterations, the house is a good example of mid 19th-century residential architecture. The house is listed on the City of Vaughan Heritage Inventory as a building of architectural and historical value.

The Subject Site has been redeveloped as a new subdivision containing 14 residential blocks and a total of approximately 838 dwellings.

A number of mitigation options were considered during the development of the subdivision plan. These options can be found in Sections 4.1 and 4.2 of this report.

The proposed conservation approach is to relocate and conserve both the George Munshaw House and the Bassingthwaite House. The proposed relocation would situate both houses adjacent to one another along Bathurst Street on an existing residential lot enveloped by a naturalized open space. This proposed relocation area is adjacent to the southeastern extent of the Subject Site.

Future conservation work, involving the repair and upgrade of the heritage resources, and adaptive reuse is proposed for both the Munshaw House and Bassingthwaite House. In the interim, before the houses are programmed, Bassingthwaite House will be used as a residence with the Munshaw House as its accessory structure. Potential proposed alterations and/or additions to the buildings are to be determined in coordination with the ultimate owner and the City of Vaughan.

The retention and adaptive reuse of these existing heritage resources represents an appropriate conservation strategy that will provide both houses with a context, scale and visual prominence that is presently lacking.

Further details regarding future conservation work and programming of the heritage resources will be provided to the City of Vaughan as required.



# 1 INTRODUCTION

## 1.1 Scope of the Report

The purpose of this CHRIA is to “assess and describe the significance of a heritage resource and its heritage attributes,” “identify the impacts of the proposed development or alteration on the heritage resource” and “recommend a conservation approach to best conserve the heritage resource and to avoid or mitigate negative impacts to the heritage resource within the context of the proposed development” (City of Vaughan Guidelines for Cultural CHRIA Reports, February 2017).

This CHRIA follows a previous submission, dated October 30, 2014 (and revised April 12, 2016) prepared by ERA, which sought the relocation and adaptive reuse of the George Munshaw House and the adaptive reuse of the Bassingthwaite House in situ. The proposal has since been modified to include the relocation and adaptive reuse of both the Bassingthwaite House and the Munshaw House adjacent to one another along Bathurst Street on an existing residential lot enveloped by naturalized open space, adjacent to the Subject Site’s southeastern extent. In the interim, before the houses are programmed, Bassingthwaite House will be used as a residence with the Munshaw House as its accessory structure. Exterior and interior conservation work beyond the relocation and stabilization of both structures will undertaken in future.

## 1.2 Present Owner Contact

c/o Michael Pozzebon  
Longyard Properties Inc.  
30 Floral Parkway, Suite 300  
Concord, ON, L4K 4R1

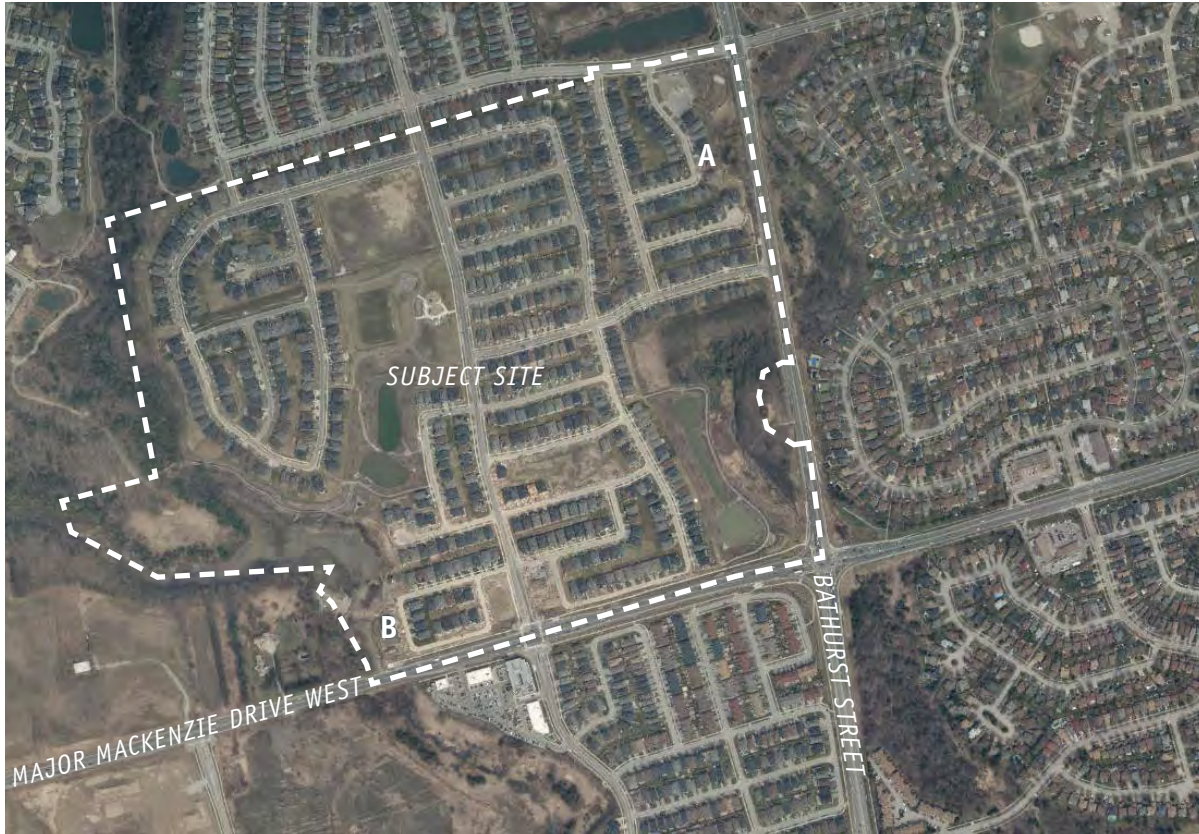
## 1.3 Site Location and General Description

The Subject Site is located north west of the intersection of Bathurst Street and Major Mackenzie Drive West, on part of Lots 21 and 22, Concession 2, in the City of Vaughan.

The George Munshaw House at 980 Major Mackenzie Drive West is located on the north side of Major Mackenzie Drive West, approximately 500 metres west of Bathurst Street.

The Bassingthwaite House at 10244 Bathurst Street sits on the west side of Bathurst Street, approximately 850 metres north of Major Mackenzie Drive West.

Currently, the Subject Site is comprised of a new residential community surrounded by residential subdivisions.



1. Current location of 980 Major Mackenzie Drive West and 10244 Bathurst Street (York Region Aerial Map, 2018. Annotated by ERA, 2019).

- A - 10244 Bathurst Street, Bassingthwaite House
- B - 980 Major Mackenzie Drive West, Munshaw House



2. 980 Major Mackenzie Drive West (ERA, 2019).



3. 10244 Bathurst Street (ERA, 2019).

#### 1.4 Heritage Status and Site Description

The George Munshaw House at 980 Major Mackenzie Drive West is designated under Part IV of the Ontario Heritage Act by City of Vaughan By-law No. 403-87 for its architectural significance (see appendix 4 for By-law).

The reasons for designation, found in schedule “B” of By-law 403-87, are reproduced below:

Designation is recommended for the George Munshaw House for its architectural significance in that it is representative of the transitional period from early post and beam construction to balloon frame construction (1825-1850). Its construction is also unique as it has no posts supporting its frame, but has vertical plank sheathing as the frame support.

It is believed that George Munshaw Sr. constructed the house situated on his property, Lot 44 Concession 1. The building was relocated to its present site in 1985. George Munshaw Sr.’s father, Balsor Munshaw, was one of the first founding settlers of what is today Markham.

When the designation By-law was prepared, Munshaw House had been moved once from its original location. The building has now been

relocated multiple times and presently sits on lot 104 along Fanning Mills Circle (refer to Figure 10).

The Bassingthwaite House at 10244 Bathurst Street is included in the Listing of Buildings of Architectural and Historical Value on the Vaughan Heritage Inventory. The inventory identifies the building as an 1860s Georgian brick house with an addition built in the 1980s. The Bassingthwaite House is not designated under Part IV of the Ontario Heritage Act.

#### 1.5 Adjacent Heritage Properties

The Province of Ontario’s 2014 Provincial Policy Statement (PPS) supports heritage conservation as part of land-use planning and provides that significant built heritage resources shall be conserved (policy 2.6.1). “Significant built heritage resources” are defined in the PPS 2014 as resources that have been determined to have cultural heritage value or interest.

The PPS 2014 policy 2.6.3 states that:

Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

The Subject Site is not adjacent to any protected heritage properties.



## 2 BACKGROUND RESEARCH AND ANALYSIS

### 2.1 History of the Subject Site

The Subject Site was formerly the location of the Patterson Brothers agricultural implement factory and the corresponding small village that developed around it. Starting in the early 1850s, the Patterson business operated on these lands, until it relocated to Woodstock Ontario in 1885.

#### *Founding:*

The farm was established by brothers Peter, Alfred and Robert Patterson after immigrating to Ontario [then called Canada West] from Wyoming County in northern New York in the 1840s.

In the early 1850s, they began producing equipment for the local farmers.

In 1855, the Pattersons purchased one hundred acres of land on the north side of Major Mackenzie Drive West [then called Vaughan Sideroad], west of Bathurst Street and established a mill

on the **Subject Site**. A series of buildings to accommodate their growing business, the Patterson Works, were later constructed.

#### *Town of Patterson and the Patterson Works:*

As the Patterson Works developed through the early 1860s, a “company town” was built up around the works. According to historian Robert M. Stamp:

Patterson Brothers was able to run a patronizing yet benevolent operation for their “family” of workers, many of whom lived in company-owned cottages or boarding houses in the company town of Patterson or “The Patch” along Vaughan Sideroad.

Research in the March 2005 *Archeological Services Inc.* report titled “Cultural Heritage Impact Assessment for Helmhorst Investment Limited” notes that:

Over the period of its history the Subject Site contained a number of modest frame homes for company employees, a boarding house, a church (1871), school (1872), post office, telegraph office and store [Archeological Services, page 18] (figure 4).



4. Advertisement for Patterson & Brothers Works, n.d. (Source: Stamp, Robert M., *Early Days in Richmond Hill*).

The Village of Patterson is illustrated in an advertisement of the period (Figure 4) and in the county map of Vaughan produced by Ralph Smith & Co in 1878 (see figure 10).

*Decline and Relocation:*

By the 1880s, the success of the Patterson factory declined due to competition from other implement farms, as well as the lack of a connection to a rail line.

In 1886, Richmond Hill village council offered the Pattersons a \$10,000 bonus.

Despite a late-coming counter offer presented by the village of Richmond Hill, the brothers decommissioned the factory and moved to western Ontario.

## 2.2 History and Evaluation of built cultural heritage resources

### 2.2.1 *George Munshaw House, History*

The George Munshaw House is a one-and-a-half-storey structure **with a one-storey rear addition** constructed circa 1825-1850.

**The Munshaw House was moved to 980 Major Mackenzie Drive West from its original location in Richmond Hill at Lot 44 Concession 2 in 1984. It has since been moved to its present location at Lot 104 of the Subject Site, along Fanning Mills Circle where it sits on temporary footings.**

#### *Original Location:*

The Ralph Smith & Co. county map of Vaughan, from 1878, shows a building on Lot 44 Concession 2, a property labelled “G. Munshaw”. It can be inferred that this was the original location of the George Munshaw house (see figure 10).

#### *The Munshaw Family:*

The house was built for George Munshaw Sr., the son of Balsar Munshaw, one of the early settlers on Yonge Street near Richmond Hill.

The “History of Toronto and County of York” published in 1885 by Blackett Robinson, states that George Munshaw’s parents, Balsar and Katharine Munshaw, and their children “were the first family to settle upon a farm on Yonge Street” [Robinson, p27].

Historian Robert M. Stamp writes that “...several of their children would later play important roles



5. Current condition of the George Munshaw House (ERA, 2019).

in the development of the community” [Stamp, Chapter 3, The European Settlers Arrive].

Information in this section is based on the site history provided in “Cultural Heritage Impact Assessment for Helmhorst Investment Limited” Archeological Services Inc., March 2005.

Archeological Services Inc., also suggested the house may have been constructed by George Munshaw’s eldest son, Jacob. ERA has not been able to verify this account.

#### *Munshaw Buildings:*

A number of buildings associated with the Munshaw name are considered heritage buildings (see list to the right). The legacy of the family is represented in several buildings, and is not limited to the George Munshaw House.

#### *Architecture:*

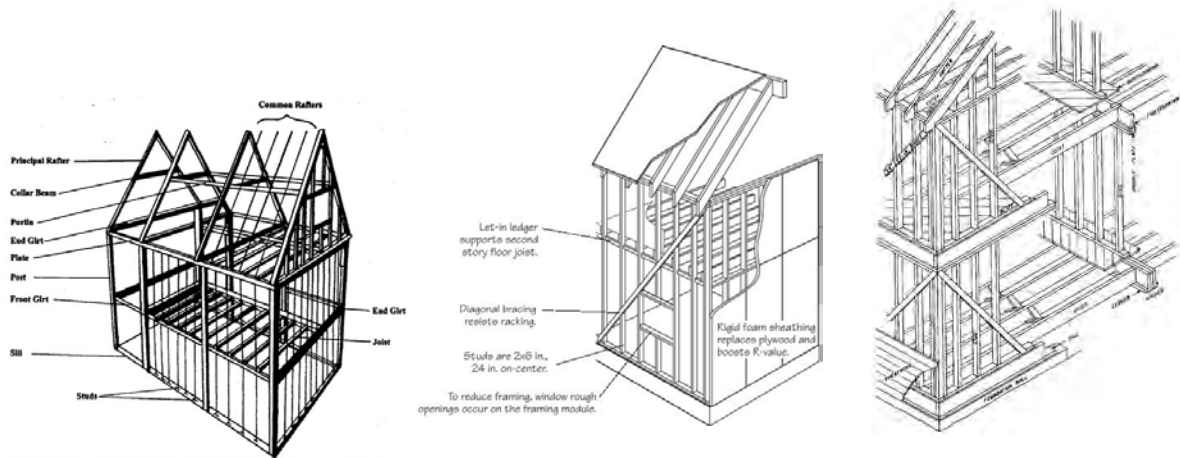
The George Munshaw House has been characterized as an early example of balloon-frame construction representing a departure from the earlier post-and-beam construction (see figure 7).

According to research provided in an earlier heritage assessment of the **Subject Site** provided by Archeological Services Inc., March 2005, and titled “Cultural Heritage Impact Assessment for Helmhorst Investment Limited,” the house is considered unique” as it has no posts supporting its frame, but rather employs vertical plank sheathing as the frame support” (page 25).

<b>Munshaw Buildings</b>	
Building	Location and Status
Wixom Munshaw House	Wixom, Michigan. Built circa 1833
Munshaw House Inn	Flesherton, ON Built circa 1860 Stage coach inn built in stages starting in 1849 and finishing in 1864. (virtualmuseums.ca, South Grey Museum & Historical Library)
Thomas Munshaw House	16 Centre Street West, Richmond Hill. Built circa 1872. Included on Richmond Hill’s Inventory of Buildings of Architectural and Historic Importance.
John Munshaw House	8779 Yonge Street, Richmond Hill Built circa 1855, Demolished 1992 Associated with John Munshaw Included on Richmond Hill’s Inventory of Buildings of Architectural and Historic Importance.
Lambert Munshaw House	8783 Yonge Street, Richmond Hill Built circa 1860, Demolished 1988 Included on Richmond Hill’s Inventory of Buildings of Architectural and Historic Importance.
Balsar and Katherine Munshaw House	10 Ruggles Av. south east corner of Hwy 7 and Yonge St. Built c.1809 Listed by the Town of Markham

List compiled by ERA.

*The evolution of house framing construction methods in Ontario*



6. Timber post & beam frame diagram

7. Balloon frame diagram

8. Platform frame diagram

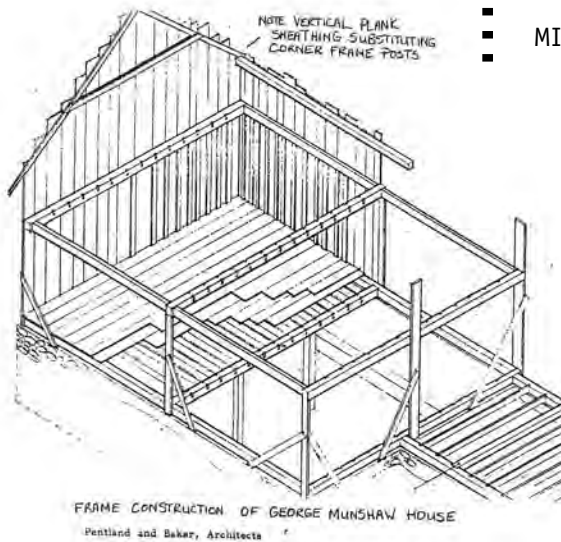
PRE 19TH CENTURY

LATER 19TH CENTURY

20TH CENTURY

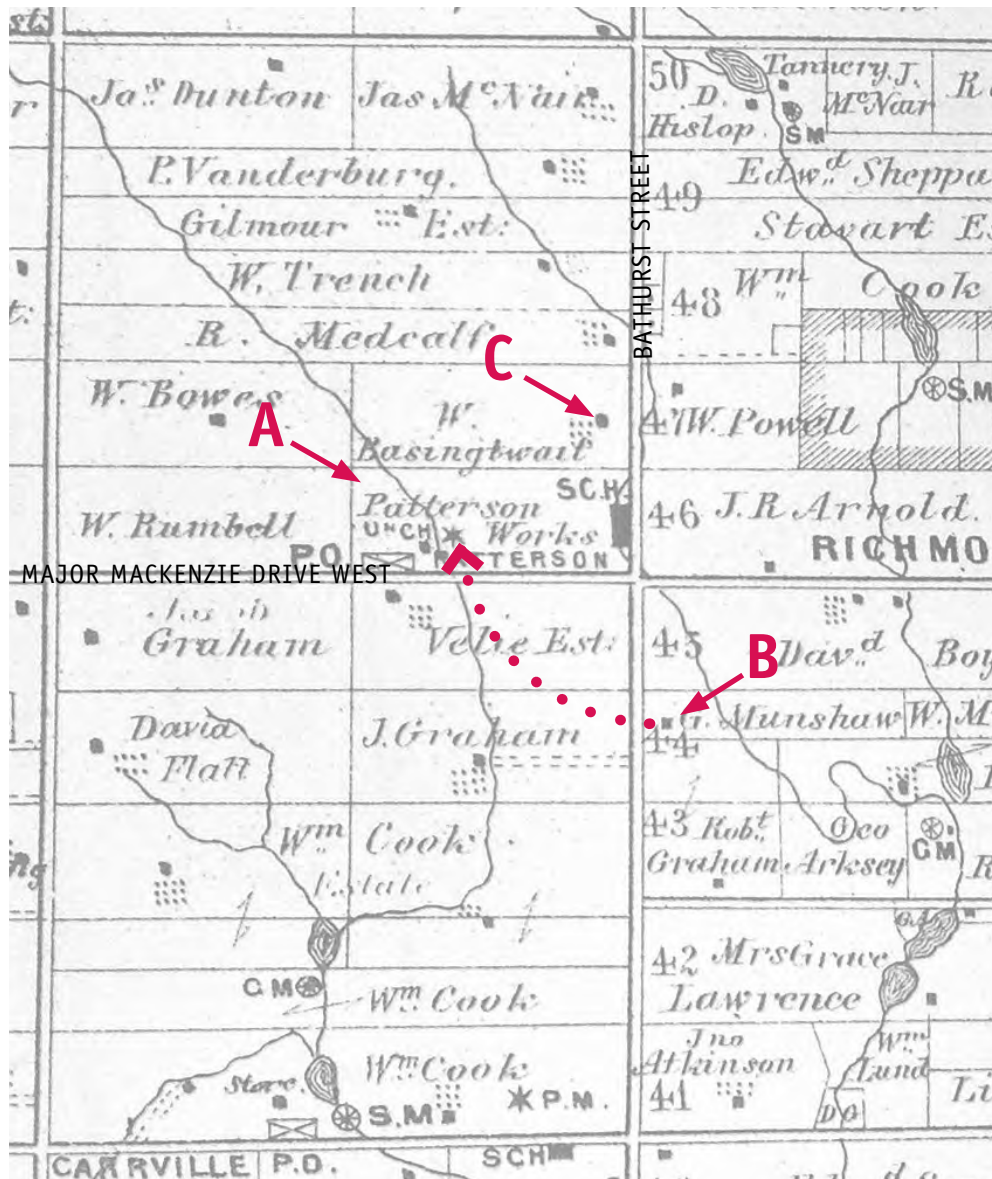
TODAY

MID 19TH CENTURY (FRAME CONSTRUCTION)



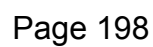
9. Frame construction of the George Munshaw House

*Location of the Patterson Works, George Munshaw House and the Basingthwaite House, 1878*



10. Site in 1878, from "Vaughan" Ralph Smith & Co., printed in Historic Atlas of York County Ontario, Illustrated, Miles & Co." (Annotated by ERA, 2019).

- A - Patterson Works/Patterson Village site, now the site of the Longyard Subdivision.
- B - Original Location of the George Munshaw House, now located at 980 Major Mackenzie Drive West. Present location shown by the dotted line.
- C - Historic and current location of the Basingthwaite House at 10244 Bathurst Street.



11. Illustrated historical atlas of the County of York (1878) showing location of Bassingthwaite Farmstead and House (Annotated by ERA, 2019).

#### 2.2.4 *Bassingthwaite House, History*

The Bassingthwaite House is a two-storey structure constructed in approximately 1860. Although this date seems appropriate based on the appearance of the house, ERA has not yet been able to confirm this.

William Bassingthwaite immigrated to Canada with his parents, Edward and Mary, and siblings Edward and Elizabeth in 1832. Shortly after arriving in 1834, the Bassingthwaites purchased a farm in Reach Township.

In 1835, William married Margaret Atkinson, and in 1843 they established a farm on Lot 22 of the Township of Vaughan. At this time, the lot and surrounding lands were undeveloped, overgrown by bush and unserviced by roads. In addition to farming, Bassingthwaite was believed to have no less than thirty-five beehives on the property. Bassingthwaite was a member of the Methodist Church and active in establishing the area, with City of Vaughan Archives further indicating a “Mr Bassingthwaite” helped to establish the Patterson School, just south of the property. William and Margaret had six children and remained on Site until his William’s death in 1903.



12. Aerial photograph showing the original Bassingthwaite Farmstead and House, and its orientation toward Bathurst Street (York Region, 2019).

Research provided in *Archeological Services Inc., March 2005, and titled "Cultural Heritage Impact Assessment for Helmhorst Investment Limited,"* states that the house was renovated and enlarged in the 1980s. A two storey rear addition was constructed to the south elevation.

The *Archeological Services* report notes that a book on historic mouldings of York County, by George Duncan, sees "the Bassingthwaite House as a good example of 1850s style interior wood work and trim" (p 34).

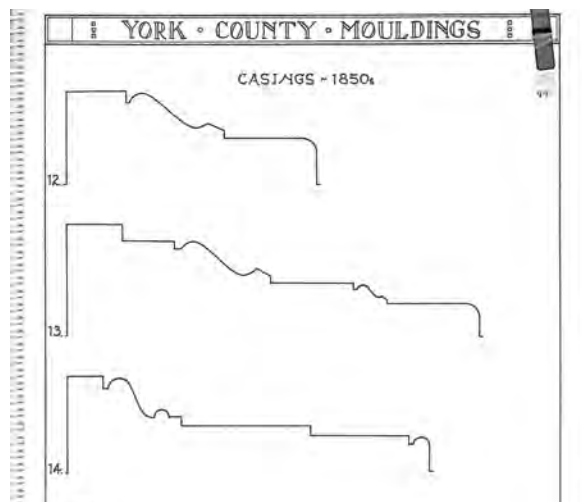
A single storey brick and stone structure, identified by the *Archeological Services* report as a smokehouse, is located at the rear of the house (see figure 14).



13. Bassingthwaite House - exterior (ERA, 2019).



14. Single storey brick and stone smokehouse (ERA, 2019).



15. Excerpt from George Duncan's book

### 2.3 Documentation of cultural heritage resources

A detailed photographic documentation of the buildings at 980 Major Mackenzie Drive West and 10244 Bathurst Street, which was updated in 2019, is included in Appendix 3 of this report.

### 2.4 Current Condition

A general overview of the conditions of the Bassingthwaite and George Munshaw Houses was conducted by ERA Architects Inc. in July 2019. This involved walking around the site, observing and assessing the exterior and viewing accessible interior spaces. Note, it was not possible to view the interior of the Munshaw House as the structure was boarded up and elevated on temporary wooden cribbing.

Each house is reviewed in the following pages.

#### DEFINITION OF TERMS

*The building components were graded using the following assessment system:*

**Excellent:** *Superior aging performance. Functioning as intended; no deterioration observed.*

**Good:** *Normal Result. Functioning as intended; normal deterioration observed; no maintenance anticipated within the next five years.*

**Fair:** *Functioning as intended. Normal deterioration and minor distress observed; maintenance will be required within the next three to five years to maintain functionality.*

**Poor:** *Not functioning as intended; significant deterioration and distress observed; maintenance and some repair required within the next year to restore functionality.*

**Defective:** *Not functioning as intended; significant deterioration and major distress observed, possible damage to support structure; may present a risk; must be dealt with immediately.*



*George Munshaw House, 980 Major Mackenzie Drive West*

ERA performed a visual inspection of the property on July 25, 2019. All inspections were carried out from grade. Inspections were limited to visible exterior envelope features such as the masonry, woodwork, windows and doors, flashings and rainwater management systems (eavestroughs and downspouts). The interior was inaccessible during the inspection. No close up “hands on” inspections were carried out using scaffolding or a lift, and the roof areas on all the buildings were not accessible at the time of the inspection.

Overall, the Munshaw house is in fair to poor condition with areas of defective condition. It is currently sitting on temporary structure - steel beams and wood cribs. The area at the seam of the two storey and one storey structure appears to be in poor condition and is bowing in this location. This section should be repaired and levelled as soon as possible to prevent further deterioration to the structure.



16. East elevation (ERA, 2019).




17. North elevation (ERA, 2019).



18. South elevation with view of cedar shingled roof and easternmost chimney (ERA, 2019).



19. West and south elevations (ERA, 2019).

 Rear addition

The wood siding appears to be in poor to fair condition with some areas of rot and deterioration and paint flaking and peeling. There also appears to be some defective areas at the base of the one-storey section where there is missing wood siding.

The exterior wood work appears to be in fair condition with some areas of the roof fascia and soffit boards showing paint flaking and peeling.

The eavestroughs and downspouts appear to be in fair condition with some areas of warping. The eavestroughs and downspouts on the north side of the one-storey section are missing.

The cedar shingle roof appears to be in poor condition with areas of missing shingles, deterioration and warping. The roof flashing appears to be in fair condition.

The brick chimneys appear to be in fair condition with some environmental staining at the peaks.

All the existing doors and windows are boarded up from the exterior, and so these items could not be reviewed.

*Bassingthwaite House, 10244 Bathurst Street*

ERA performed a visual inspection of the property on July 25, 2019. All inspections were carried out from grade. Inspections were limited to visible exterior envelope features such as the masonry, woodwork, windows and doors, flashings and rainwater management systems (eavestroughs and downspouts). The interior inspection was carried out from the second floor to the cellar (basement). No close up “hands on” inspections were carried out using scaffolding or a lift, and the roof areas on all the buildings were not accessible at the time of the inspection.

Overall, the Bassingthwaite house is in fair to poor condition with areas of defective condition.

**Brick Masonry:** The brick façade has been painted in a beige colour and appears to be in fair to poor condition with areas have paint flaking, mortar loss, brick deterioration, brick delamination, environmental staining and obsolete metal fasteners. There also appears to be mortar cracks above window and door lintels, below window sills and at the base of the structure.



20. West elevation of the structure including the stone smoke house (ERA, 2019).



21. North chimney (ERA, 2019).



22. 1980s addition (left) viewed from the southwest (ERA, 2019).



23. North Elevation brickwork and shutters (ERA, 2019).



24. Main wood door (ERA, 2019).

Openings: All the window and door openings have been boarded up with plywood on the exterior except the basement windows, and so the windows were reviewed only from the interior. The wood windows in the original Bassingthwaite House appears to be historic and in fair condition. The remainder of the windows at the one- and two-storey later additions are vinyl windows and appear to be in fair to poor condition. The main wood door and wood surround appears to be in fair condition with areas of paint flaking.

Exterior Wood: The exterior wood elements have been painted in white and appear to be in fair to poor condition. The wood sills at the original Bassingthwaite House appear to be in fair condition with some areas of paint flaking, with the exception of one sill on the ground floor south elevation which appears to be in poor condition showing signs of wood deterioration and paint flaking.



25. Soffiting and moulding on south elevation (ERA, 2019).

The main and side wood porches appear to be in fair condition with areas of paint flaking and some wood deterioration at the base of the columns.

The wood siding on the one storey addition appears to be in fair to poor condition with areas of paint flaking, damaged and deteriorated wood.

The wood soffits, facias and eaves appear to be in fair to poor condition with some areas of paint flaking and peeling, wood rot, deterioration and delamination.

The remaining wood window shutters appear to be in fair condition with areas of paint flaking. The north elevation has all the window shutters installed, the south elevation is missing one window shutter, and the east elevation is missing three window shutters with one uninstalled and in defective condition.

**Roof, Flashing and Rain Management System:** Generally, the roof, flashing and asphalt shingles are in fair condition, with the exception of a defective area in the north west side of the two-storey house where there is a three foot by four foot hole in the roof which exposes the interior to the elements. This hole should be repaired as soon as possible so that further deterioration to the roof and interior structure can be avoided.



26. Main wood porch (ERA, 2019).

The rain management system is in fair to poor condition with damaged and warped areas on the main porch and the one-storey building's eavestroughs, missing downspouts and downspout diverters.

Interior: Generally, the basement interior appears to be in fair condition. The majority of the exterior walls are covered in drywall except the north wall which shows the exposed stone rubble foundation. The stone foundation wall (west wall of original footprint of the Basingthwaite House) is exposed and appears to be in fair condition. A multi-wythe interior brick wall spanning east to west in the original footprint of the Basingthwaite House appears to be in fair condition. A section of wood floor joists and wood floor boards are exposed in the north side of the original Basingthwaite House footprint and appears to be in fair condition.



27. Stone rubble foundation (ERA, 2019).



28. View from foyer (ERA, 2019).



30. View of dining room, with evidence of mould on the ceiling and wall from defective roofing area (ERA, 2019).



29. View of living room (ERA, 2019).

Generally, the ground floor interior appears to be in fair condition with an isolated area of poor condition in the north west side of the two-storey house below the hole in the roof where there appears to be mould and water damage in the ceiling and wall. The original Bassingthwaite House interior appears to retain its original wood flooring, wood door and window trim, baseboards, wainscoting and ceiling trim, which appears to be in fair condition. The walls in the original Bassingthwaite House interior appears to be in fair condition with areas of paint flaking and peeling. The later addition interior walls are covered in drywall and tile (in the kitchen), which appears to be in fair condition.

Generally, the second floor interior appears to be in fair condition with areas of paint flaking and peeling from the walls and an interior door. There appears to be a defective area in the north west side of the two-storey house where there is a three foot by four foot hole in the roof that exposes the interior to the elements, which has damaged the ceiling, walls and floor in that area. This hole should be repaired as soon as possible so that further deterioration to the interior elements can be avoided.

**One-storey Stone Smoke House:** The one-storey stone smoke house appears to be in defective condition. The south and west stone walls have multiple vertical cracks along the entire wall and the north façade has mortar loss on the majority of the wall. The roof is in defective condition with rotted roof rafters, roof boards and shingles exposing the interior to the elements.



31. Upstairs hallway (ERA, 2019).



32. Evidence of defective roofing in southwest corner of the house (ERA, 2019).



33. Smokehouse structure requires rebuilding and repointing of walls (ERA, 2019).



## 3 OUTLINE OF THE DEVELOPMENT PROPOSAL

### 3.1 Description of Development Proposal

The redevelopment of the 189 acre Subject Site comprises a new subdivision containing 14 blocks of residential dwellings, including detached, semi-detached, and townhouse dwellings.

The draft plan of subdivision (refer to the April 14, 2010 Draft Plan of Subdivision prepared by KLM Planning Partners Inc., in Appendix 5) has since been approved and is now approaching full build-out. The plan proposed:

- » A total of approximately 838 units;
- » Eleven acres of parkland;
- » A public elementary school block;
- » A commercial block;
- » Stormwater management areas;
- » Natural areas of valley lands and woodlots; and
- » Twenty new interior roads to subdivide the Subject Site.



## 4 EXAMINATION OF CONSERVATION/MITIGATION OPTIONS

The City of Vaughan's Guidelines for Cultural Heritage Resource Impact Assessment Reports (2017) (Appendix 1) requires that **conservation** or mitigation options be considered, which include but are not limited to:

- » Avoidance Mitigation: Avoidance mitigation may allow development to proceed while retaining the cultural heritage resources in situ and intact. Avoidance strategies for heritage resources typically would require provisions for maintaining the integrity of the cultural heritage resource and to ensure it does not become structurally unsound or otherwise compromised. Feasible options for the adaptive reuse of built heritage structure or cultural heritage resources should be clearly outlined.
- Where conservation of the entire structure is not feasible, consideration may be given to the conservation of the heritage structure/resource in part, such as the main portion of a building without its rear, wing or ell addition.
- » Salvage Mitigation: In situations where cultural heritage resources are evaluated as being of minor significance or the preservation of the heritage resource in its original location is not considered feasible on reasonable and justifiable grounds, the relocation of a structure or (as a last resort) the salvaging of its architectural components may be considered.
  - » Historical Commemoration: While this option does not preserve the cultural heritage of a property/structure, historical commemoration by way of interpretive plaques, the incorporation of reproduced heritage architectural features in new development, or erecting a monument-like structure commemorating the history of the property, may be considered. **This option may be accompanied by the recording of the structure through photographs and measured drawings.**

[Reference: City of Vaughan's Guidelines for Cultural Heritage Resource Impact Assessment Reports, 2017].

#### 4.1 980 Major Mackenzie Drive West, George Munshaw House, Assessment of Options

Three types of **conservation**/mitigation strategies were explored for the George Munshaw House.

##### ***A) Avoidance Mitigation - Rehabilitation of George Munshaw House in situ***

The current location and position of the George Munshaw House on the Subject Site **is within lot 104 of the Subject Site along Fanning Mills Circle**. The Munshaw House **was moved here from its previous 1984 location**, as it **did** not fit into the configuration of streets and blocks within the draft plan of subdivision. **The rationale for its current location was to integrate** the house into the regular pattern of development, to allow for the most efficient plan.

**The current location is the result of two previous relocations (refer to figure 10). Its current context, backing onto a natural heritage system and adjacent to larger scale single-detached houses is not ideal, as it does not reflect the historic rural character of the house.**



35. George Munshaw House (east elevation) (ERA, 2019).



36. George Munshaw House (south elevation) on Lot 104 on Fanning Mills Circle (in pink), adjacent to newly constructed homes on the Subject Site (Google, 2018).

### ***B) Salvage Mitigation - Relocation of George Munshaw House***

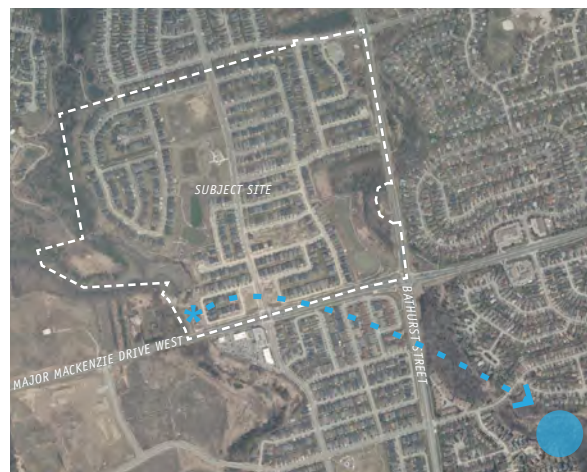
Potential sites for relocation include: (1) Public Elementary School block within the Subject Site, (2) Off-site at Little Don Park, (3) on parkland within the Subject Site and (4) on a residential lot enveloped by naturalized open space adjacent to the Subject Site.

**Location 1:** Relocation within the Subject Site to the block allocated for public elementary school use would allow the building to be publicly accessible and community uses could be accommodated. This option would require consent from the local school board.



37. Location 1 | Relocation to nearby school site, shown in blue (York Region, 2018. Annotated by ERA, 2019).

**Location 2:** Relocation of the building away from the Subject Site to Little Don Park, near the south east corner of Major Mackenzie Drive West and Bathurst Street would return the house close to its original location. Relocation here would also allow for the house to be sited in a visible, publicly accessible site. This option would require the consent and cooperation of the City of Vaughan Parks Department.



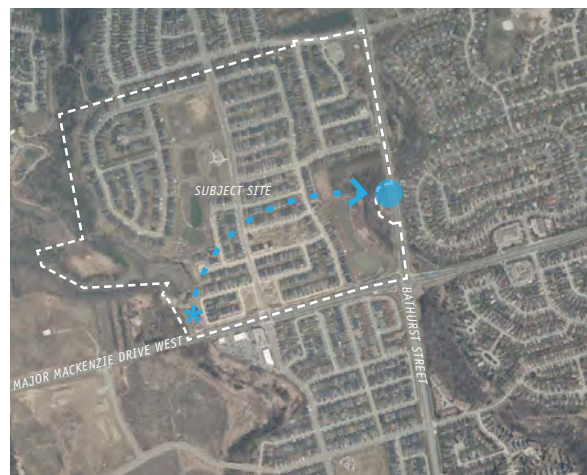
38. Location 2 | Relocation to Little Don Park, shown in blue (York Region, 2018. Annotated by ERA, 2019).

**Location 3:** Relocation within the proposed parkland offers the opportunity to position the house in a new location that allows for the development to occur and the building to become a community asset. This would require that the Parks Department make an exception as structures made from combustible materials are not permitted in parks.



39. Location 3 | Relocation to and integration into the proposed parkland as a potential new community building (York Region, 2018. Annotated by ERA, 2019).

**Location 4:** Relocation to an existing residential lot enveloped by naturalized open space adjacent to the southeast corner of the Subject Site. This would move the house closer to its original location along Bathurst Street, and provide a more appropriate landscaped setting, context and scale. This would require that the City and TRCA approve the siting plans.

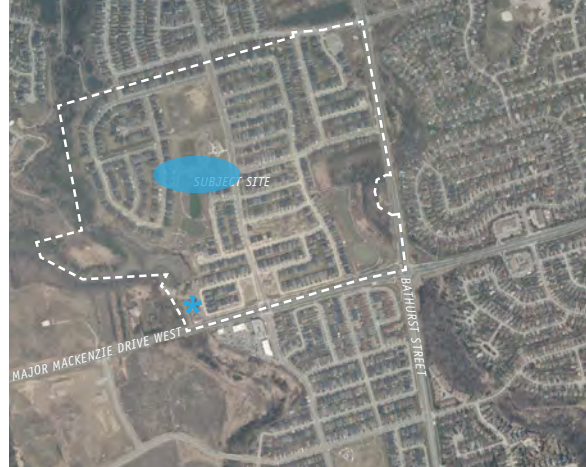


40. Location 4 | Relocation to and integration into a residential lot enveloped by a naturalized open space along Bathurst and adjacent to the Subject Site (York Region, 2018. Annotated by ERA, 2019).

### C) Historical Commemoration

The demolition of the Munshaw House could be mitigated by providing a public amenity in the form of a shade structure in a new public park that is a model of the original house.

The balloon frame construction, arguably the most significant heritage attribute of the structure, is not visible when looking at the house since it is concealed within the frame of the house. In historically commemorating this house, the construction method can be revealed and made publicly visible.



41. Proposed commemoration zone, shown in blue (York Region, 2018. Annotated by ERA, 2019).

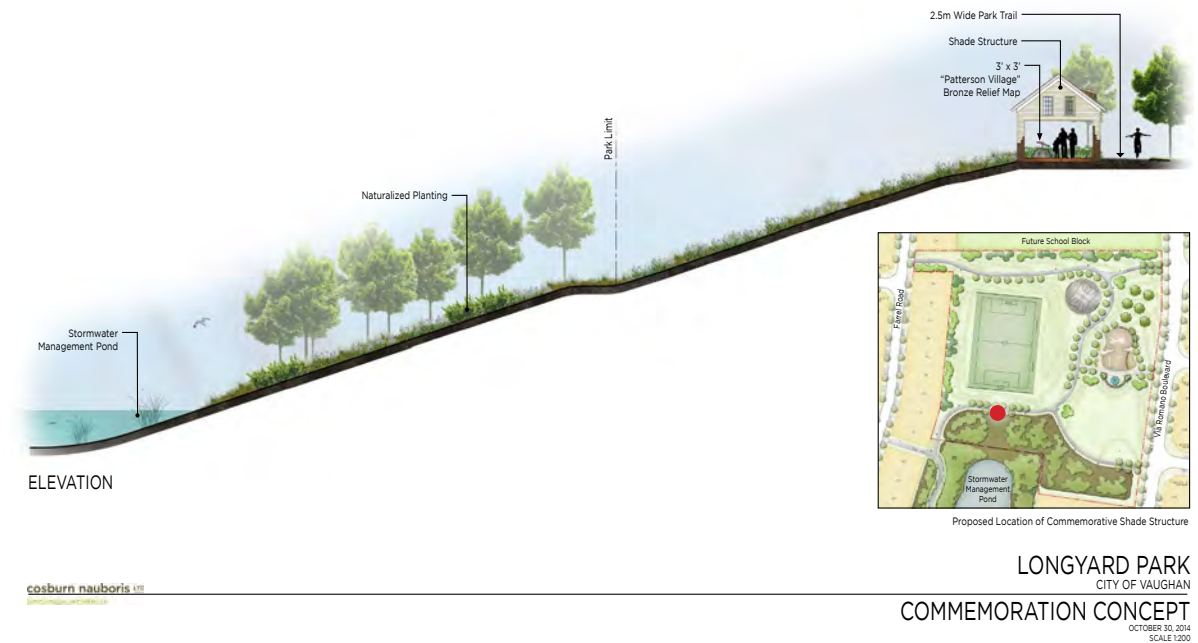
Figure 42, shows what the commemorative shade structure and other commemorative elements may look like.

The proposed design includes open walls with unobstructed views of 360 degrees due to the vertical supports (not posts) that mimic the framing method used in the Munshaw House. The historically referenced metal structure will use a wood texture finish. The significance of the special construction method will be described inside.

A plaque would be included to speak to the history of the Munshaw family and to describe the special construction oriented to overlook the original location of Patterson Village.

A commemorative plaque and bronze map of the original Patterson Village would also be located beneath the shade structure.

In order to meet the size requirements for structures in public parks, the shade structure will need to be scaled at 80% of the actual house. The structure will provide protection from the elements without compromising safety by maintaining clear sight lines within and outside the structure (see figure 42).



42. Commemoration concept originally proposed in the first HIA (Cosburn Nauboris Ltd).

#### 4.2 10244 Bathurst Street, Bassingthwaite House, Assessment of Conservation Options

Three strategies for **conservation**/mitigation were explored for the Bassingthwaite House and are discussed below.

##### A) Avoidance Mitigation

As noted in the CHRIA, dated April 21, 2016, the siting, condition and architectural integrity of the house suggests it may be adapted for future uses within the proposed **Subject Site**. Interior work would be limited to ensure historic trim and other significant heritage features are conserved.

However, since the Longyard Subdivision has been constructed, Bassingthwaite House's current context and location adjacent to larger scale single-detached houses is proving to not be ideal, as it does not reflect the houses' historic rural character.



43. Bassingthwaite House main entry along eastern elevation (ERA, 2019).



44. Bassingthwaite House (west elevation) on Lot 35 along Keatley Drive (in pink), adjacent to newly constructed homes on the Subject Site (Google, 2018. Annotated by ERA, 2019).

As noted in the CHRIA, dated April 12, 2016, the size and configuration of the building may complicate relocation efforts. As such, relocation will require the removal of the 1980s addition, which will reveal the original massing of the building. No negative impacts are anticipated as a result of the removal of this 1980 addition.

#### ***B) Salvage Mitigation***

Relocation of the Bassingthwaite House could provide a more appropriate setting for the house than its present location within the Longyard Subdivision.

All four relocation scenarios explored in the Salvage Mitigation options described for Munshaw House (discussed in Section 4.1) have also been considered for the relocation of Bassingthwaite House.

#### ***C) Historical Commemoration***

The heritage value of the site is associated with the architectural design of the house. A commemoration strategy is not the most appropriate conservation approach, and will be unnecessary if the house is conserved.

### **4.3 Recommended Heritage Strategy**

The recommended strategy for the Subject Site includes the relocation and adaptive reuse of both the George Munshaw House and the Bassingthwaite House.

The relocation of both houses will restore the buildings' original setting within naturalized open space. Their future adaptive reuse will increase the likelihood that the houses will remain occupied and protected against deterioration due to neglect. Future reuse is to be determined, and will be dependent on market demand. In the interim, before the houses are programmed, Bassingthwaite House will be used as a residence with the Munshaw House as its accessory structure.

The rehabilitation of both the Munshaw House and the Bassingthwaite House may include alterations/additions to accommodate their future uses and users. Any alterations or additions will be designed in a sensitive manner that is sympathetic to the heritage fabric.

These options were proposed to mitigate potential negative impacts of the development, while respecting the heritage attributes of the structures.

## 5 IMPACT ASSESSMENT

### 5.1 George Munshaw House

The following table identifies and assesses possible impacts of the proposal on cultural heritage resources. The possible impacts included here are as identified in the Ontario Heritage Tool Kit.

This table assumes that relocation and future conservation and adaptive reuse of the Munshaw House is the selected conservation strategy.

Issue	Assessment
Destruction of any, or part of any, significant heritage attributes or features	The proposed development does not involve demolition of any heritage attributes or features.
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance	<p>The structure has been relocated from its original location and context. It will be relocated for the third time to a naturalized open space adjacent to the Bassingthwaite House.</p> <p>The forthcoming Conservation Plan will describe work to relocate, stabilize and secure the house and future work to conserve the house's heritage attributes. Any future proposed addition will be designed to be compatible and subordinate to the heritage fabric, while ensuring that the structure meets market expectations in order to accommodate its future uses/users.</p>
Shadows created that alter the appearance of a heritage attribute, or change the viability of a natural feature or plantings, such as a garden	N/A
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	The structure has been relocated from its original location and context. The proposed relocation will restore the house's rural agricultural context by enveloping it with naturalized open space, thereby improving its relationship to its surroundings.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	No significant views or vistas have been identified in association with this structure.
A change in land use such as a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open space	The Longyard development changed the land use from open agricultural lands to suburban residential lands.
Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource	N/A

## 5.2 Bassingthwaite House

The following table identifies and assesses possible impacts of the proposal on cultural heritage resources. The possible impacts included here are as identified in the Ontario Heritage Tool Kit.

This table assumes that **relocation and future conservation and** adaptive reuse of the Bassingthwaite House is the selected conservation strategy.

Issue	Assessment
Destruction of any, or part of any, significant heritage attributes or features	The proposed relocation does not involve demolition of any heritage attributes or features.
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance	The structure will be relocated from its original location and context. It will be relocated to a naturalized open space adjacent to the Munshaw House. The forthcoming Conservation Plan will describe work to relocate, stabilize, and secure the house and future work to conserve the house's heritage attributes. Any future proposed alteration/addition will be designed to be compatible and subordinate to the heritage fabric, while ensuring that the structure meets market expectations in order to accommodate future uses/users.
Shadows created that alter the appearance of a heritage attribute, or change the viability of a natural feature or plantings, such as a garden	N/A
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	The rural agricultural context of the house was transformed into a suburban residential development. The proposed relocation will restore the house's rural agricultural context by enveloping it with naturalized open space, thereby improving its relationship to its surroundings.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	No significant views or vistas have been identified in association with this structure.
A change in land use such as a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open space	The Longyard development changed the land use from open agricultural lands to suburban residential lands.
Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource	N/A

## 6 CONCLUSION AND NEXT STEPS

The new subdivision on part of lots 21 and 22, Concession 2 in the City of Vaughan represents a balance between development and heritage conservation by relocating both of the heritage resources from their current locations within the lotting fabric of the Longyard Subdivision to an existing residential lot enveloped by naturalized open space along Bathurst Street.

The mitigation strategy recommended includes:

- » Relocation and future conservation and adaptive reuse of the George Munshaw House; and
- » Relocation and future conservation and adaptive reuse of the Basingthwaite House.

Conservation work for both properties will be outlined in future Conservation Plans, to be prepared as required by the City of Vaughan. Potential alterations and additions needed to rehabilitate the existing buildings for future uses/users are to be determined, and will be outlined as required by the City of Vaughan.

## 7 BIBLIOGRAPHY

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Vaughan, City of. Extract From Council Meeting Minutes of June 25, 2013, Item 20, Report No. 28, of the Committee of the Whole, adopted without amendment by the Council of the City of Vaughan on June 25, 2013.

## PROJECT PERSONNEL

### Philip Evans

Philip Evans is a Principal at E.R.A Architects with experience in Toronto and the United Kingdom. From contemporary design to cultural and urban planning and heritage building conservation, he has worked on a range of projects within the education, residential, and museum sectors. His positive and professional approach to project management covers all phases of architectural projects, including building condition assessments, schematic and design development, preparation of contract drawings, obtaining building approvals, undertaking contract administration and building site review.

### Janice Quieta

Janice Quieta is an associate with the heritage architecture team at ERA Architects. She received her Master of Architecture degree from Dalhousie University after completing a Bachelor of Architectural Science degree at Ryerson University. Her graduate thesis examined the feasibility of retrofitting post-war residential towers Toronto's St. Jamestown using a socially and ecologically sustainable program. She has studied and worked in Toronto, Halifax, Dusseldorf, and Koln and participated in a number of national and international design competitions in Canada and Germany.

### Shelley Ludman

Shelley obtained her Master's in architecture at McGill University, where she studied the relationship of urban design to orientation, identity, and sense-of-place in the public realm. Her final design proposition investigated how architecture could be used to forge new spatial, circulatory, and programmatic relationships between Montreal's ground plane and its intricate network of below-grade pathways and connections.

This kind of hybrid spatial thinking is well suited to addressing the complexity of urban experience in both Toronto and Ontario, where development, planning, heritage conservation, and culture are in constant conversation.

#### Amy Calder

Amy Calder is a project manager and heritage planner with ERA Architects. She holds a Master of Arts (Planning) from the University of Waterloo, a Bachelor of Arts (Studio Arts & Art History) from the University of Guelph, and a Certificate in Digital Graphic Design from Humber College.

#### George Martin

George Martin was a heritage planner whose focus is the conservation and integration of heritage resources in site planning. Prior to joining ERA, George was involved in heritage projects in Vancouver and had worked for the Committee of Adjustment at the City of Toronto. He received his Masters of Science in Conservation from the University of Hong Kong after completing a Bachelor of Urban and Regional Planning at Ryerson University.

George completed professional training in cultural heritage landscapes at the Willowbank School of Restoration Arts. As a Heritage Planner, George has contributed to the Old City Hall Future Uses Study for Toronto's City Hall, planning initiatives for the renewal of Homewood Health Centre, City of Toronto's Tower Renewal Project, and the City of Kingston's Cultural Plan.

#### Zoe Chapin

Zoe Chapin is a planner with ERA Architects. She received a Bachelor of Arts with majors in Political Science & Geography Urban Systems and a Masters of Urban Planning from McGill University.

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## 8 APPENDICES

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## Appendix 1: Guidelines for Cultural Heritage Resource Impact Assessment Reports (2017)



### GUIDELINES FOR CULTURAL HERITAGE IMPACT ASSESSMENTS

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#### Purpose

A Cultural Heritage Impact Assessment (CHIA) is a study to identify and evaluate built heritage resources and cultural landscapes in a given area (i.e. subject property) and to assess the impacts that may result from a proposed development or alteration on the cultural heritage value of a property. The Cultural Heritage Impact Assessment assists staff in the evaluation of development and heritage permit applications, including the determination of compliance with cultural heritage policies. A CHIA should:

1. Assess and describe the significance of a heritage resource and its heritage attributes. If the building or landscape is not considered significant, a rationale is outlined in the report by the qualified heritage specialist.
2. Identify the impacts of the proposed development or alteration on the heritage resource.
3. Recommended a conservation approach to best conserve the heritage resource and to avoid or mitigate negative impacts to the heritage resource within the context of the proposed development. This will be further developed through a Conservation Plan.



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Guidelines for Cultural Heritage Impact Assessments  
Updated February 2017  
Page 1 of 5



## Provincial and Municipal Heritage Policies

### Planning Act

2. (d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;

### Ontario Heritage Act

An application to alter or demolish a heritage resource shall be accompanied by the required plans as per Section 27 (5), Section 33 (2), Section 34 (1.1), and Section 42 (2.2)

### Provincial Policy Statement 2014

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

### The Vaughan Official Plan 2010 (VOP2010)

Chapter 6, Volume 1 of VOP2010 requires that a Cultural Heritage Impact Assessment be provided when there is potential for new development to affect a heritage resource.

#### Section 6.2.2.5

To require that, for an alteration, addition, demolition or removal of a designated heritage property, the applicant shall submit a Cultural Heritage Impact Assessment, as set out in this Plan and in the Vaughan Heritage Conservation Guidelines when:

- a. the proposed alteration or addition requires:
  - i. an Official Plan amendment;
  - ii. a Zoning By-law Amendment;
  - iii. a Block Plan approval;
  - iv. a Plan of Subdivision;
  - v. a minor variance;
  - vi. a Site Plan application; or
- b. the proposed demolition involves the demolition of a building in whole or part or the removal of a building or designated landscape feature.

#### Section 6.2.3.1

That when development is proposed on a property that is not designated under the Ontario Heritage Act but is listed on the Heritage register, recognized as a Cultural heritage character area or identified as having potential cultural heritage value, the applicant shall submit a Cultural heritage impact assessment when:

- a. the proposal requires an Official Plan amendment, a zoning by-law amendment, a plan of subdivision, a plan of condominium, a minor variance or a site plan application;
- b. the proposal involves the demolition of a building or the removal of a building or part thereof or a heritage landscape feature; or
- c. there is potential for adverse impact to a cultural heritage resource from the proposed 7



Section 6.2.3.2

*That when development is proposed on a property adjacent to a property that is not designated under the Ontario Heritage Act but is listed on the Heritage register, recognized as Cultural heritage character area, or identified as having potential cultural heritage value:*

- b. the applicant shall submit a Cultural heritage impact assessment if through the development approval process it is determined that there is the potential for adverse impact on the adjacent heritage resource from the proposed development.*

Section 6.2.4

*Cultural heritage impact assessments may be required for many development activities on or adjacent to heritage resources.*

**Strategy for the Maintenance & Preservation of Significant Heritage Buildings**

Approved by Council on June 27, 2005, Section 1.4 of the "Strategy" has the following provision as it relates to Cultural Heritage Impact Assessment requirements:

*Policy provisions requiring Cultural Heritage Resource Impact Assessment reports by heritage property owners shall be included in the City's Official Plan and Official Plan Amendments. Cultural Heritage Resource Impact Assessment (CHRIA) reports will provide an assessment of the heritage site or property and the impact the proposed development will have on the heritage structure. CHRIA reports will also include preservation and mitigation measures for the heritage property.*

A Cultural Heritage Impact Assessment should not be confused with an Archaeological Resource Assessment. A Cultural Heritage Impact Assessment will identify, evaluate and make recommendations on **built heritage resources and cultural landscapes**. An Archaeological Resource Assessment identifies, evaluates and makes recommendations on **archaeological resources**.

**Good Heritage Conservation Practice**

The Cultural Heritage Impact Assessment shall be conducted and based on good heritage conservation practice as per international, federal, provincial, and municipal statutes and guidelines. This includes (but is not limited to):

- Venice Charter 1964
- Appleton Charter 1983
- Burra Charter 1999
- ICOMOS Charter 2003
- Park Canada's Standards and Guidelines for the Conservation of Historic Places in Canada 2010
- Ministry of Tourism, Culture and Sport's Ontario Heritage Toolkit - Heritage Property Evaluation section
- Ministry of Tourism, Culture and Sport's Eight Guiding Principles in the Conservation of Built Heritage Properties 2007
- Applicable Heritage Conservation District Guidelines



### Requirements of a Cultural Heritage Impact Assessment

The requirement of a Cultural Heritage Impact Assessment shall be identified and requested by Cultural Heritage staff in its review of development applications as circulated by the Vaughan Planning Department for comment. Notification of the requirement to undertake a Cultural Heritage Impact Assessment shall be given to a property owner and/or his/her representative as early in the development process as possible. Cultural Heritage staff will identify the known cultural heritage resources on a property that are of interest or concern.

The following items are considered the minimum required components of a Cultural Heritage Impact Assessment:

1. The hiring of a **qualified heritage specialist** to prepare the Cultural Heritage Impact Assessment. Refer to the Canadian Association of Heritage Professionals (CAHP) which lists members by their specialization (<http://www.caphc.ca>).
2. Applicant and owner **contact information**.
3. A **description of the property**, both built form and landscape features, and its context including nearby cultural heritage resources.
4. A **statement of cultural heritage value** if one does not already exist. Part IV individually designated properties will have statements provided in the existing City by-law. This statement shall be based on Ontario Regulation 9/06 – Criteria for Determining Cultural Heritage Value or Interest.
5. A chronological description of the **history of the property** to date and past owners, supported by archival and historical material.
6. A **development history** and **architectural evaluation** of the built cultural heritage resources found on the property, the site's physical features, and their heritage significance within the local context.
7. A **condition assessment** of the cultural heritage resources found on the property.
8. The **documentation** of all cultural heritage resources on the property by way of photographs (interior & exterior) and /or measured drawings, and by mapping the context and setting of the built heritage.
9. An **outline of the development proposal** for the lands in question and the potential impact, both adverse and beneficial, the proposed development will have on identified cultural heritage resources. A site plan drawing and tree inventory is required for this section.
10. A comprehensive examination of the following **conservation/ mitigation options** for cultural heritage resources. Each option should be explored with an explanation of its appropriateness. Recommendations that result from this examination should be based on the architectural and historical significance of the resources and their importance to the City of Vaughan's history, community, cultural landscape or streetscape. Options to be explored include (but are not limited to):



a) Avoidance Mitigation

Avoidance mitigation may allow development to proceed while retaining the cultural heritage resources in situ and intact. Avoidance strategies for heritage resources typically would require provisions for maintaining the integrity of the cultural heritage resource and to ensure it does not become structurally unsound or otherwise compromised. Feasible options for the adaptive re-use of built heritage structure or cultural heritage resources should be clearly outlined.

Where conservation of the entire structure is not feasible, consideration may be given to the conservation of the heritage structure/resource in part, such as the main portion of a building without its rear, wing or ell addition.

b) Salvage Mitigation

In situations where cultural heritage resources are evaluated as being of minor significance or the conservation of the heritage resource in its original location is not considered feasible on reasonable and justifiable grounds, the relocation of a structure or (as a last resort) the salvaging of its architectural components may be considered. This option is often accompanied by the recording of the structure through photographs and measured drawings.

c) Historical Commemoration

While this option does not conserve the cultural heritage of a property/structure, historical commemoration by way of interpretive plaques, the incorporation of reproduced heritage architectural features in new development, or erecting a monument-like structure commemorating the history of the property, may be considered. This option may be accompanied by the recording of the structure through photographs and measured drawings.

### Review/Approval Process

Two (2) hard copies and two (2) digital copies of the Cultural Heritage Impact Assessment shall be distributed to the City of Vaughan: One hard copy and one digital copy to the Development Planning Department and one hard copy and one digital copy to the Urban Design and Cultural Heritage Division within the Development Planning Department.

Staff will determine whether the minimum requirements of the Cultural Heritage Impact Assessment have been met and review the conclusions and recommendations outlined in the subject report. Revisions and amendments to the Cultural Heritage Impact Assessment will be required if the guidelines are not met. City staff will meet with the owner/applicant to discuss the Cultural Heritage Impact Assessment and recommendations contained therein.

The preparation and submission of a Cultural Heritage Impact Assessment may be a required condition of approval for development applications and draft plan of subdivision applications.

Any questions or comments relating to these guidelines may be directed to the Urban Design and Cultural Heritage Division, Development Planning Department, City of Vaughan.

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[Français](#)

**ONTARIO REGULATION 9/06**

made under the

**ONTARIO HERITAGE ACT**

Made: December 7, 2005

Filed: January 25, 2006

Published on e-Laws: January 26, 2006

Printed in *The Ontario Gazette*: February 11, 2006

**CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST**

**Criteria**

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act.

(2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it,
  - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
  - ii. displays a high degree of craftsmanship or artistic merit, or
  - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
  - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
  - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
  - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
  - i. is important in defining, maintaining or supporting the character of an area,
  - ii. is physically, functionally, visually or historically linked to its surroundings, or
  - iii. is a landmark.

**Transition**

2. This Regulation does not apply in respect of a property if notice of intention to designate it was given under subsection 29 (1.1) of the Act on or before January 24, 2006.

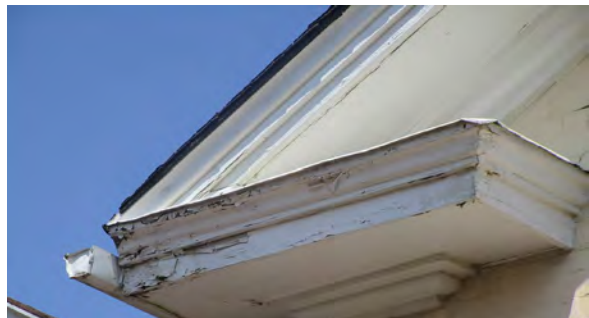
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### Appendix 3: Site Photographic Documentation (ERA, 2019)

980 Major Mackenzie Drive West // George Munshaw House: Exterior



10244 Bathurst Street // Bassingthwaite House: Exterior



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10244 Bathurst Street // Bassingthwaite House: Interior & Smoke House



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## Appendix 4: City of Vaughan By-law No. 403-87

### THE CORPORATION OF THE TOWN OF VAUGHAN

#### BY-LAW NUMBER 403-87

A By-law to designate the George Munshaw House located on the property known municipally as 980 Major Mackenzie Drive, Patterson, in the Town of Vaughan, Regional Municipality of York as being of architectural value or interest.

WHEREAS Section 29 of the Ontario Heritage Act, R.S.O. 1980, authorizes the Council of a municipality to enact by-laws to designate real property, including all buildings and structures thereon, to be of architectural and/or historic value or interest; and,

WHEREAS the Council of the Corporation of the Town of Vaughan has caused to be served on the owners of the lands and premises known as the George Munshaw House, 980 Major Mackenzie Drive, Patterson, being Part of Lot 21, Concession 2, in the Town of Vaughan, in the Regional Municipality of York, more particularly described in Schedule "A" attached hereto; and upon the Ontario Heritage Foundation, notice of intention to designate the aforesaid real property and has caused such notice of intention to be published in a newspaper having general circulation in the municipality once for each of three consecutive weeks; and,

WHEREAS no notice of objection to the proposed designation has been served on the Clerk of the Municipality:

NOW THEREFORE the Council of the Corporation of the Town of Vaughan ENACTS AS FOLLOWS:

1. There is designated as being of architectural value or interest the building known as the George Munshaw House, situated at 980 Major Mackenzie Drive, Patterson, being Part of Lot 21, Concession 2, in the Town of Vaughan, in the Regional Municipality of York, more particularly described in Schedule "A" attached hereto.
2. The reasons for designation are set out in Schedule "B" attached hereto.

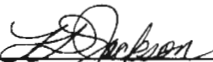
3. The Town Solicitor is hereby authorized to cause a copy of this By-law to be registered against the property described in Schedule "A", attached hereto, in the proper land registry office.
4. The Town Clerk is hereby authorized to cause a copy of this By-law to be served on the Owner of the aforesaid property and on the Ontario Heritage Foundation and to cause notice of the passing of this by-law to be published in the same newspaper in which notice of intention to so designate was published once of each of three consecutive weeks.


READ a FIRST and SECOND time this 16th day of November, 1987.

  
\_\_\_\_\_  
L. D. Jackson, Mayor

  
\_\_\_\_\_  
R. A. [illegible], Town Clerk

READ a THIRD time and finally passed this 16th day of November, 1987.

  
\_\_\_\_\_  
L. D. Jackson, Mayor

  
\_\_\_\_\_  
R. A. [illegible], Town Clerk

THE GEORGE MUNSHAW HOUSE

Property: The George Munshaw House

Address: 980 Major Mackenzie Drive  
Part of Lots 21 and 22,  
Concession 2,  
Maple, Town of Vaughan

Previous Location: Lot 44, Concession 1  
N.W. 1/2

Original Owner: George Munshaw

Construction Date: c.1825-1850

Reason for  
Designation: Designation is recommended for the George Munshaw House for its architectural significance in that it is representative of the transitional period from early post and beam construction to balloon frame construction (1825-1850). Its construction is also unique as it has no posts supporting its frame, but has vertical plank sheathing as the frame support.

It is believed that George Munshaw Sr. constructed the house situated on his property, Lot 44, Concession 1. The building was relocated to its present site in 1985. George Munshaw Sr.'s father, Balsor Munshaw was one of the first founding settlers of what is today Markham.

George Munshaw Jr. inherited from his father, the west 40 acres of the north half of Lot 44, Concession 1, the original location of the Munshaw House.

George Munshaw Jr. was a bachelor and lived, according to the 1871 Census, on Lot 44, Concession 1, with his other brother Thomas, also a bachelor, and his mother Hannah. Hannah Munshaw died c. 1896. Thomas Munshaw died on May 19, 1916 at the age of 86. George Munshaw died of "old age" a year later on July 31, 1917, at the age of 85.

#### ARCHITECTURAL ASSESSMENT

The Munshaw House is a one and a half storey vertical plank structure with a medium pitch gable roof. There is a one storey addition also of vertical plank construction, located to the south.

The house originally had a stone mortar foundation. This was replaced when the house was relocated to its present site in 1984. The exterior of the house is covered with horizontal clapboard.

The main entrance is located on the gable wall of the north elevation. The structural opening is flat in shape with a panel of lights on both sides. Two plain trim, sashed windows with a 6/6 pane arrangement are located on the first storey of the facade. Two similar windows are located on the facade's upper storey.

Two plain trim, sashed windows with a 6/6 pane arrangement are located on the first storey of the west elevation. Two similar windows with 6/6 pane arrangement are situated on the first storey of the east elevation. A shed dormer is centrally located on the structure's east elevation. A sashed window with a 3/6 pane arrangement is located in the dormer.

The south elevation of the main structure has a plain trim sashed window with a 6/6 pane arrangement. A similar window lies just above on the second storey opposite a casement window with a 9 pane arrangement.

The rear addition has two entrances located on opposite ends of the west elevation. A plain trim sashed window with a 6/6 pane arrangement is situated between the two doorways.

The east elevation of the addition has a sashed window with a 3/6 pane arrangement. The addition's south elevation has a sashed window with a 6/6 pane arrangement.

The roof is covered with cedar shingles. A chimney is centrally located along the roofline of the main structure. There is a second chimney at the rear of the addition. The roof has extended eaves with a plain fascia and soffit.

The frame of the house is unique in that it has vertical plank sheathing as the frame support. The structure resembles post and beam construction except that the posts are replaced by vertical planks. This type of construction was used between 1825 - 1850 during the transition from early post and beam construction to balloon framing.<sup>1</sup> The method of construction used to build the Munshaw House resembles balloon framing, in that the vertical supports press beside the horizontal supports and not underneath them. The horizontal beams are held up by spikes driven through the planks. This method of construction was more economical than post and beam, as it eliminated the posts and the complicated joinery.

Designation is recommended for the Munshaw House for its architectural significance in that it is representative of the transitional period from early post and beam construction to balloon frame construction (1825-1850). Its construction is also unique as it has no posts supporting its frame, but has vertical plank sheathing as the frame support.

It is believed that George Munshaw Sr. constructed the house situated on his then property, Lot 44, Concession 1. George Munshaw Sr.'s father, Balsor Munshaw was one of the first founding settlers of what is today Richmond Hill.

<sup>1</sup>Note: A similar frame construction to the Munshaw House is a house at Moulinette, Ontario, near the Quebec border dated 1825. The Moulinette house was demolished to make way for the St. Lawrence Seaway. For details see John I. Rempel, Building with Wood, (Toronto: University of Toronto Press, 1967) p. 124.

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**Date:** September 11, 2019 **Sent by:** EMAIL

**To:** Michael Pozzebon  
Longyard Properties Inc.  
30 Floral Parkway, Suite 300  
Concord, ON, L4K 4R1

**Subject:** **RE: 980 Major Mackenzie Drive West, Munshaw House —  
Addendum to Conservation Plan Phase 1: Relocation**

Dear Michael,

This document is an addendum to the Conservation Plan Phase 1: Relocation (“CP”) prepared by E.R.A. Architects Inc. (“ERA”), dated October 28, 2015, for 980 Major Mackenzie Drive West (“Munshaw House”), revised on July 21, 2016 and issued to the City of Vaughan. This addendum outlines a new proposed conservation strategy for the Munshaw House, and builds on and amends sections of the existing CP, including: Section 2: Condition Assessment; Section 3: Conservation Plan; Section 4: Conservation Cost Estimate; and Appendix 1: Conservation Plan Drawings.

### **Background**

The CP followed a Heritage Impact Assessment (“HIA”) by ERA, dated October 30, 2014 and revised April 12, 2016 in consultation with Heritage Staff, which sought to stabilize, temporarily relocate and mothball the structure for eventual rehabilitation. Since the HIA was submitted and approved by the City of Vaughan in 2016, the Munshaw House was stabilized, relocated from its former location (municipally known as 980 Major Mackenzie Drive West) within the Longyard Subdivision, 19T-03V13-Phase 2 to Lot 104 on Fanning Mills Circle, abutting Major Mackenzie Drive West, and mothballed.

The Munshaw House consists of a one-and-a-half-storey structure with a one-storey rear addition built c. 1825-1850. It was moved from its original site in Richmond Hill at Lot 44 Concession 2 to 980 Major Mackenzie Drive West in 1984, and then to its present location between 2016 and 2017.

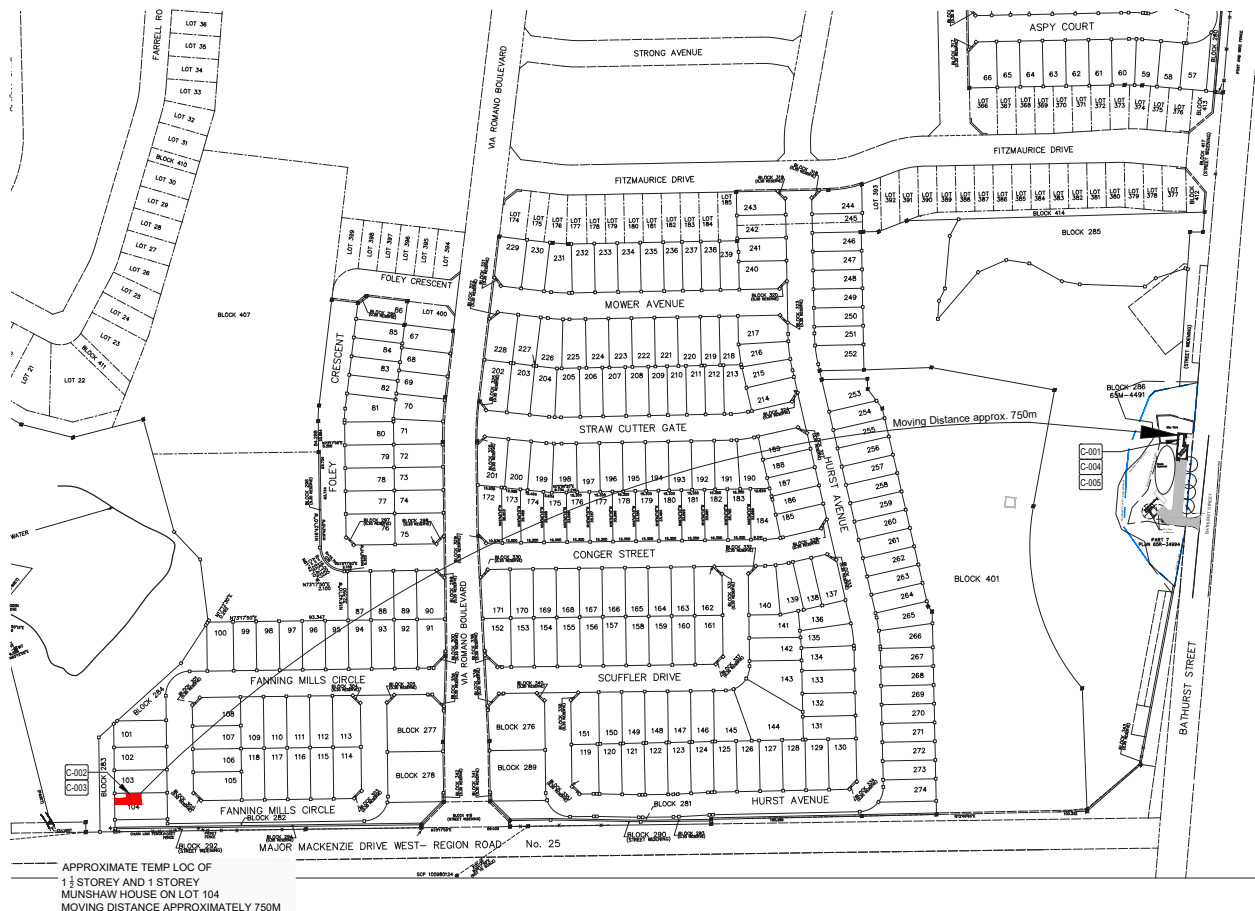
This addendum outlines a new proposed conservation strategy for Munshaw House that includes relocation to a permanent foundation on a new property. Exterior and interior conservation works and adaptive reuse will be part of a future scope. In the interim, before it is programmed, Munshaw house will serve as an accessory structure to the Bassingthwaite House, a local heritage resource to be relocated to the same property. When a future use is determined, and a proposal for rehabilitation is developed, planning permissions and Heritage Permits will be required for any further work.

ERA has developed the conservation strategy with respect to the Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada*, and the Ministry of Culture’s *Ontario Heritage Tool Kit* procedures, and the *Burra Charter for the Protection and Enhancement of the Built Environment*. The conservation work described in this CP addendum will be executed by specialist sub-contractors with a minimum of 5 years experience in working with heritage structures. The work will be reviewed on site by the architect, heritage consultant and the City of Vaughan’s heritage staff for general conformance with heritage guidelines and conservation notes described in this addendum.

A Letter of Credit to secure the dollar value of conservation work of the heritage elements identified in this Conservation Plan will be provided under separate cover. Upon adequate review and completion of the conservation work by the Heritage Consultant, the Letter of Credit amount will be released back to the client.

## Scope of the Report

This report addresses the conservation work needed to relocate and stabilize the Munshaw House in accordance with the City of Vaughan's requirements. Future exterior conservation is detailed in the "Conservation Notes" section of this document (Notes 1-000 onwards), noting that these are future works. It does not include instruction for rehabilitation of the existing one-and-a-half-storey building and one-storey rear addition of the Munshaw House, including future interior conservation and additions or alterations. A supplemental Heritage Permit will be required for future work.



Site plan drawing (HA001) showing the relocation of Munshaw House from its current position (in red) approximately 750 metres to its proposed location at the municipal address of 10090 Bathurst Street (ERA, 2019).

## SECTION 2: CONDITION ASSESSMENT

ERA performed a visual inspection of the property on July 25, 2019. All inspections were carried out from grade. Inspections were limited to visible exterior envelope features such as the masonry, woodwork, windows and doors, flashings and rainwater management systems (eavestroughs and downspouts). The interior was accessible during the inspection. No close up “hands on” inspections were carried out using scaffolding or a lift, and the roof areas on all the buildings were not accessible at the time of the inspection.

Overall, the Munshaw house is in fair to poor condition with areas of defective condition. It is currently sitting on temporary structure — steel beams and wood cribs. The area at the seam of the one-and-a-half-storey building and one-storey addition appears to be in poor condition and is bowing in this location. This section should be repaired and leveled as soon as possible to prevent further deterioration to the structure.

### 2.1 Exterior Condition

The wood siding appears to be in poor to fair condition with some areas of rot and deterioration and paint flaking and peeling. There also appears to be some defective areas at the base of the one-storey addition where there is missing wood siding.

The exterior wood work appears to be in fair condition with some areas of the roof fascia and soffit boards showing paint flaking and peeling.

The eavestroughs and downspouts appear to be in fair condition with some areas of warping. The eavestroughs and downspouts on the north side of the one-storey addition is missing. The cedar shingle roof appears to be in poor condition with areas of missing shingles, deterioration and warping. The roof flashing appears to be in fair condition.

The brick chimneys appear to be in fair condition with some environmental staining at the peaks.

All the existing doors and windows are boarded up from the exterior, and so these items could not be reviewed.

## Definition of Terms

The building components were graded using the following assessment system:

**Excellent:** Superior aging performance. Functioning as intended; no deterioration observed.

**Good:** Normal Result. Functioning as intended; normal deterioration observed; no maintenance anticipated within the next five years.

**Fair:** Functioning as intended. Normal deterioration and minor distress observed; maintenance will be required within the next three to five years to maintain functionality.

**Poor:** Not functioning as intended; significant deterioration and distress observed; maintenance and some repair required within the next year to restore functionality.

**Defective:** Not functioning as intended; significant deterioration and major distress observed, possible damage to support structure; may present a risk; must be dealt with immediately.

The following site photos depict the current condition of the Munshaw House.



Eastern facade of the Munshaw House (ERA, 2019).



Western facade of the Munshaw House (ERA, 2019).



Southern facade of the Munshaw House (ERA, 2019).



Northern facade of the Munshaw House (ERA, 2019).

## SECTION 3: CONSERVATION PLAN

### 3.1 Conservation Strategy Objectives

This CP addendum seeks to ensure the responsible treatment of the character-defining elements of the Munshaw House throughout stabilization and relocation, as well as future work related to exterior and interior conservation. Munshaw House's reasons for designation include:

Designation is recommended for the George Munshaw House for its architectural significance in that it is representative of the transitional period from early post and beam construction to balloon frame construction (1825-1850). Its construction is also unique as it has no posts supporting its frame, but has vertical plank sheathing as the frame support.

It is believed that George Munshaw Sr constructed the house situated on his property, Lot 44, Concession 1. The building was relocated to its present site in 1985. George Munshaw Sr.'s father, Balsor Munshaw was one of the first founding settlers of what is today Markham (City of Vaughan By-law 403-87).

From the reasons for designation, we conclude that the main character-defining element to be conserved through conservation work is the construction of the house's structure.

### 3.2 Overview of Conservation Scope

The proposed conservation scope aims to stabilize the Munshaw House, which is currently on temporary footings, and relocate it to a permanent foundation on a new property. In the interim, until the it is programmed for future use, Munshaw House will serve as an accessory building to the residential Bassingthwaite House. The conservation scope of work is as follows:

- Stabilization and relocation of the one-and-a-half-storey building with one-storey rear addition of the Munshaw House (*stabilization of the structure is to be confirmed by Danco House Raising and Moving prior to relocation*).

Exterior conservation work is outside of the current project scope; however, the 'Conservation Notes' (C-100 items only) provided within this report describe the work to be undertaken in future.

#### Conservation:

all actions or processes that are aimed at safeguarding the character-defining elements of an historic place so as to retain its heritage value and extend its physical life. This may involve Preservation, Rehabilitation, Restoration, or a combination of these actions or processes.

#### Preservation:

the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of an historic place, or of an individual component, while protecting its heritage value.

#### Rehabilitation:

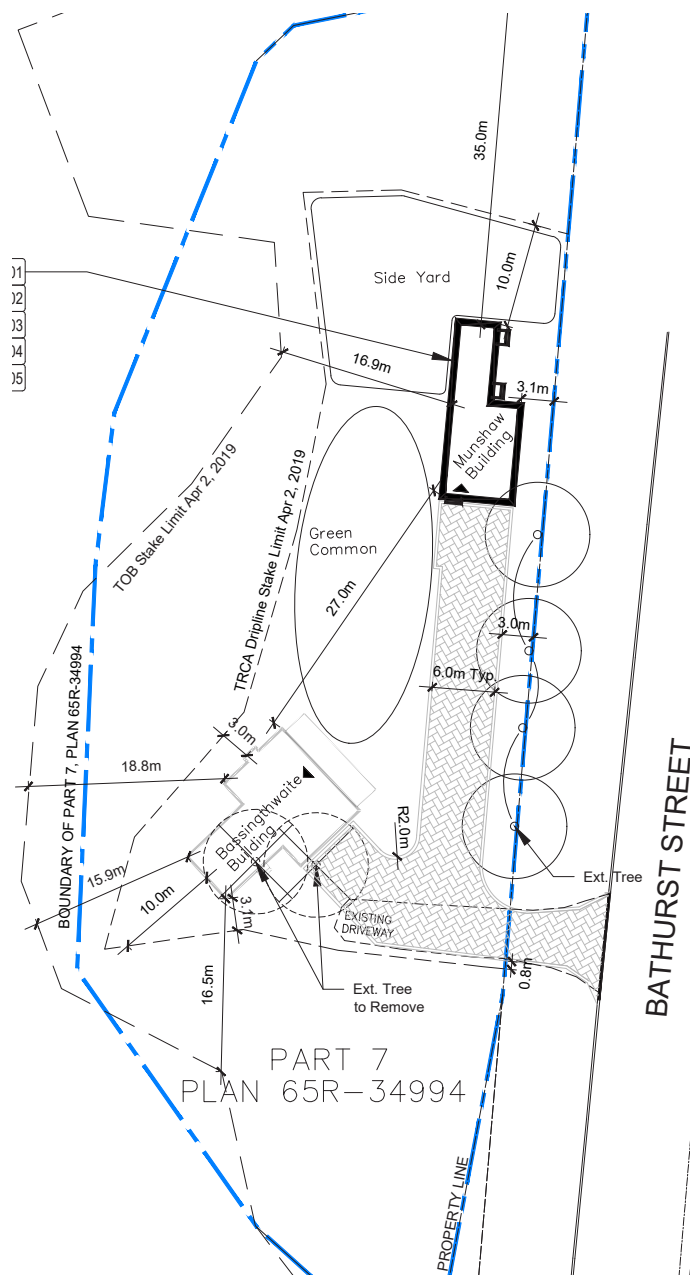
the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.

#### Restoration:

the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

*Source: Standards and Guidelines for the Conservation of Historic Places in Canada (2nd Ed, Glossary)*

The dwelling is proposed to be relocated to 10090 Bathurst Street (the “Proposed Site”), a residential lot enveloped by naturalized open space, adjacent to another local heritage resource, Basingthwaite House. Both houses are to be situated within the staked top of bank and dripline limits established by the TRCA. The proposed setting will provide a more appropriate context and scale for the heritage resources. The Proposed Site’s context includes naturalized areas and landscaped open green spaces, and a tree line buffer between the adjacent roadway. Its location along Bathurst Street affords a visual prominence that the dwellings are presently lacking in their current locations within the Longyard Subdivision.



(Above) 1978 Aerial photograph showing the original Munshaw Farmstead and House, and its orientation toward Bathurst Street (York Region, 2019).

(Left) Proposed site plan for the relocation of Munshaw House (ERA, 2019).

The following site photographs depict the Proposed Site.



Proposed Site from Bathurst Street-view north west (ERA, 2019).



Existing vegetation on the Proposed Site (ERA, 2019).



Existing driveway entry to the Proposed Site. View east towards residential properties opposite Bathurst Street (ERA, 2019).

### 3.3 Relocation

The following methodology for relocating Munshaw House was provided by Danco House Raising and Moving.

- Reload the Munshaw House onto hydraulic dollies;
- Set a bunk at the front of the house to ensure the house is supported by three points and will not be damaged; and
- Move the Munshaw House to the Proposed Site.

### 3.4 Future Work: Rehabilitation for Occupied Use

In future, conservation work involving the repair and upgrade of the heritage resource, and adaptive reuse will be undertaken to rehabilitate Munshaw House to accommodate new uses. As a part of future rehabilitation, consideration can be given to retaining the existing interior wood floors and staircase and providing a grander entrance to Munshaw House such as a porch or verandah. However, rehabilitation and use-dependent work cannot commence until a new use is confirmed, and proposed work is approved by the City of Vaughan.

The proposed use for the Bassingthwaite House and Munshaw House upon relocation is a residence with an accessory structure, respectively. The ultimate use of Munshaw House will be confirmed in consultation with the future owner(s)/user(s) of the Proposed Site. On confirmation, a proposal for rehabilitation will need to be developed and submitted to the City of Vaughan. This proposal will provide greater detail regarding any required alterations or additions to the heritage resources, as well as site landscaping to create a buffer between the house and adjacent roadways. Heritage Permits and other planning permissions will be required for any further work.

The following conservation notes correspond with the conservation drawings attached as Appendix I. Notes C-100 to C-113 detail future exterior conservation work.

## **CONSERVATION NOTES**

### **C-000 HOUSE RELOCATION**

- C-001: RETAIN EXISTING 1-1/2-STOREY AND 1-STOREY MUNSHAW HOUSE AND RELOCATE TO NEW LOT.
- C-002: STABILIZE EXISTING FRAMING OF BOTH 1-1/2-STOREY AND 1-STOREY HOUSE BEFORE RELOCATION.
- C-003: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.
- C-004: ENSURE NEW SITE AND GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED TO THE NEW LOCATION.
- C-005: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

### **C-100 CONSERVATION WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)**

- C-101: REMOVE EXISTING CEDAR SHINGLE ROOF AND DORMER WALLS AND REPLACE WITH NEW CEDAR SHINGLES TO MATCH EXISTING.
- C-102: REMOVE EXISTING ROOF VENTS AND REPLACE WITH NEW ROOF VENTS AS REQUIRED.
- C-103: REMOVE ALL EXISTING METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS AND PROVIDE NEW TO MATCH EXISTING.
- C-104: SCRAPE CLEAN, PRIME AND PAINT ALL EXTERIOR WOOD SIDING (TYP.)
- C-105: MAKE GOOD SIDING TO MATCH EXISTING.
- C-106: SCRAPE CLEAN, PRIME AND PAINT ALL EXTERIOR WOODWORK (TYP.)
- C-107: INSTALL NEW WOOD SIDING TO MATCH EXISTING, AS REQUIRED.
- C-108: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES (TYP.)
- C-109: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE AND STORM DOOR.
- C-110: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOORS.
- C-111: CONSTRUCT NEW FOUNDATION WALL FACING MATERIAL WITH SALVAGED STONE FROM BASSINGTHWAITE SMOKEHOUSE.
- C-112: CLEAN EXISTING BRICK CHIMNEYS.
- C-113: CONSTRUCT NEW STAIRS.

#### **SECTION 4: CONSERVATION COST ESTIMATE**

A Letter of Credit to secure the dollar value of conservation work of the heritage elements identified in this Conservation Plan will be provided under separate cover.

#### **CONCLUSION**

This addendum finds that the heritage resource, Munshaw House, will be appropriately conserved by the conservation work detailed in this document. The proposed conservation scope of work includes stabilization and relocation of the one-and-a-half-storey structure with one-storey rear addition of the Munshaw House to a permanent location on a foundation. Future exterior conservation work will be executed as a part of a later scope, along with necessary interior alterations and/or additions necessary to accommodate future use. In the interim, before the house is programmed, the Munshaw House will be used as an accessory structure to the residential Bassingthwaite House.

ERA and the project team will continue to coordinate with the City of Vaughan and the TRCA throughout the design development process. Should further information be required, please feel free to contact us for clarification.

Sincerely,



Philip Evans  
Partner, ERA Architects Inc.

## **SECTION 6: APPENDICES**

### **APPENDIX I - CONSERVATION PLAN DRAWINGS BY ERA ARCHITECTS, 2019**

CONSERVATION NOTES:

C-000 HOUSE RELOCATION

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C-002: STABILIZE EXISTING FRAMING OF BOTH 1 1/2-STOREY AND 1-STOREY HOUSE BEFORE RELOCATION.

C-003: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

C-004: ENSURE NEW SITE AND GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED TO THE NEW LOCATION.

C-005: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

C-100 CONSERVATION WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

C-101: REMOVE EXISTING CEDAR SHINGLE ROOF AND DORMER WALLS AND REPLACE WITH NEW CEDAR SHINGLES TO MATCH EXISTING.

C-102: REMOVE EXISTING ROOF VENTS AND REPLACE WITH NEW ROOF VENTS AS REQUIRED.

C-103: REMOVE ALL EXISTING METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS AND PROVIDE NEW TO MATCH EXISTING.

C-104: SCRAPE CLEAN, PRIME AND PAINT ALL EXTERIOR WOOD SIDING (TYP.)

C-105: MAKE GOOD SIDING TO MATCH EXISTING.

C-106: SCRAPE CLEAN, PRIME AND PAINT ALL EXTERIOR WOODWORK (TYP.)

C-107: INSTALL NEW WOOD SIDING TO MATCH EXISTING, AS REQUIRED.

C-108: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES (TYP.)

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C-111: CONSTRUCT NEW FOUNDATION WALL FACING MATERIAL WITH SALVAGED STONE.

C-112: CLEAN EXISTING BRICK CHIMNEYS.

C-113: CONSTRUCT NEW STAIRS

NOTE:

ANY BUILDING PERMITS REQUIRED TO COMPLETE THIS WORK WILL BE PROVIDED BY THE CLIENT AND DANCO'S ENGINEERS.

DRAWINGS LIST

HERITAGE ARCHITECT	
COVER PAGE & CONSERVATION NOTES	HA000
SITE PLAN RELOCATION	HA001
SITE PLAN AT NEW LOCATION	HA002
EXISTING BASEMENT AND GROUND FLOOR PLANS	HA003
EXISTING SECOND AND ROOF FLOOR PLANS	HA004
EXISTING EAST AND WEST ELEVATIONS	HA005
EXISTING SOUTH AND NORTH ELEVATIONS	HA006
PROPOSED BASEMENT AND GROUND FLOOR PLANS	HA007
PROPOSED SECOND AND ROOF FLOOR PLANS	HA008
PROPOSED EAST AND WEST ELEVATIONS	HA009
PROPOSED SOUTH AND NORTH ELEVATIONS	HA010

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NO.	DATE	REVISION / ISSUANCE
1	2019-08-21	CONSERVATION PLAN - DRAFT
2	2019-09-11	CONSERVATION PLAN

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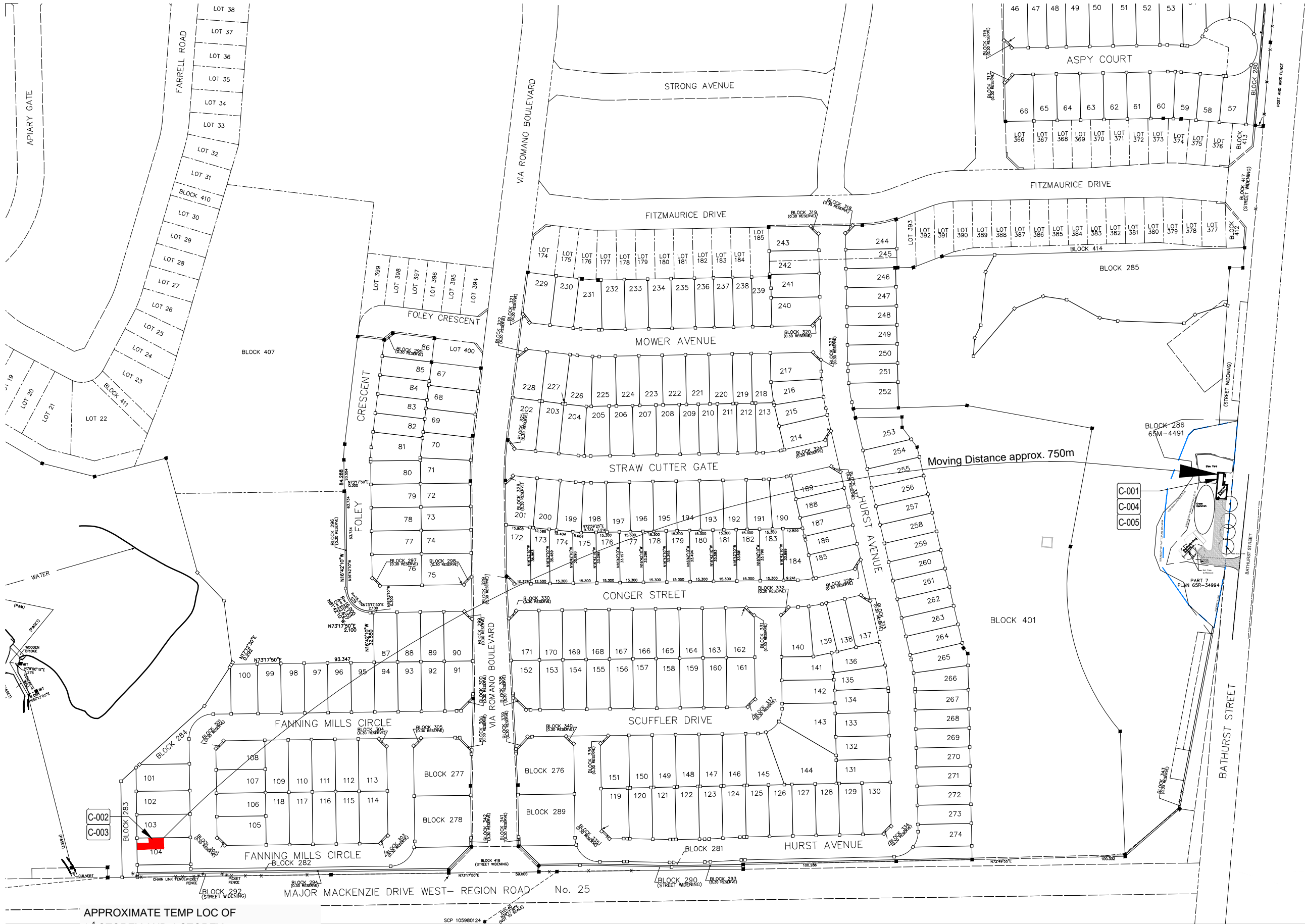
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Project	
GEORGE MUNSHAW HOUSE CP	
Address	980 MAJOR MACKENZIE DR., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	JQ
Reviewed by	JQ
Drawing title	

COVER PAGE & CONSERVATION NOTES

Sheet no.
HA000



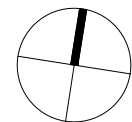
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Project

**GEORGE MUNSHAW HOUSE CP**

Address 980 MAJOR MACKENZIE DR., VAUGHAN, ON

For DG GROUP

Project no. 13-106

Scale at 11x17 1 : 2500

Drawn by SC

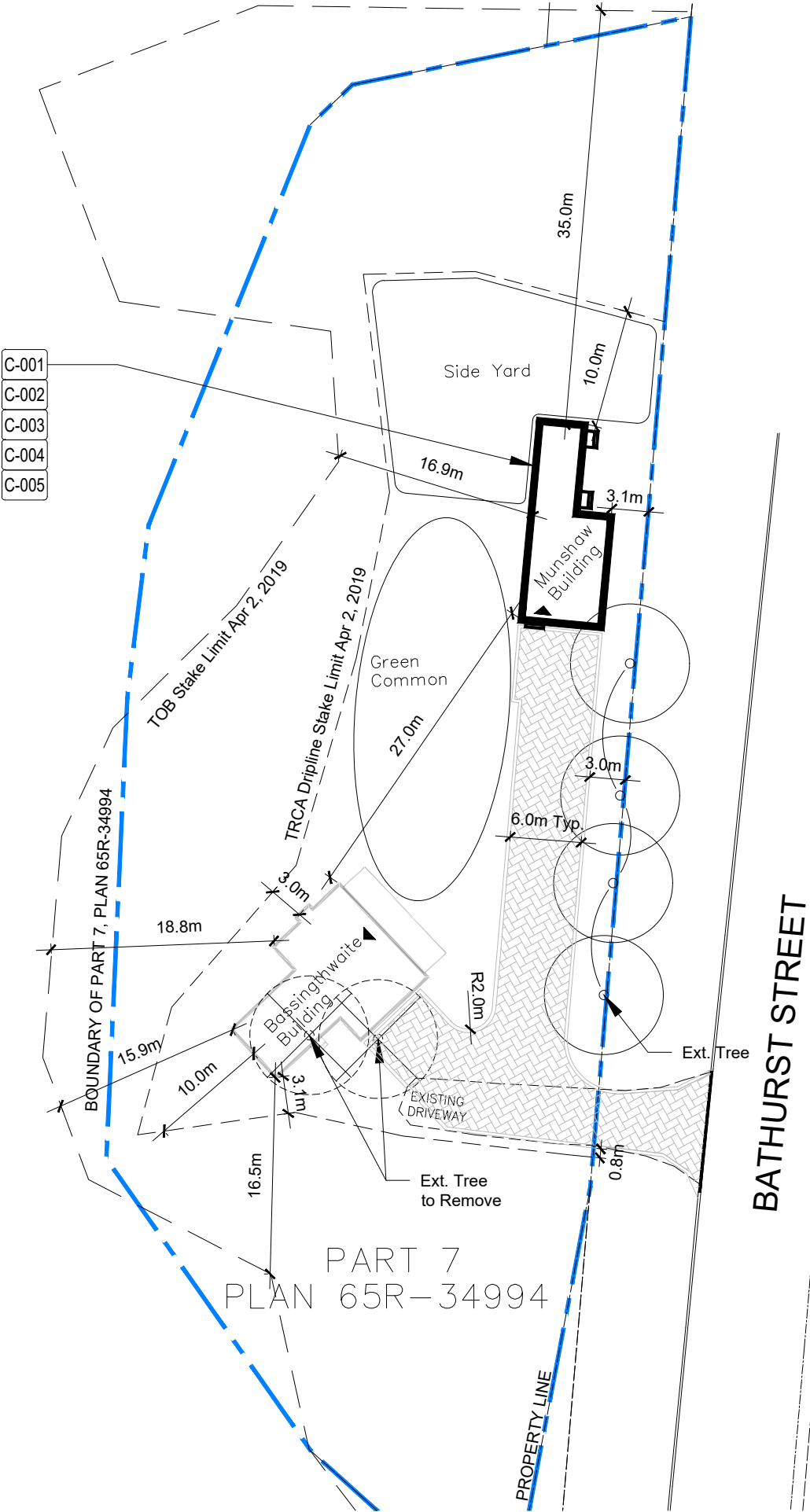
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Drawing title

**SITING PLAN RELOCATION**

Sheet no.

**HA001**



- C-001
- C-002
- C-003
- C-004
- C-005

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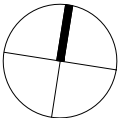
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For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 500
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Reviewed by	JQ
Drawing title	

## SITE PLAN AT NEW LOCATION

Sheet no.

HA002

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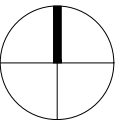
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Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	JQ
Reviewed by	JQ
Drawing title	EXISTING BASEMENT AND GROUND FLOOR PLANS

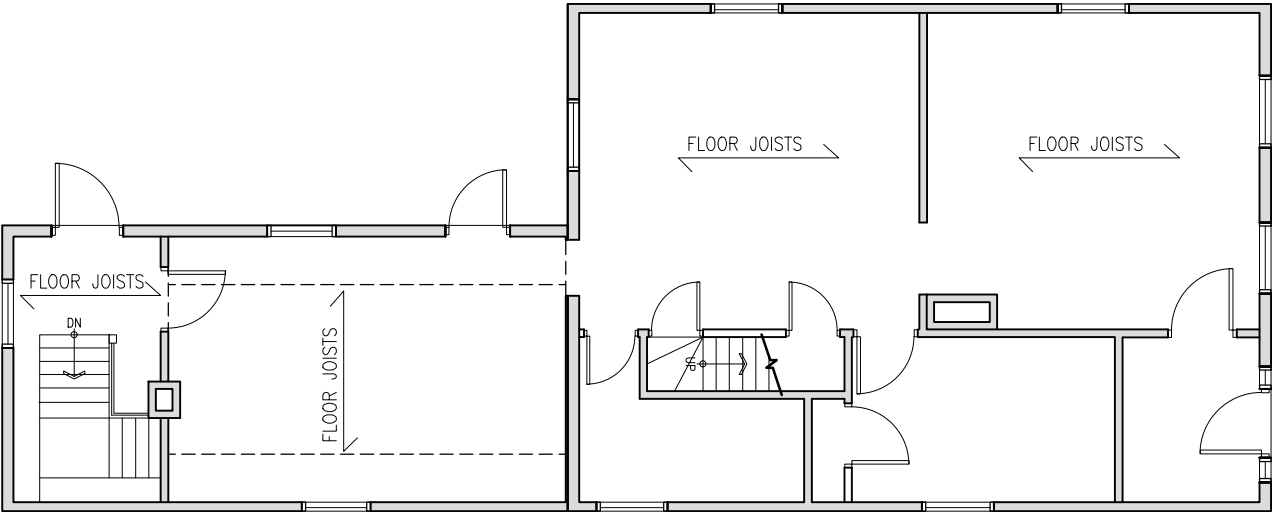
Sheet no.

HA003

LEGEND

EXISTING HERITAGE FABRIC

TEMPORARY FOUNDATION,  
STEEL BEAMS & WOOD CRIBS

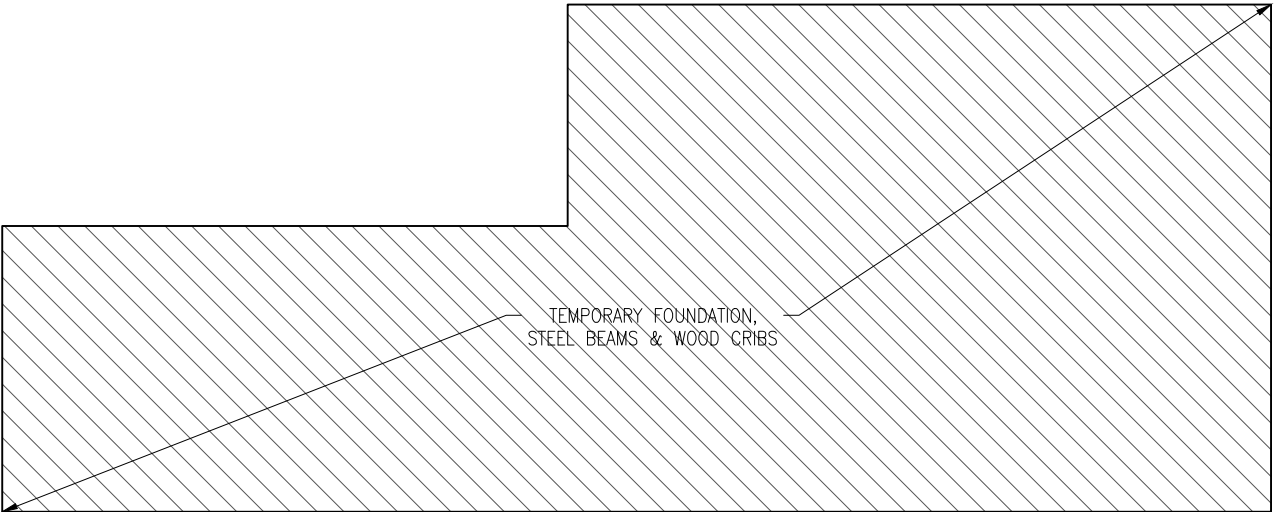


GROUND FLOOR PLAN

2

SCALE 1 : 100

HA003

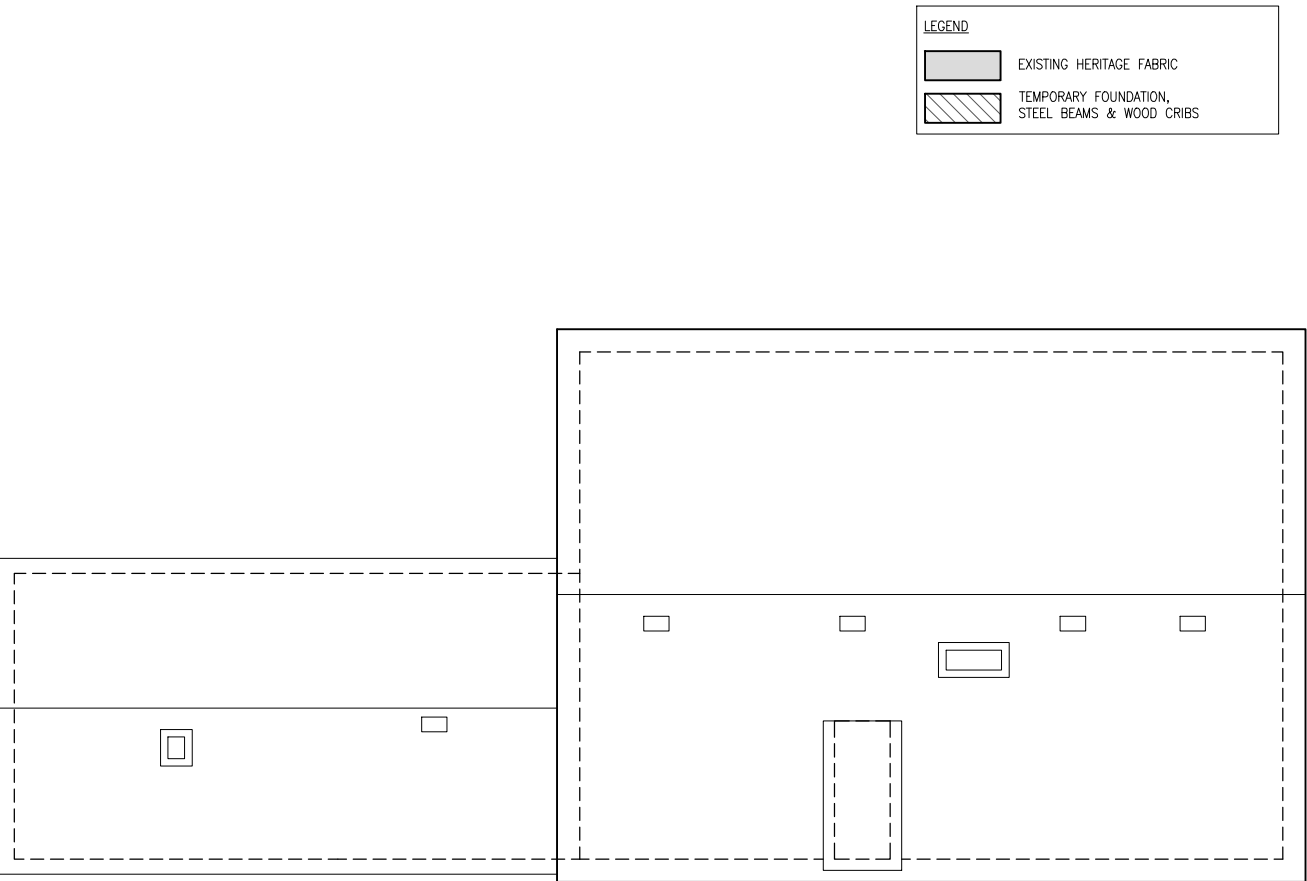


BASEMENT FLOOR PLAN

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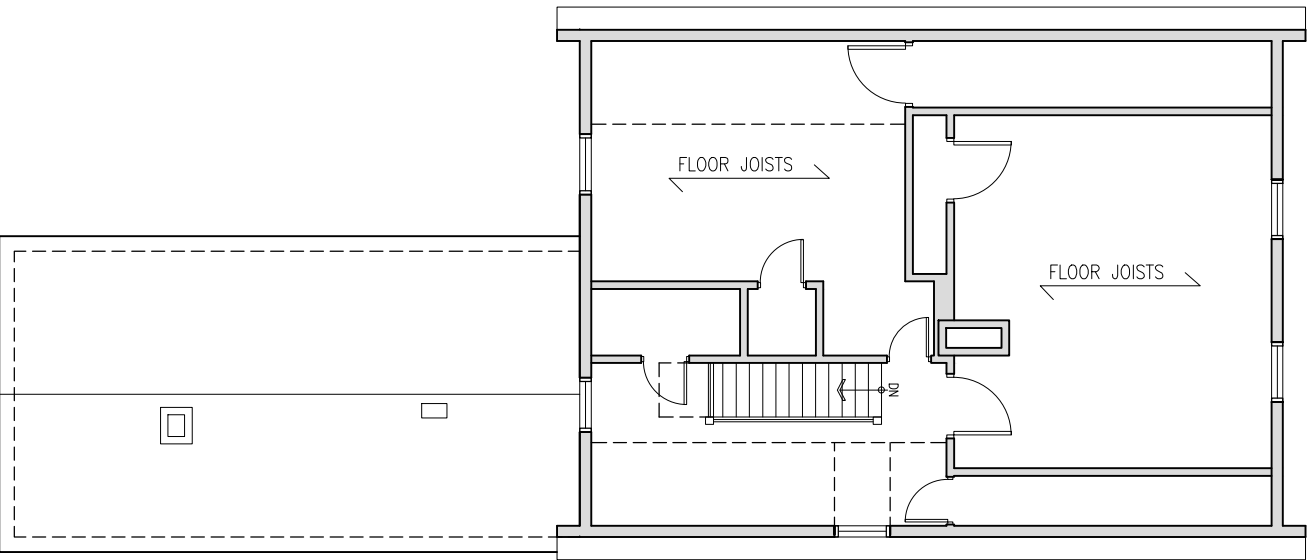


ROOF PLAN

2

SCALE 1 : 100

HA004



SECOND FLOOR PLAN

1

SCALE 1 : 100

HA004

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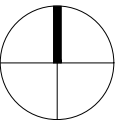
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Scale at 11x17	1 : 100
Drawn by	JQ
Reviewed by	JQ
Drawing title	EXISTING SECOND AND ROOF FLOOR PLANS

Sheet no.

HA004

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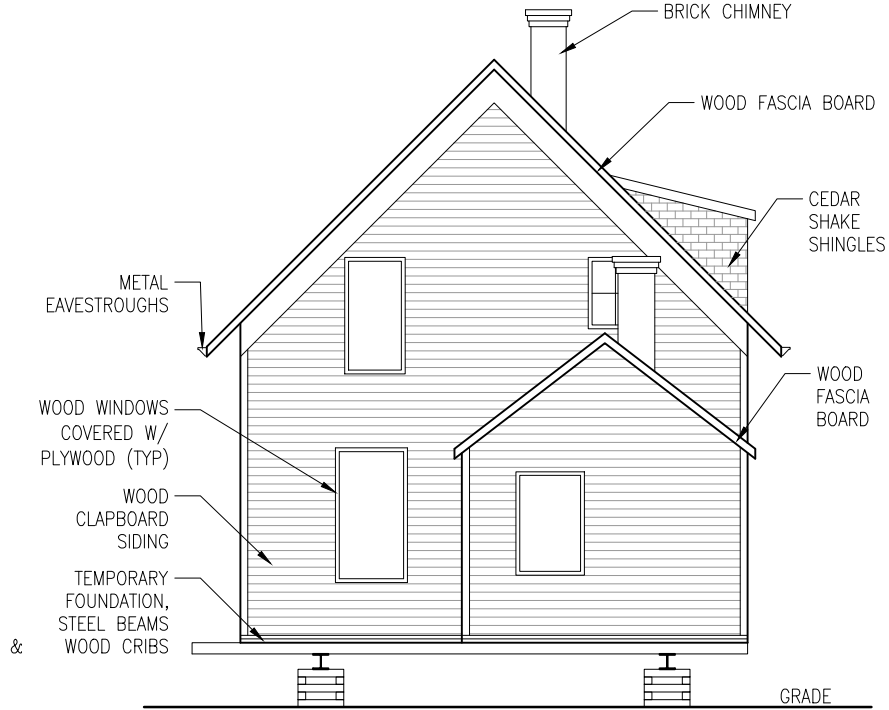
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Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	JQ
Reviewed by	JQ
Drawing title	EXISTING EAST AND WEST ELEVATIONS

Sheet no.

HA005

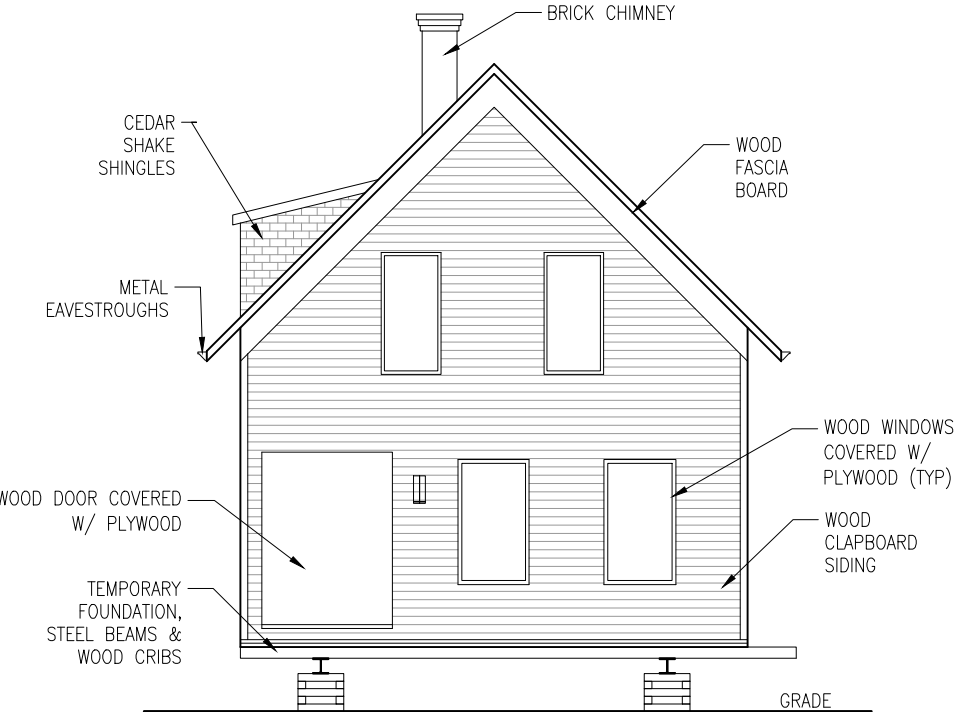


WEST ELEVATION

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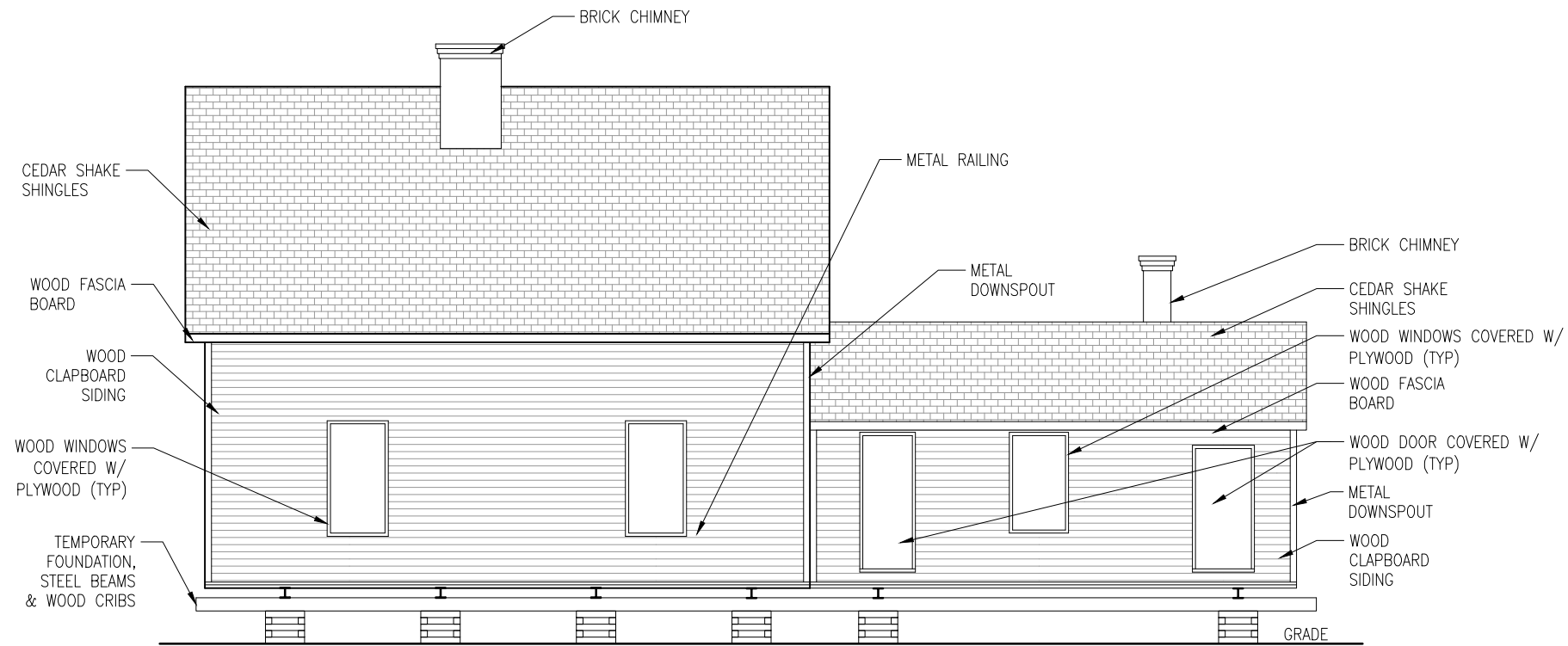


EAST ELEVATION

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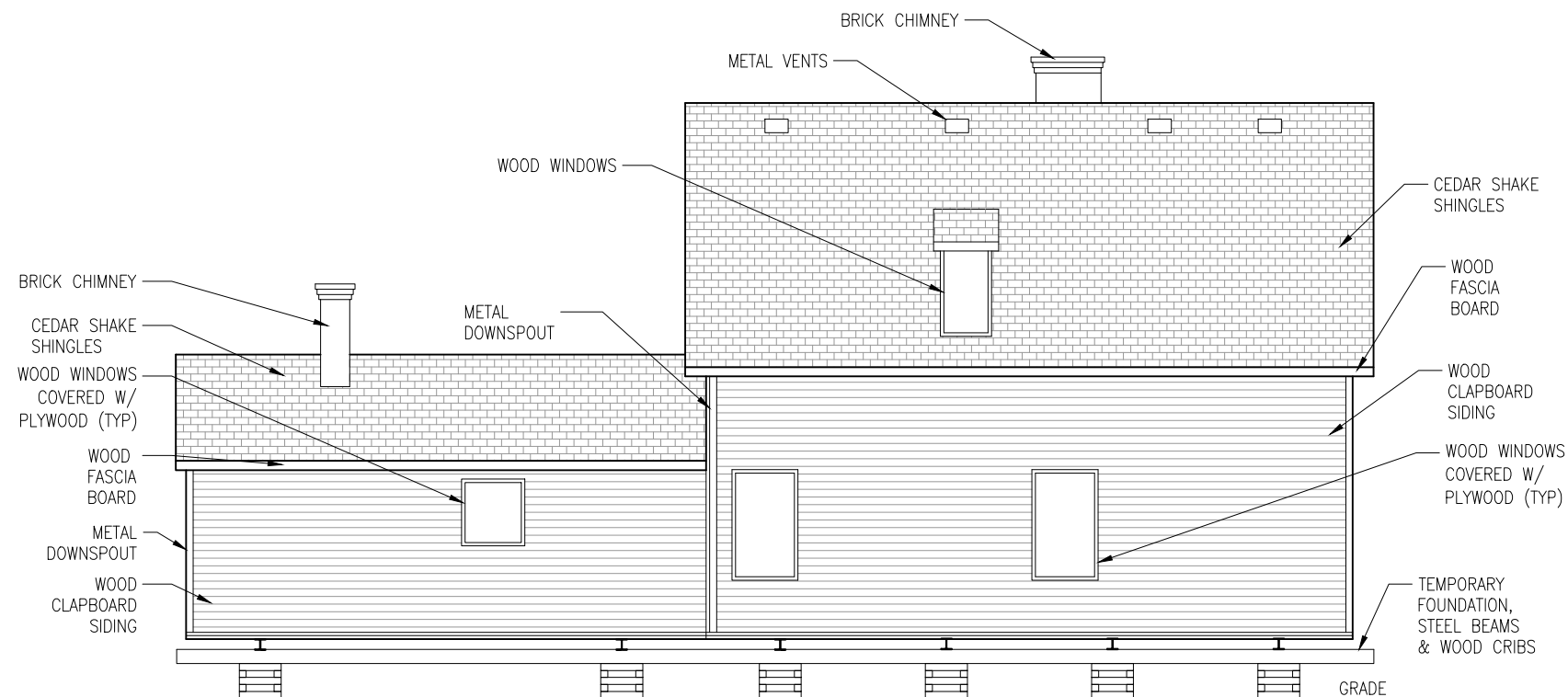


NORTH ELEVATION

2

SCALE 1 : 100

HA006



SOUTH ELEVATION

1

SCALE 1 : 100

HA006

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1	2019-08-21	CONSERVATION PLAN - DRAFT
2	2019-09-11	CONSERVATION PLAN

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For	DG GROUP
Project no.	13-106
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Drawn by	JQ
Reviewed by	JQ
Drawing title	

EXISTING SOUTH AND NORTH ELEVATIONS

Sheet no.

HA006

CONSERVATION NOTES:

C-000 HOUSE RELOCATION

C-001: RETAIN EXISTING 1 1/2 STOREY AND 1 STOREY MUNSHAW HOUSE AND RELOCATE TO NEW LOT.

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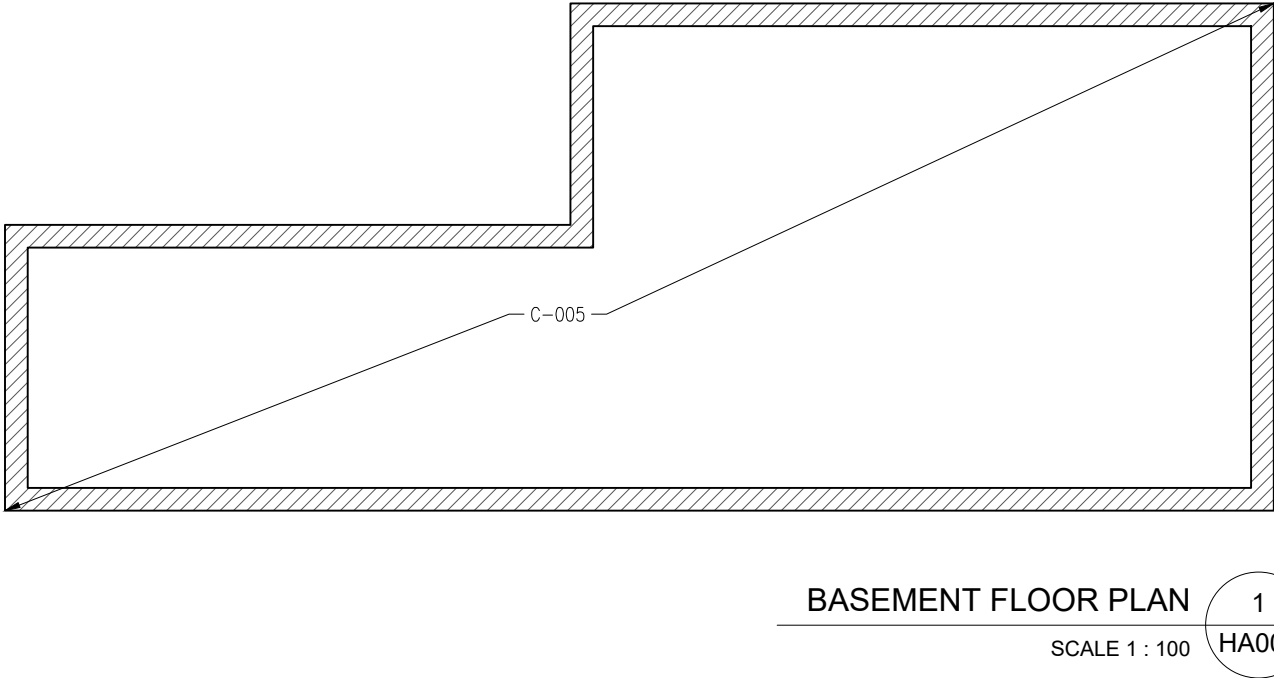
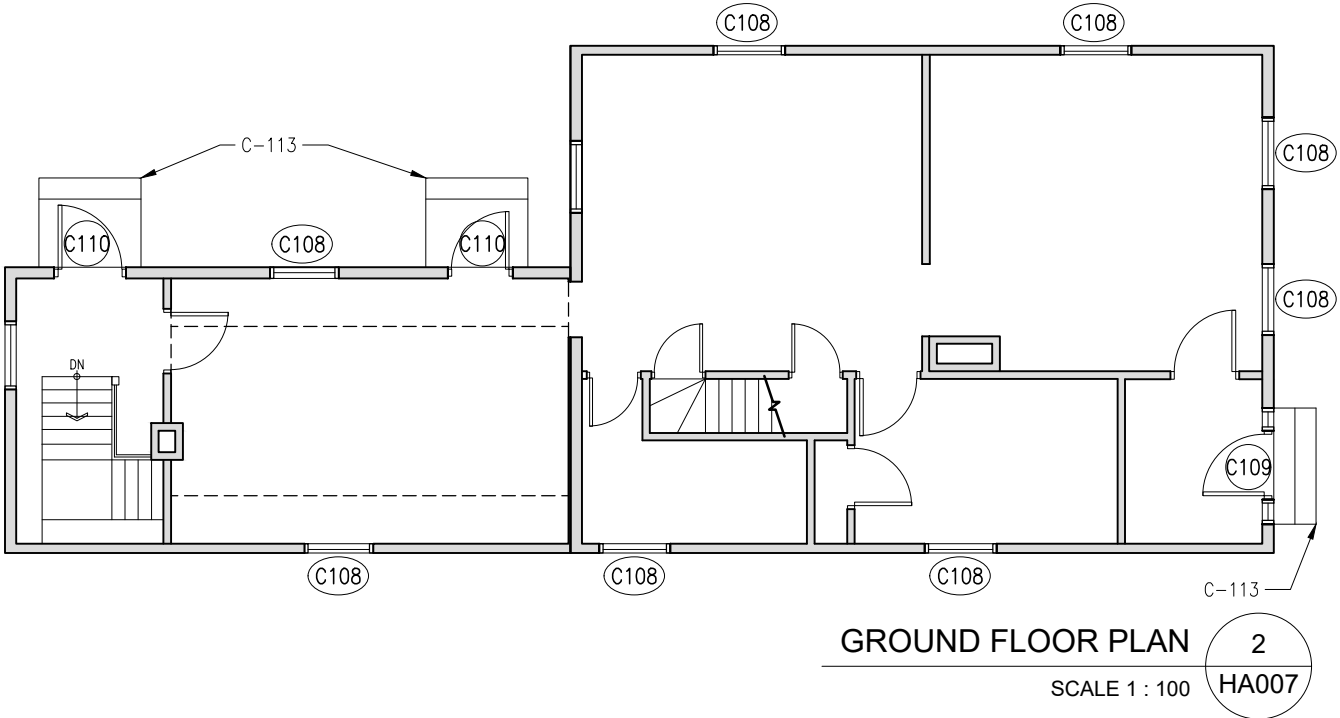
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C-113: CONSTRUCT NEW STAIRS

LEGEND

RETAIN EXISTING HERITAGE FABRIC

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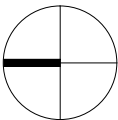
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Drawing title	

PROPOSED BASEMENT AND GROUND FLOOR PLANS

Sheet no.

HA007

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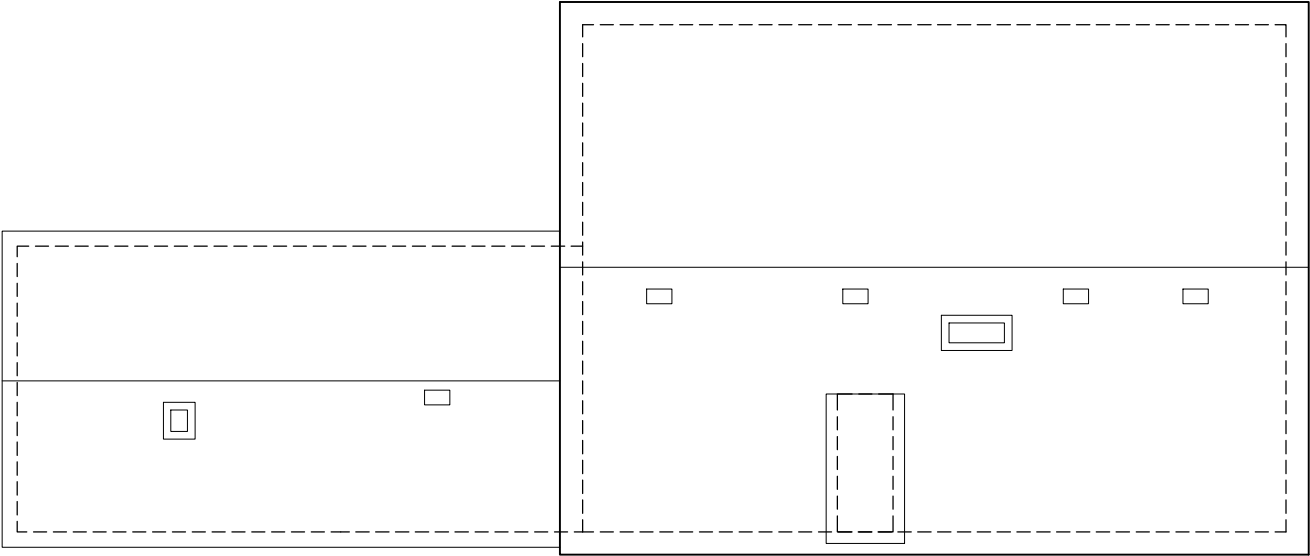
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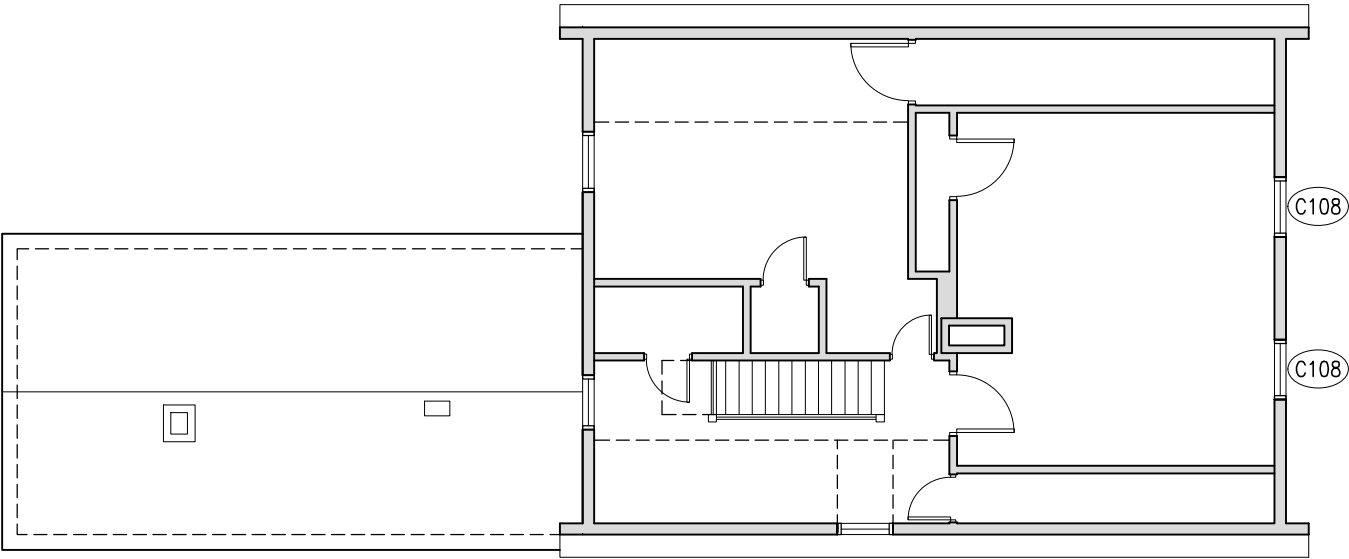


ROOF FLOOR PLAN

2

SCALE 1 : 100

HA008



SECOND FLOOR PLAN

1

SCALE 1 : 100

HA008

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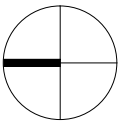
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Reviewed by	JQ
Drawing title	PROPOSED SECOND AND ROOF FLOOR PLANS

Sheet no.

HA008

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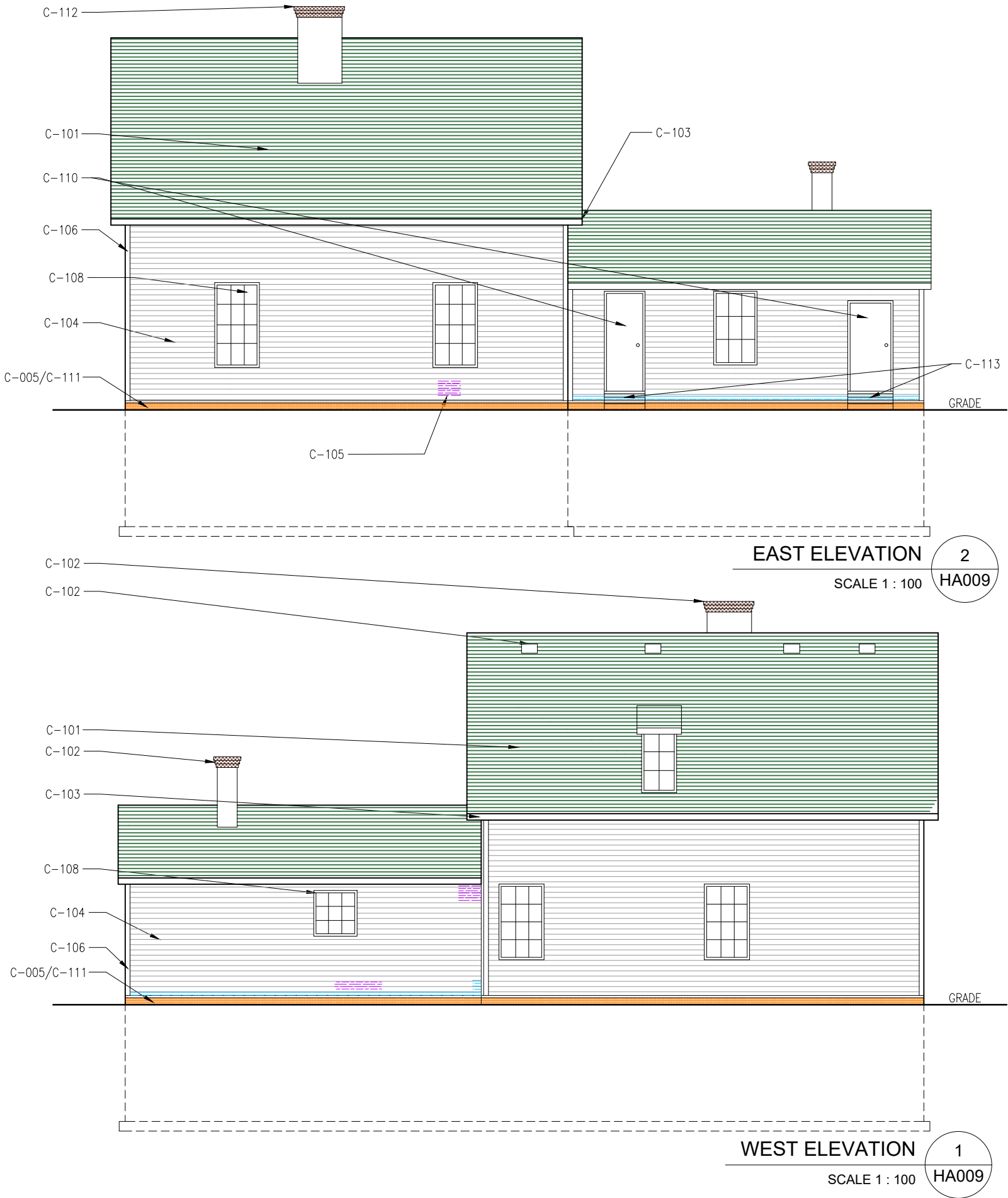
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Reviewed by	JQ
Drawing title	PROPOSED WEST AND EAST ELEVATIONS

Sheet no.

HA009

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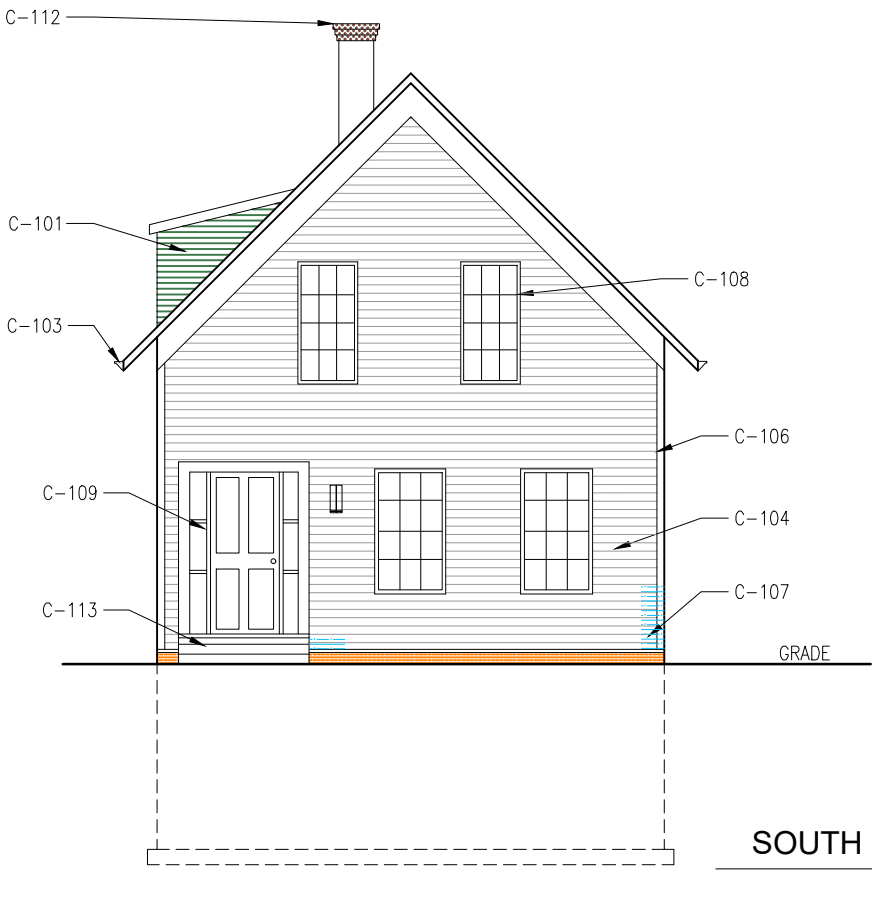
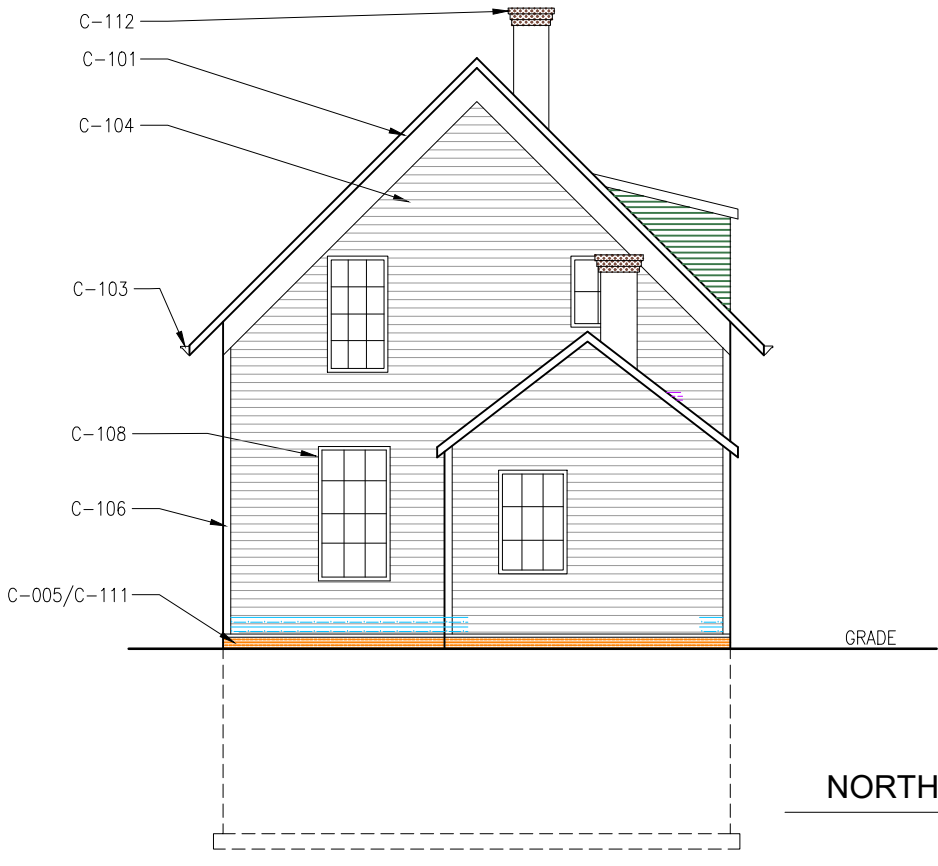
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Project

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For DG GROUP

Project no. 13-106

Scale at 11x17 1 : 100

Drawn by JQ

Reviewed by JQ

Drawing title

PROPOSED SOUTH AND NORTH ELEVATIONS

Sheet no.

HA010

# BASSINGTHWAITE HOUSE

## Conservation Plan

10244 BATHURST STREET, VAUGHAN

September 11, 2019



ERA

**PREPARED FOR:**

Longyard Properties, Inc.  
30 Floral Parkway, Suite 300  
Concord, ON, L4K 4R1

**PREPARED BY:**

ERA Architects Inc.  
625 Church Street, Suite 600  
Toronto, Ontario M4Y 2G1  
416-963-4497

Issued: September 11, 2019

Project #	13-106
Prepared by	PE/JQ/AC/ZC/EJ/EC/NP

Cover Image: ERA, 2019

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1.2 Heritage Recognition	
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3.5 Heritage Contractor Requirements	
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Looking southwest to Bassingthwaite House (ERA, 2019).

# EXECUTIVE SUMMARY

This Conservation Plan has been prepared to identify and describe the scope of work required to conserve the cultural heritage value of the property at 10244 Bathurst Street, known as the Bassingthwaite House.

The Bassingthwaite House is a two-storey structure built in 1860. The house is located on a larger development site, known as the Longyard Subdivision (the “Development Site”), where it has been integrated into the lotting fabric on Lot 35 along Keatley Drive.

The Bassingthwaite House is listed on the City of Vaughan’s Built Heritage Inventory as a building of architectural and historical value.

## Proposed Relocation

The current proposal is to relocate Bassingthwaite House to 10090 Bathurst Street (the “Proposed Site”) (refer to proposed relocation plan on page v). The proposed relocation would situate Bassingthwaite House adjacent to Munshaw House along Bathurst Street on an existing residential lot enveloped by a naturalized open space.

## Proposed Conservation Scope

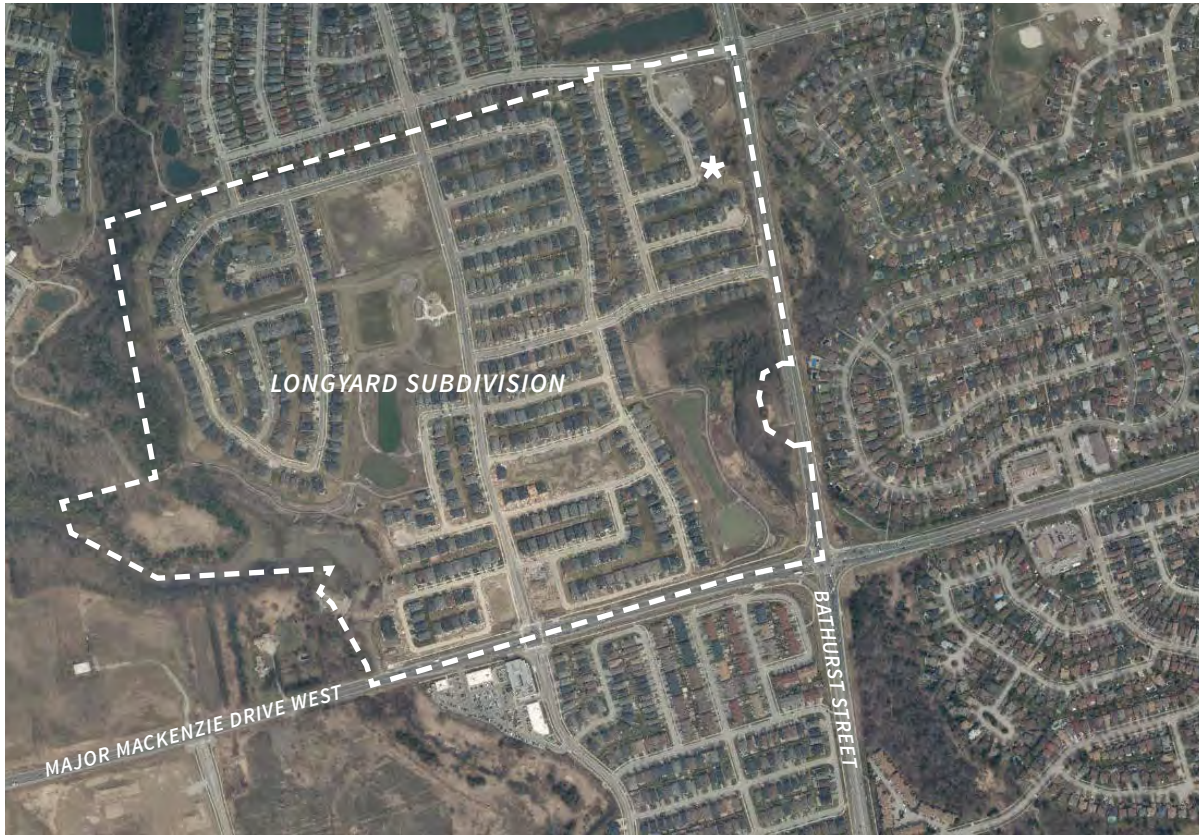
The proposed conservation strategy includes stabilization and relocation. The conservation scope of work includes:

- Stabilizing the structure for relocation;
- Removing later additions to the building post original construction in 1860;
- Salvaging stone from and demolishing the smoke house structure and basement; and
- Relocating the existing original two-storey masonry building atop a foundation on an existing residential lot enveloped by a naturalized open space.

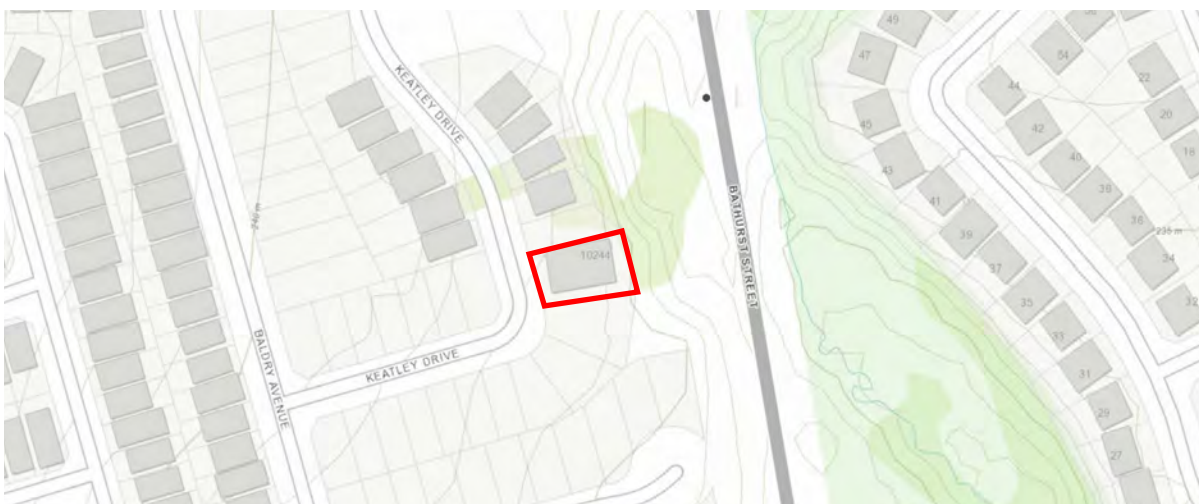
Exterior conservation work to ensure the house is presentable and appears occupiable for future reuse will be undertaken as a part of a future scope.

This Conservation Plan provides detailed drawings for the proposed conservation work along with cost estimates, under separate cover, to establish a letter of credit amount to secure the scope of work.

Overall, the proposed conservation strategy will conserve the cultural heritage value of the Site and prepare it for future reuse. In the interim, following relocation and prior to final programming, the Bassingthwaite House will be utilized as a residence. Future conservation works to rehabilitate the building for reuse are to be determined and may incorporate conservation of the interior wood trim.



Aerial photograph showing the Longyard Subdivision outlined in dashed white and the Bassingthwaite House starred in white (York Region, 2018. Annotated by ERA, 2019).



City of Vaughan zoning map showing the location of the Bassingthwaite House outlined in red (City of Vaughan, 2019. Annotated by ERA, 2019).





# 1 INTRODUCTION

## 1.1 Scope of the Report

ERA Architects Inc. (ERA) was retained by Longyard Properties, Inc. as the heritage consultant for the redevelopment of the Site.

The purpose of this Conservation Plan is to clarify and describe the scope of work required to relocate the Bassingthwaite House conserve its cultural heritage value and heritage attributes, and allow for its future reuse in accordance with the City's requirements for Subdivision File 19T-13VO11. A supplemental Heritage Permit will be required for future work.

The proposed conservation strategy was developed with reference to *Parks Canada's Standards and Guidelines for the Conservation of Historic Places* and the Ministry of Culture's Ontario Heritage Tool Kit.

### Site Location & Description

The Development Site is located north west of the intersection of Bathurst Street and Major Mackenzie Drive, on part of Lots 21 and 22, Concession 2, in the City of Vaughan.

The Bassingthwaite House at 10244 Bathurst Street sits on the west side of Bathurst Street, roughly 850 metres north of Major Mackenzie Drive West. The house is presently located at its original location, which has been integrated into the lotting fabric of the Longyard Subdivision on lot 35 along Keatley Drive.

## 1.2 Heritage Recognition

The Bassingthwaite House at 10244 Bathurst Street is listed on the City of Vaughan's Built Heritage Inventory (the "Inventory") as a building with architectural and historical value. The Inventory describes the Bassingthwaite House as being constructed in 1860 in a Georgian architectural style.

## 2 ASSESSMENT OF EXISTING CONDITION

ERA performed a visual inspection of the property on July 25, 2019. All inspections were carried out from grade. Inspections were limited to visible exterior envelope features such as the masonry, woodwork, windows and doors, flashings and rainwater management systems (gutters and downspouts). The interior inspection was carried out from the second floor to the cellar (basement). No close up “hands on” inspections were carried out using scaffolding or a lift, and the roof areas on all the buildings were not accessible at the time of the inspection.

Overall, the Bassingthwaite House is in fair to poor condition with areas in defective condition.

### **DEFINITION OF TERMS**

*The building components were graded using the following assessment system:*

**Excellent:** *Superior aging performance. Functioning as intended; no deterioration observed.*

**Good:** *Normal Result. Functioning as intended; normal deterioration observed; no maintenance anticipated within the next five years.*

**Fair:** *Functioning as intended. Normal deterioration and minor distress observed; maintenance will be required within the next three to five years to maintain functionality.*

**Poor:** *Not functioning as intended; significant deterioration and distress observed; maintenance and some repair required within the next year to restore functionality.*

**Defective:** *Not functioning as intended; significant deterioration and major distress observed, possible damage to support structure; may present a risk; must be dealt with immediately.*

## 2.1 Exterior

### Brick Masonry

The brick elevations have been painted in a beige colour and appear to be in fair to poor condition with areas of paint flaking, mortar loss, brick deterioration, brick delamination, environmental staining and obsolete metal fasteners. There also appear to be mortar cracks above window and door lintels, below window sills and at the base of the structure.

### Openings

All the window and door openings have been boarded up with plywood on the exterior except the basement windows, therefore the windows were reviewed only from the interior. The wood windows in the original Bassingthwaite House appears to be historic and in fair condition. The remainder of the windows at the one- and two-storey later additions are vinyl windows and appear to be in fair to poor condition. The main wood door and wood surround appears to be in fair condition with areas of paint flaking.

### Exterior Wood

The exterior wood elements have been painted in white and appear to be in fair to poor condition. The wood sills at the original Bassingthwaite House appear to be in fair condition with some areas of paint flaking, except for one sill on the ground floor south elevation which appears to be in poor condition showing signs of wood deterioration and paint flaking.

The main and side wood porches appear to be in fair condition with areas of paint flaking and some wood deterioration at the base of the columns.

The wood siding on the one-storey addition appears to be in fair to poor condition with areas of paint flaking, and damaged and deteriorated wood.



East elevation - main entry (photo by ERA Architects, 2019).



East elevation, including smoke house (ERA, 2019).



View of southeast elevation. The 1980s addition is seen on the left (ERA, 2019).

The wood soffits, facias and eaves appear to be in fair to poor condition with some areas of paint flaking and peeling, wood rot, deterioration and delamination.

The remaining wood window shutters appear to be in fair condition with areas of paint flaking. The north elevation has all the window shutters installed, the south elevation is missing one window shutter, and the east elevation is missing three window shutters with one uninstalled and in defective condition.

### Roof, Flashing and Rain Management System

Generally, the roof, flashing and asphalt shingles are in fair condition except for a defective area in the north west side of the two-storey house where there is a three-foot by four-foot hole in the roof which exposes the interior to the elements. This hole should be repaired as soon as possible so that further deterioration to the roof and interior structure can be avoided.

The rain management system is in fair to poor condition with damaged and warped areas on the main porch and one-storey building eavestroughs, missing downspouts and downspout diverters.

## 2.2 Interior

Generally, the basement interior appears to be in fair condition. The majority of the exterior walls are covered in drywall except the north wall which shows the exposed stone rubble foundation. The stone foundation wall (west wall of original footprint of the Basingthwaite House) is exposed and appears to be in fair condition. A multi-wythe interior brick wall spanning east to west in the original footprint of the Basingthwaite House appears to be in fair condition. A section of wood floor joists and wood floor boards are exposed in the north side of the original Basingthwaite House footprint and appears to be in fair condition.



North elevation (ERA, 2019).



Detail of shutter, sills and soffit on south elevation (ERA, 2019).



Detail of roof (ERA, 2019).

Generally, the ground floor interior appears to be in fair condition with an isolated area of poor condition in the north west side of the two-storey house below the hole in the roof where there appears to be mould and water damage in the ceiling and wall. The original Bassingthwaite House interior appears to retain its original wood flooring, wood door and window trim, baseboards, wainscoting and ceiling trim, which appears to be in fair condition. The walls in the original Bassingthwaite House interior appear to be in fair condition with areas of paint flaking and peeling. The later addition interior walls are covered in drywall and tile (in the kitchen), which appears to be in fair condition.

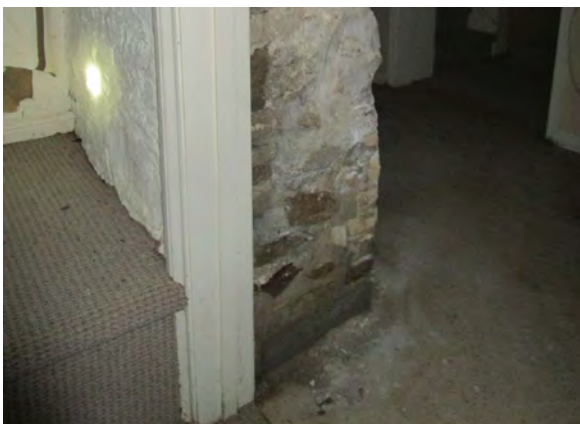


Ground floor interior (ERA, 2019).

Generally, the second floor interior appears to be in fair condition with areas of paint flaking and peeling from the walls and an interior door. There appears to be a defective area in the north west side of the two-storey house where there is a three-foot by four-foot hole in the roof, which exposes the interior to the elements, damaging the ceiling, walls and floor in that area. This hole should be repaired as soon as possible so that further deterioration to the interior elements can be avoided.



Ground floor interior depicting mould and water damage on wall and ceiling (ERA, 2019).



Basement interior (ERA, 2019).

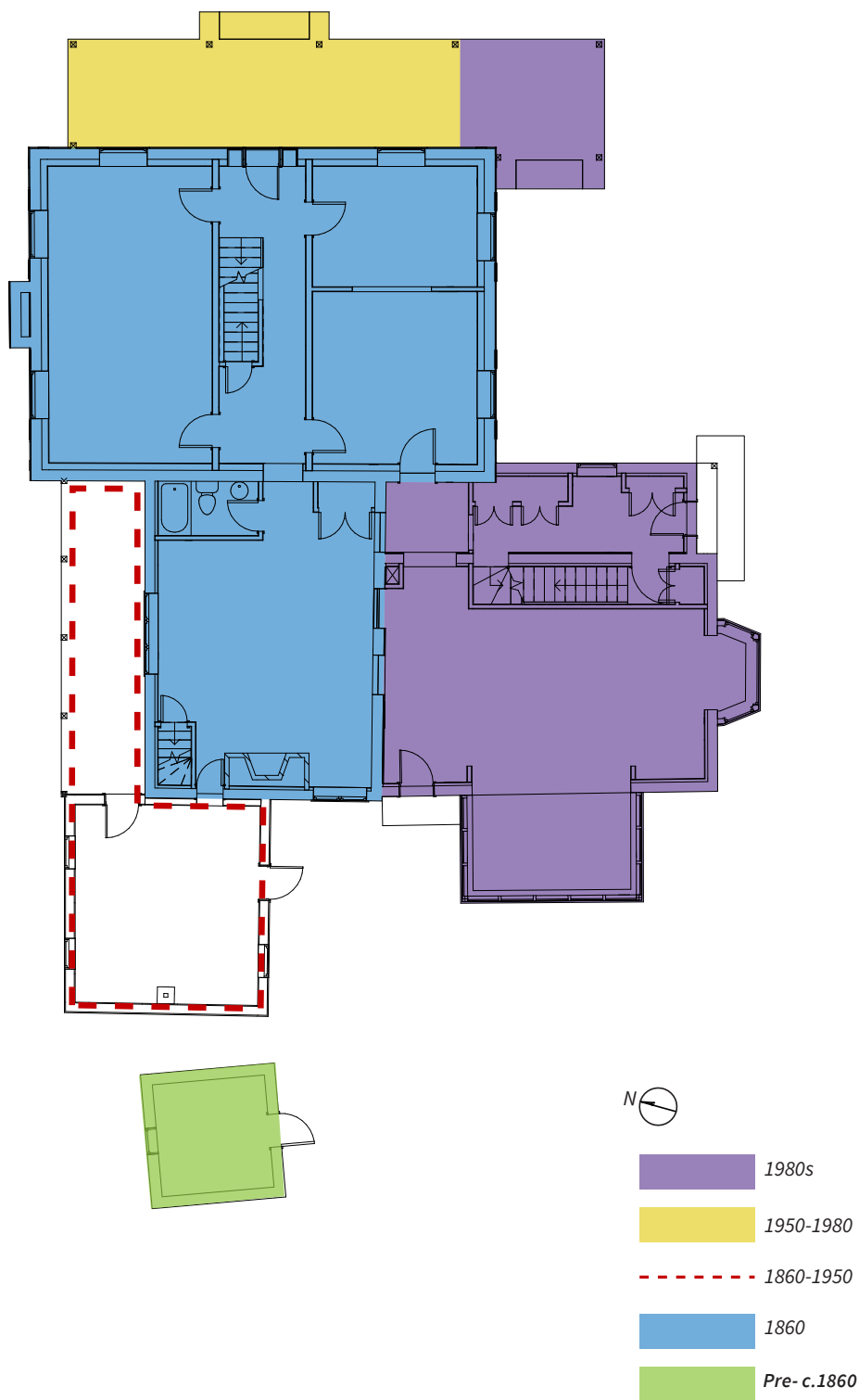


Second floor interior depicting defective roofing area (ERA, 2019).

The one-storey stone smoke house appears to be in defective condition. The south and west stone walls have multiple vertical cracks along the entire wall and the north elevation has mortar loss on the majority of the wall. The roof is in defective condition with rotted roof rafters, roof boards and shingles exposing the interior to the elements.



One-storey smokehouse (ERA, 2019).



Building evolution diagram from Bassingthwaite House (ERA, 2019).

## 3 CONSERVATION STRATEGY

### 3.1 Conservation Approach

The proposed conservation approach for the Bassingthwaite House is stabilization and relocation. Once relocated, the house will be used as a residence in the interim while a future programming is confirmed.

The house is proposed to be relocated adjacent to another heritage resource, the Munshaw House, along Bathurst Street on an existing residential lot enveloped by naturalized open space (refer to the figures provided on the following pages). The Proposed Site is located adjacent to the southeast extents of the Longyard Subdivision. The Bassingthwaite House's historic relationship to Bathurst Street will be maintained, and its contextual setting amongst naturalized and open spaces will be restored.

Exterior conservation work is outside of the current project scope; however, the 'Conservation Notes' (C-100 through C-408) provided within this report describe the work to be undertaken in future.

### 3.2 General Conservation Scope

The proposed conservation scope aims to stabilize the Bassingthwaite House, and make the dwelling look presentable and occupiable. This scope will retain the two-storey original house, while protecting its existing heritage attributes. The conservation scope of work is as follows:

- Stabilization of the structure for relocation; and
- Relocation of the original two-storey Bassingthwaite House.

Exterior conservation works will be undertaken in future to accommodate adaptive reuse of the house, as discussed in Section 3.3 of this report.

**Rehabilitation:** *the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.*

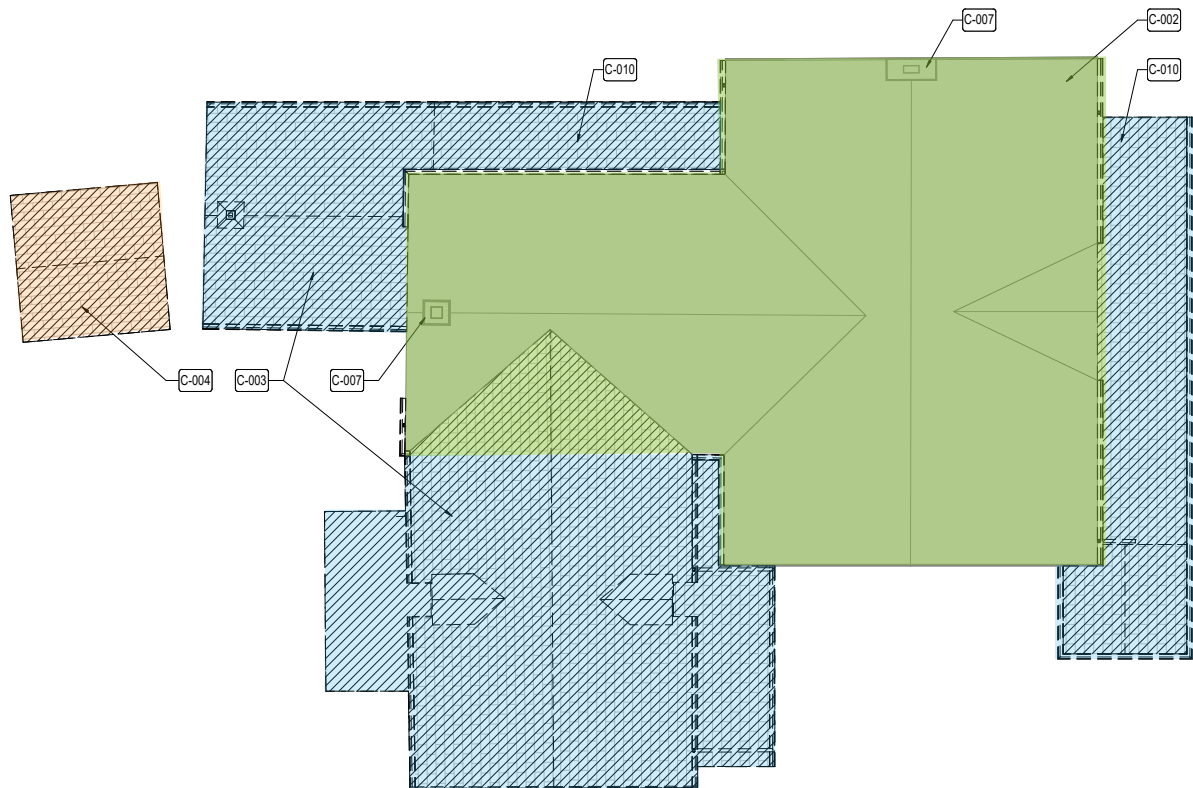
**Restoration:** *the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.*

**Preservation:** *the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.*

*Source: Standards and Guidelines for the Conservation of Historic Places in Canada (2010).*

Prior to relocation, stabilization measures will be taken, which include protecting all windows, doors and chimneys to ensure they are not damaged during relocation. Additionally, removal of later additions to the house (post-1860) and the smoke house are proposed. Stone from the smoke house and the original basement foundation will be salvaged. The smoke house structure will be thoroughly documented before removal.

The proposed relocation would situate the Bassingthwaite House



**LEGEND**

- Retain
- Demolish
- Salvage Stone & Demolish

Proposed retention and demolition plan showing building fabric to be retained, removed and salvaged prior to relocation (ERA, 2019).

along Bathurst Street on an existing residential lot enveloped by naturalized open space. Another heritage resource, the Munshaw House is proposed to be located adjacent to the Bassingthwaite House. Both houses are to be situated within the staked top of bank and dripline limits established by the TRCA. Bassingthwaite House will be situated in a manner that creates a side drive approach to the houses that is in keeping with how it would have been encountered in its historic context.

The proposed setting will provide a more appropriate context and scale for the heritage resources. The Proposed Site's context includes naturalized areas and landscaped open green spaces, and a tree line buffer between the adjacent roadway. Its location along Bathurst Street affords a visual prominence that the dwellings are presently lacking in their current locations within the Longyard Subdivision.

The following methodology for relocating Bassingthwaite House was provided by Danco House Raising and Moving:

- Cut 2 inches in to the brickline where the house will be removed from its old foundation;
- Install 2-1/2 foot angle iron around the perimeter of the house;
- Cut 4 holes for the 2 main beams (in old foundation);
- Cut holes every 4 inches in the foundation in order to install crosser beams on top of the main beams;
- Shim up all floor joists and support beams off crosser beams;
- Pressure up the grid of steel to 50% of the weight of the house;
- Pressure up each one of the crosser beams off of the main beams to the load each crosser beam will support (preload crossers);
- Raise house off of old foundation;
- Set rollers up on cribs and roll house off of old foundation;
- Set house on firm ground and remove pressures off the jacks, calculating where each hydraulic dolly will be placed under the 2 main beams; and
- Set house on power dollies to be moved to Proposed Site.



The following site photographs depict the Proposed Site.



Looking northwest toward the Proposed Site from Bathurst Street (ERA, 2019).

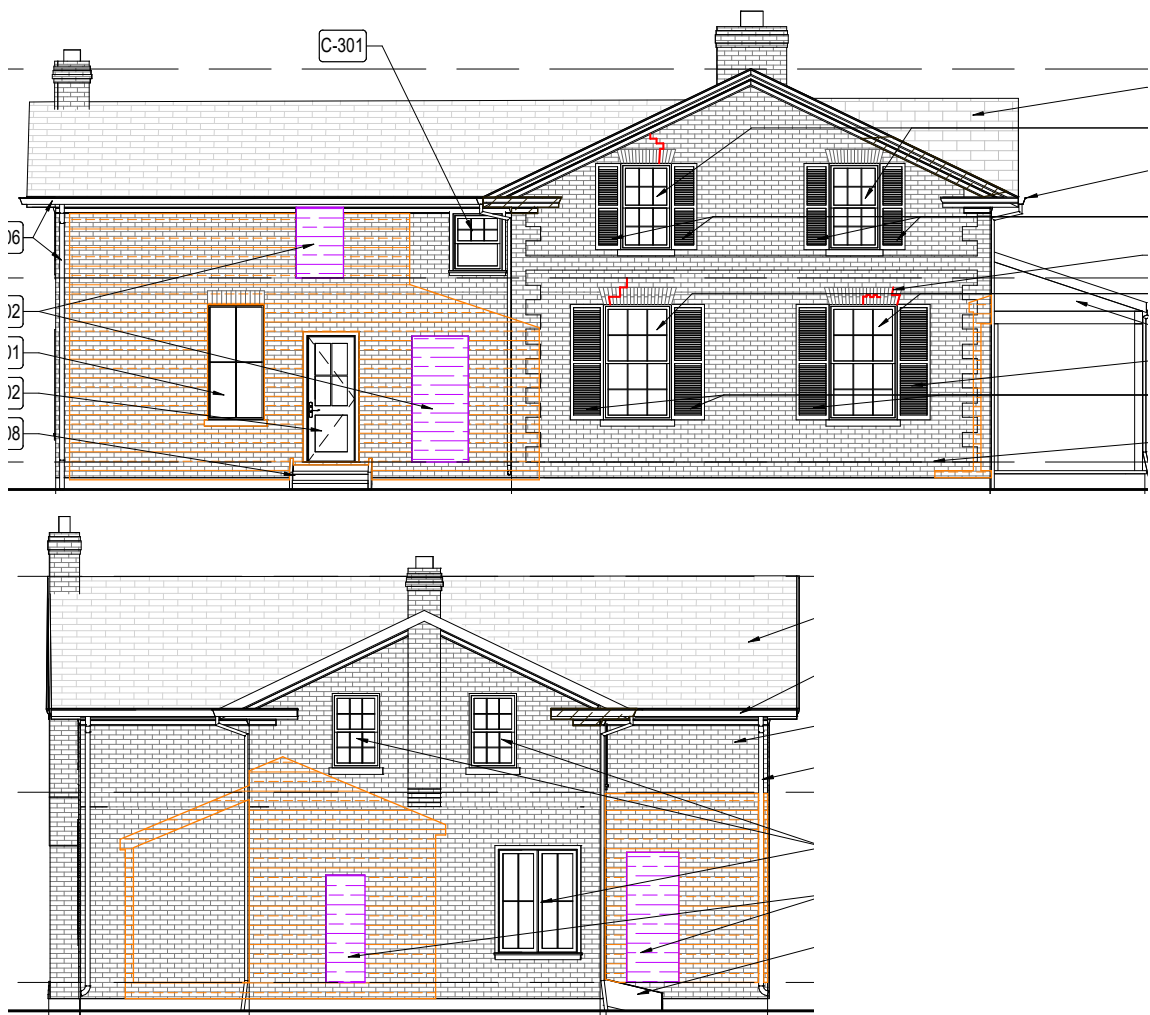


Existing vegetation on the Proposed Site (ERA, 2019).






Looking east along the existing driveway entry to the Proposed Site showing residential properties on the east side of Bathurst Street (ERA, 2019).

Upon relocation, the house will be utilized as a residence in the interim, until such a time when the final use is determined. Future exterior conservation works will be executed as a part of a later scope to ensure the Basingthwaite House appears presentable and occupiable.



**LEGEND**

-  New Brickwork to Match Existing
-  Repair Brickwork
-  Repair Crack in Brickwork

Proposed masonry restoration on the west (top) and south (bottom) elevations (ERA, 2019).

Refer to Section 3.4.1 for full conservation notes and to the appended drawing set (ERA, 2019).

### 3.3 Future Reuse

In future, further exterior and interior conservation work will be undertaken to rehabilitate Bassingthwaite House to accommodate new uses, including repair and upgrade of the heritage resource, and adaptive reuse. As a part of future rehabilitation, consideration can be given to retaining the existing interior wood trim and providing a porch on the south elevation. Rehabilitation and use-dependent work cannot commence until a new use is confirmed, and proposed work is approved by the City of Vaughan.

The proposed use for the Bassingthwaite House and Munshaw House upon relocation is a residence with an accessory structure, respectively. The ultimate use for Bassingthwaite House will be confirmed in consultation with the future owner(s)/user(s) of the Proposed Site. On confirmation, a proposal for rehabilitation will need to be developed and submitted to the City of Vaughan. This proposal will provide greater detail regarding any required alterations or additions to the heritage resources, as well as site landscaping to create a buffer between the house and adjacent roadways. Heritage Permits and other planning permissions will be required for any further work.

## 3.4 Detailed Conservation Scope

### 3.4.1 Conservation Notes

The following conservation notes correspond with the conservation drawings attached as Appendix II. Notes C-100 to C-408 detail future exterior conservation work.

#### **C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION**

C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.

C-002: RETAIN ORIGINAL c. 1860 Bassingthwaite House FOOTPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.

C-003: DEMOLISH EXISTING c. 1984 Bassingthwaite House 2 STOREY AND 1 STOREY ADDITION.

C-004: SALVAGE STONE FROM EXISTING 1-STOREY SMOKEHOUSE STRUCTURE AND DEMOLISH REMAINING BUILDING.

C-005: STABILIZE EXISTING FRAMING OF BASSINGTHWAITE BEFORE RELOCATION.

C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.

C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.

C-009: SALVAGE BRICKS FROM ORIGINAL c. 1860 Bassingthwaite House FOUNDATION FOR REUSE AND DEMOLISH REMAINING BASEMENT.

C-010: DEMOLISH EXISTING PORCHES.

C-011: DEMOLISH AND INFILL EXISTING BASEMENT.

C-012: ENSURE NEW SITE GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.

C-013: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION. USE SALVAGED STONE FROM SMOKEHOUSE TO CLAD NEW FOUNDATION WALL.

#### **C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)**

C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.

C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.

C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

#### **C-200 MASONRY**

C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.

C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.

C-203: REPAIR CRACKS IN BRICKWORK.

C-204: RESET MASONRY.

C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED

C-206: CONSTRUCT NEW DOOR OPENING IN EXISTING OPENING.

C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISTING OPENING.

#### **C-300 WINDOWS AND DOORS**

C-301: PROVIDE NEW WOOD WINDOWS (TYP)

C-302: PROVIDE NEW WOOD DOORS (TYP)

C-303: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE.

C-304: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES AS REQUIRED (TYP.)

#### **C-400 WOOD, ROOF AND METAL WORK**

C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DETERMINED), ROOF INSULATION, ROOF VENTS AND NEW FLASHINGS.

C-402: REPAIR EXTERIOR WOOD.

C-403: PREPARE, PRIME AND PAINT ALL EXTERIOR WOOD (TYP).

C-404: REPAIR, PRIME AND PAINT EXISTING WOOD SHUTTERS.

C-405: FABRICATE NEW WOOD SHUTTERS TO MATCH EXISTING.

C-406: PROVIDE NEW METAL GUTTERS, DOWNSPOUTS AND SPLASH PADS.

C-407: CONSTRUCT NEW MAIN PORCH.

C-408: CONSTRUCT NEW STAIR.

### 3.5 Heritage Contractor Requirements

The work described in this Conservation Plan will be executed by a specialist subcontractor with a minimum of 5 years experience working with heritage structures. The work will be reviewed on site by ERA Architects for general conformance with heritage guidelines and best practices.

### 3.6 Heritage Easement Agreement

The owner agrees to enter into a Heritage Easement Agreement (HEA) with the City of Vaughan to be registered on property title. For the purposes of the HEA, the Bassingthwaite House will be documented by a professional photographer to the satisfaction of the City.

### 3.7 Interpretation, Lighting and Signage Plan

If required, an interpretation, lighting and signage plan will be prepared for submission to the City of Vaughan.

## 4 COST ESTIMATE

A Letter of Credit to secure the dollar value of conservation work of the heritage elements identified in this Conservation Plan will be provided under separate cover.

## 5 SCHEDULE OF CONSERVATION WORK

### 5.1 Maintenance Plan

As part of the program of work contained within this Conservation Plan, many improvements are proposed. With respect to ongoing maintenance, regular inspections are recommended within the following time frames:

#### *Yearly*

- Inspect the envelope of the building for damage due to weather events, disturbance by animals, vandalism and damage due to human occupancy that may compromise its condition if left unrepaired.

#### *Every 5 Years*

- Complete an updated condition assessment of the building and exterior envelope to evaluate the performance of the masonry, sealants, windows and doors, flashings, roofing and adjacent grade condition.

In addition to repairs made following these inspections the following life-cycle inspections and replacements are recommended:

#### *Every 10-15 Years*

- Renewal of caulking, inspection of window hardware and weather-stripping.

#### *Every 25-30 Years*

- Replacement of roofing membrane and flashings.

#### *Ongoing*

- Selective repointing of deteriorated mortar joints.

## 6 CONCLUSION

The proposed conservation plan for the Bassingthwaite House appropriately conserves the heritage value of the property by maintaining the heritage resources' historic relationship to Bathurst Street, and restoring its contextual setting among naturalized and open spaces.

Future exterior conservation works proposed for the Bassingthwaite House will ensure that the property appears presentable and occupiable, and retains its cultural heritage value for future reuse. Future reuse is market-dependent and to be determined. In the interim, before the Bassingthwaite house is programmed, is to be utilized as a residence. Future alterations and or additions to accommodate reuse will be designed to be sympathetic to the original structure and may seek to conserve interior elements such as wood trim.

## 7 APPENDICES

### APPENDIX I: PROJECT PERSONNEL

#### Philip Evans

Philip Evans is a principal of ERA Architects and the founder of small. In the course of his fourteen-year career, he has led a range of conservation, adaptive reuse, design, and feasibility planning projects. Philip is a professional member of CAHP.

#### Janice Quieta

Janice Quieta is an associate with the heritage architecture team at ERA Architects. She received her Master of Architecture degree from Dalhousie University after completing a Bachelor of Architectural Science degree at Ryerson University. Her graduate thesis examined the feasibility of retrofitting post-war residential towers Toronto's St. Jamestown using a socially and ecologically sustainable program. She has studied and worked in Toronto, Halifax, Dusseldorf and Koln, and participated in a number of national and international design competitions in Canada and Germany.

#### Amy Calder

Amy Calder is a project manager and heritage planner with ERA Architects. She holds a Master of Arts (Planning) from the University of Waterloo, a Bachelor of Arts (Studio Arts & Art History) from the University of Guelph, and a Certificate in Digital Graphic Design from Humber College. Amy is a strong advocate for collaboration, partnerships, and meaningful engagement in the planning process. As a speaker and facilitator, she works to expand dialogue around how heritage and culture can contribute towards building resilient and inclusive communities across Canada.

#### Zoe Chapin

Zoe Chapin is a planner with ERA Architects. She received a Bachelor of Arts with majors in Political Science & Geography Urban Systems and a Masters of Urban Planning from McGill University.

## APPENDIX II: CONSERVATION DRAWINGS (ERA, 2019)



# BASSINGTHWAITE HOUSE CP

10244 BATHURST ST., VAUGHAN, ON

13-106

Issued For  
CONSERVATION PLAN

2019-09-11



## HERITAGE ARCHITECT

ERA Architects Inc.  
625 Church St, Suite 600, Toronto, Ontario, M4Y 2G1

### HERITAGE DRAWING LIST

HA000	CONSERVATION NOTES
HA001	SITE PLAN RELOCATION
HA002	SITE PLAN AT NEW LOCATION
HA100	BASEMENT PLAN - EXISTING
HA101	GROUND FLOOR PLAN - EXISTING
HA102	SECOND FLOOR PLAN - EXISTING
HA103	ROOF PLAN - EXISTING
HA104	SOUTH & NORTH ELEVATION - EXISTING
HA105	WEST & EAST ELEVATION - EXISTING
HA200	BASEMENT PLAN - DEMOLITION
HA201	GROUND FLOOR PLAN - DEMOLITION
HA202	SECOND FLOOR PLAN - DEMOLITION
HA203	ROOF PLAN - DEMOLITION
HA204	SOUTH & NORTH ELEVATION - DEMOLITION
HA205	WEST & EAST ELEVATION - DEMOLITION
HA300	BASEMENT PLAN - PROPOSED
HA301	GROUND FLOOR PLAN - PROPOSED
HA302	SECOND FLOOR PLAN - PROPOSED
HA303	ROOF PLAN - PROPOSED
HA304	SOUTH & NORTH ELEVATION - PROPOSED
HA305	WEST & EAST ELEVATION - PROPOSED

# CONSERVATION NOTES

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- C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.
- C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.
- C-104: REMOVE EXISTING PLYWOOD COVERING ON EXISTING RETAINED WINDOWS AND DOORS AND MAKE GOOD OPENINGS.

## C-200 MASONRY

- C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.
- C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.
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- C-408: CONSTRUCT NEW STAIR.

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NO.	DATE	REVISION / ISSUANCE
1	2019-08-21	CONSERVATION PLAN - DRAFT
2	2019-09-11	CONSERVATION PLAN

## NOT FOR CONSTRUCTION

### LEGEND



Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at	11x17
Drawn by	EJ
Reviewed by	JQ
Drawing title	CONSERVATION NOTES

Sheet no.

HA000

DRAFT PLAN 19T-03V13 REVISED APR. 14, 2010

DRAFT PLAN OF SUBDIVISION  
PART OF LOTS 21 & 22, CONCESSION 2  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK  
SCALE 1:1500

SECTION 51, PLANNING ACT,  
ADDITIONAL INFORMATION

- A. AS SHOWN ON DRAFT PLAN
- B. AS SHOWN ON DRAFT PLAN
- C. AS SHOWN ON DRAFT PLAN
- D. AS SHOWN ON DRAFT PLAN
- E. AS SHOWN ON DRAFT PLAN
- F. AS SHOWN ON DRAFT PLAN
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- X. AS SHOWN ON DRAFT PLAN
- Y. AS SHOWN ON DRAFT PLAN
- Z. AS SHOWN ON DRAFT PLAN

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LAND TO BE SUBDIVIDED ARE CORRECTLY SHOWN.

DATE: 2003

OWNER'S CERTIFICATE

I, THE UNDERSIGNED, DO HEREBY CERTIFY THAT THE DRAFT PLAN OF SUBDIVISION IS A TRUE AND CORRECT COPY OF THE DRAFT PLAN OF SUBDIVISION AS APPROVED BY THE CITY OF VAUGHAN.

OWNER: HELMHORST INVESTMENTS LTD.

C/O: 1000 SHEPPARD AVE. E. SUITE 1000

SCARBORO, ONTARIO

M1S 1T5

TEL: (416) 291-2228

FAX: (416) 291-2228

REG. NO. 123456

PROF. NO. 123456

DATE: 2003

DATE: 2003

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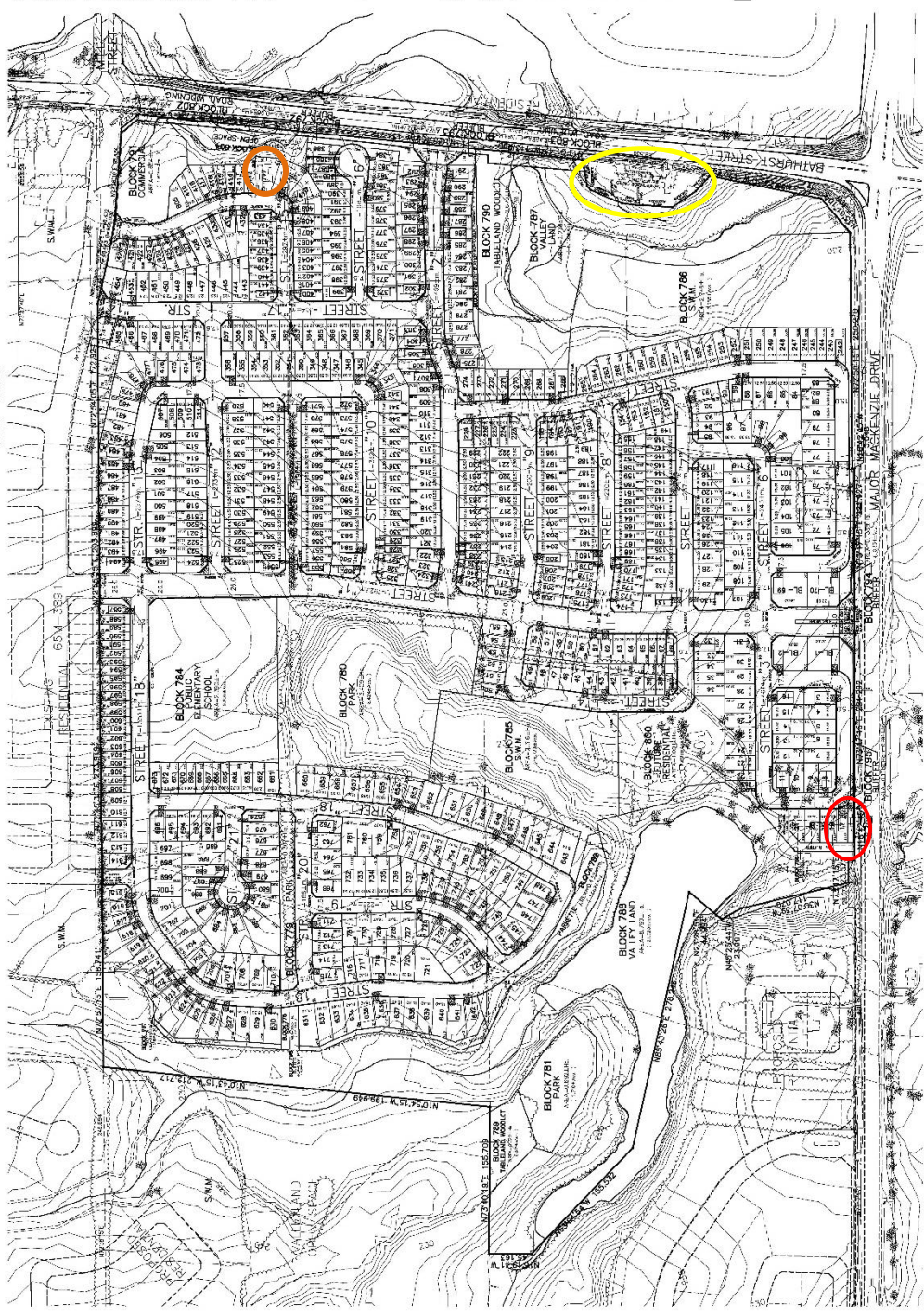
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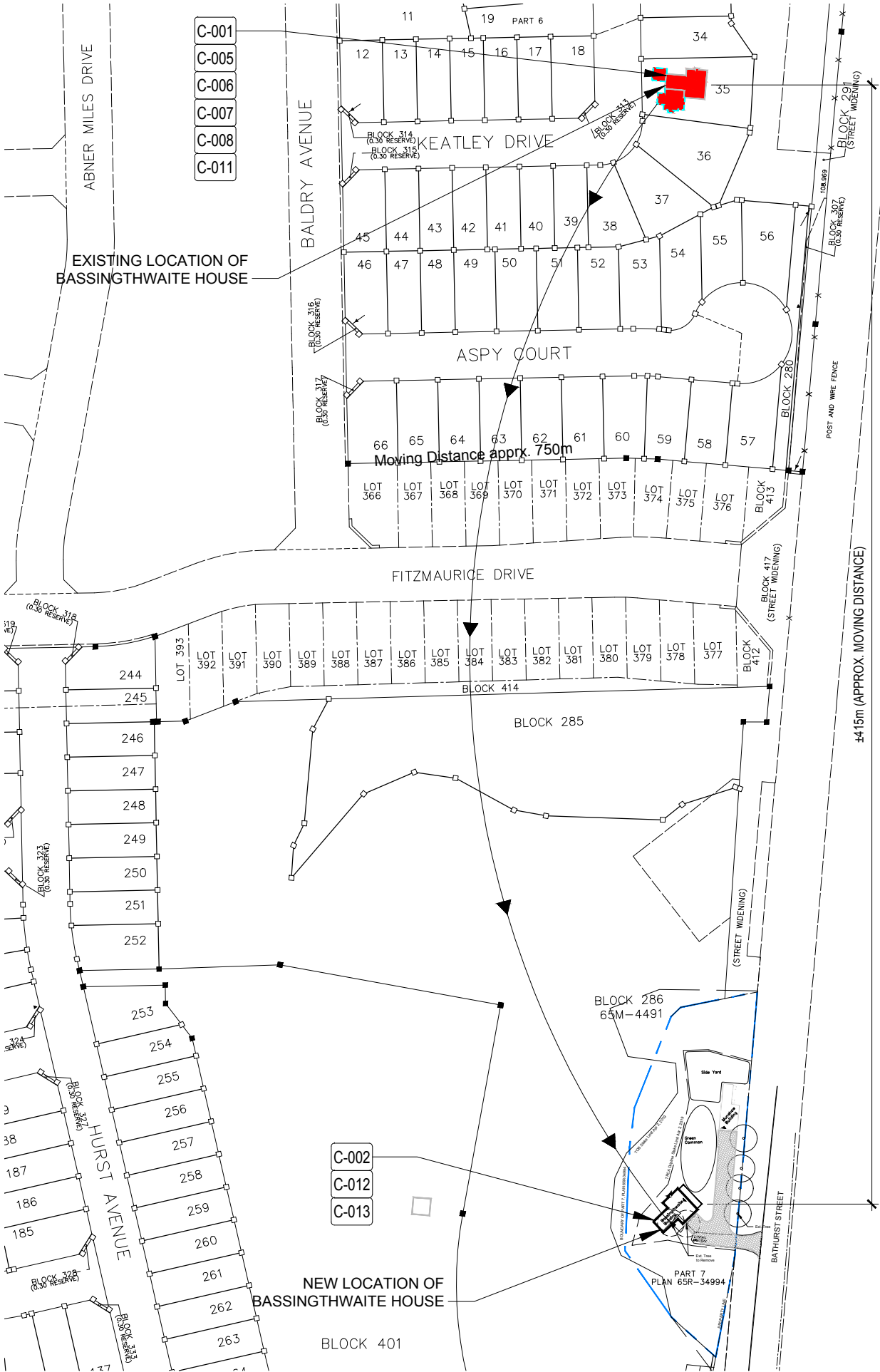
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DATE: 2003



- Red: 58 Fanning Mills Circle (George Munshaw)
- Orange: 39 Keatley Drive (Bassingthwaite)
- Yellow: 10090 Bathurst Street (Proposed Location)



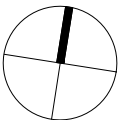
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NO.	DATE	REVISION / ISSUANCE
1	2019-08-21	CONSERVATION PLAN - DRAFT
2	2019-09-11	CONSERVATION PLAN

## NOT FOR CONSTRUCTION

### LEGEND

**E R A**  
info@eraarch.ca | www.eraarch.ca  
T 416.963.4497 | F 416.963.8761  
625 Church Street, Suite 600  
Toronto, ON, Canada, M4Y 2G1  
**E.R.A. Architects Inc.**

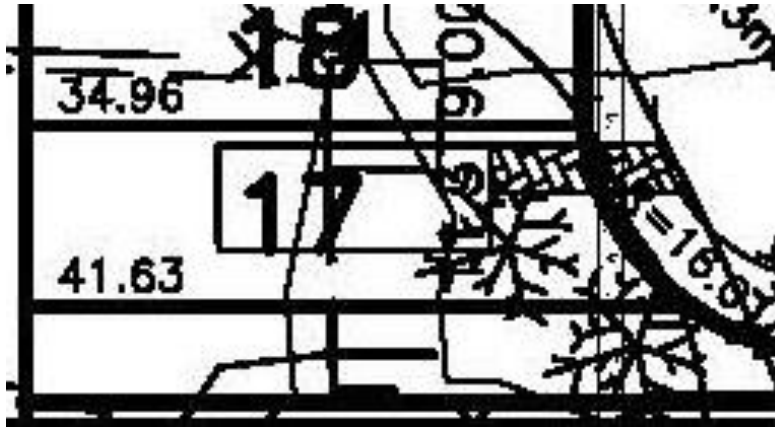


Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 2000
Drawn by	SC
Reviewed by	JQ
Drawing title	SITE PLAN RELOCATION

Sheet no.

HA001

58 Fanning Mills Circle (Excerpted from Draft Plan)

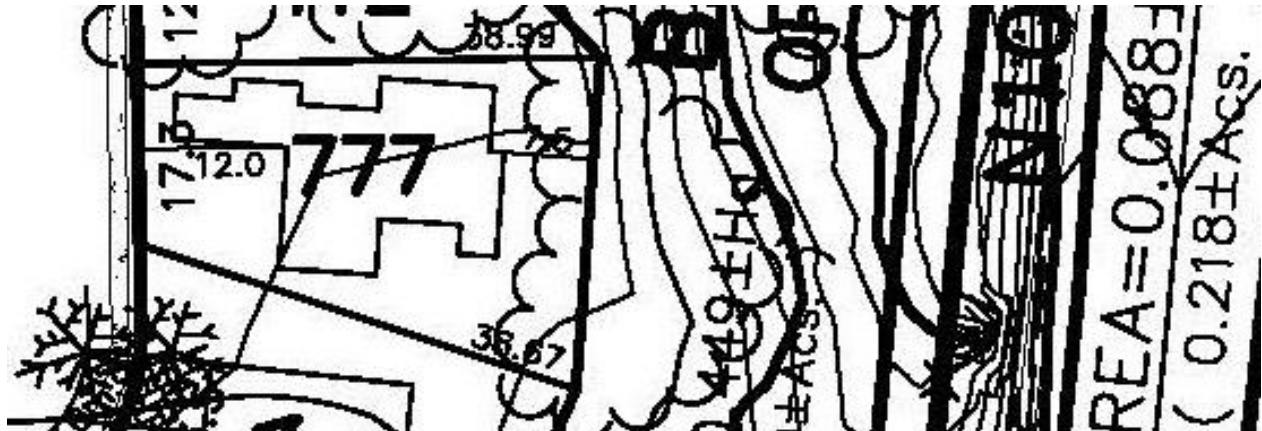


58 Fanning Mills Circle from Western  
Elevation (Fanning Mills Circle)



58 Fanning Mills Circle (2014) from  
Southern Elevation facing onto Major  
Mackenzie Drive West)

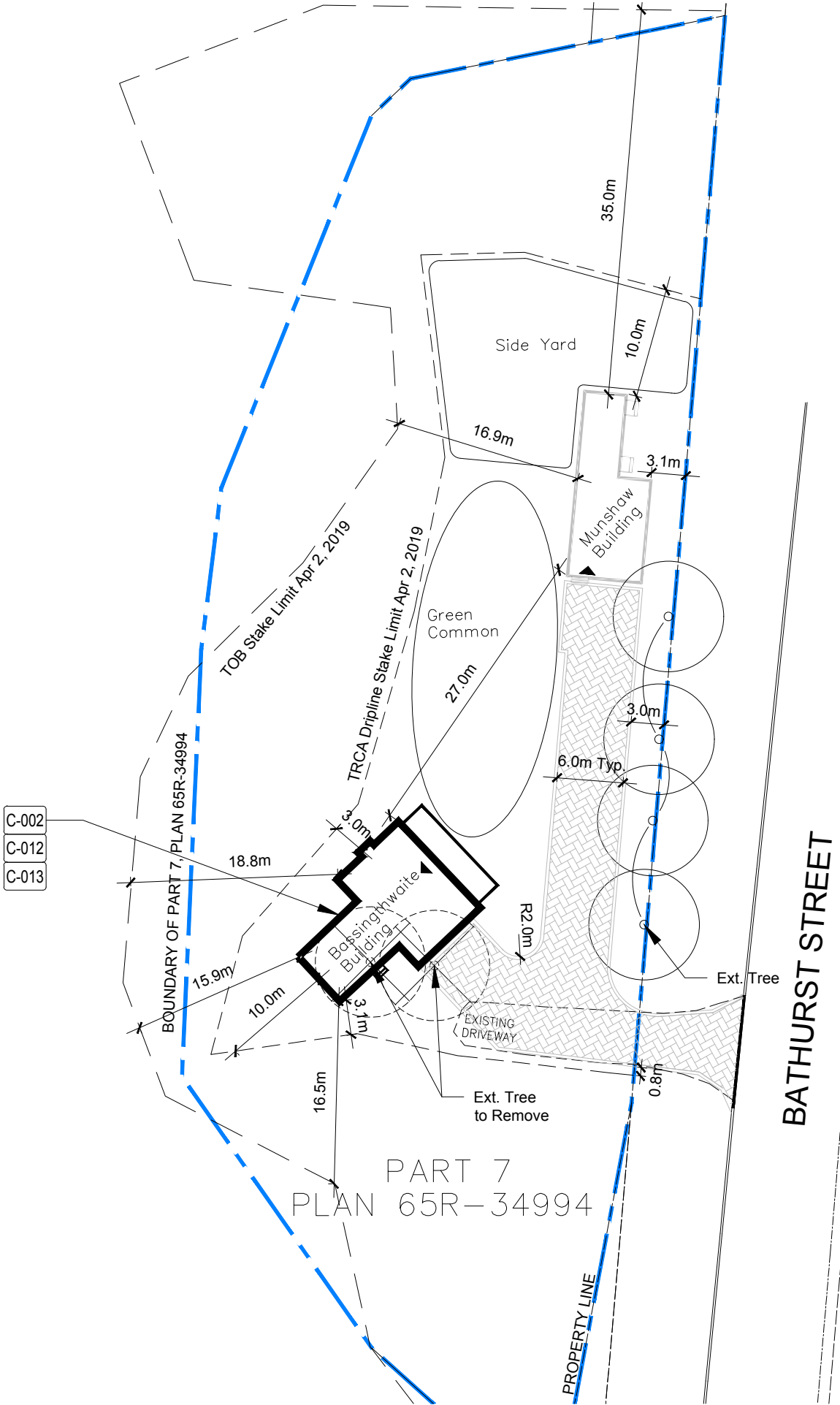
39 Keatley Drive (Excerpted from Draft Plan)



39 Keatley Drive from Eastern Elevation  
(Keatley Drive)



38 Keatley Drive (Western Elevation facing  
onto Bathurst Street)



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NO.	DATE	REVISION / ISSUANCE
1	2019-08-21	CONSERVATION PLAN - DRAFT
2	2019-09-11	CONSERVATION PLAN

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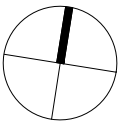
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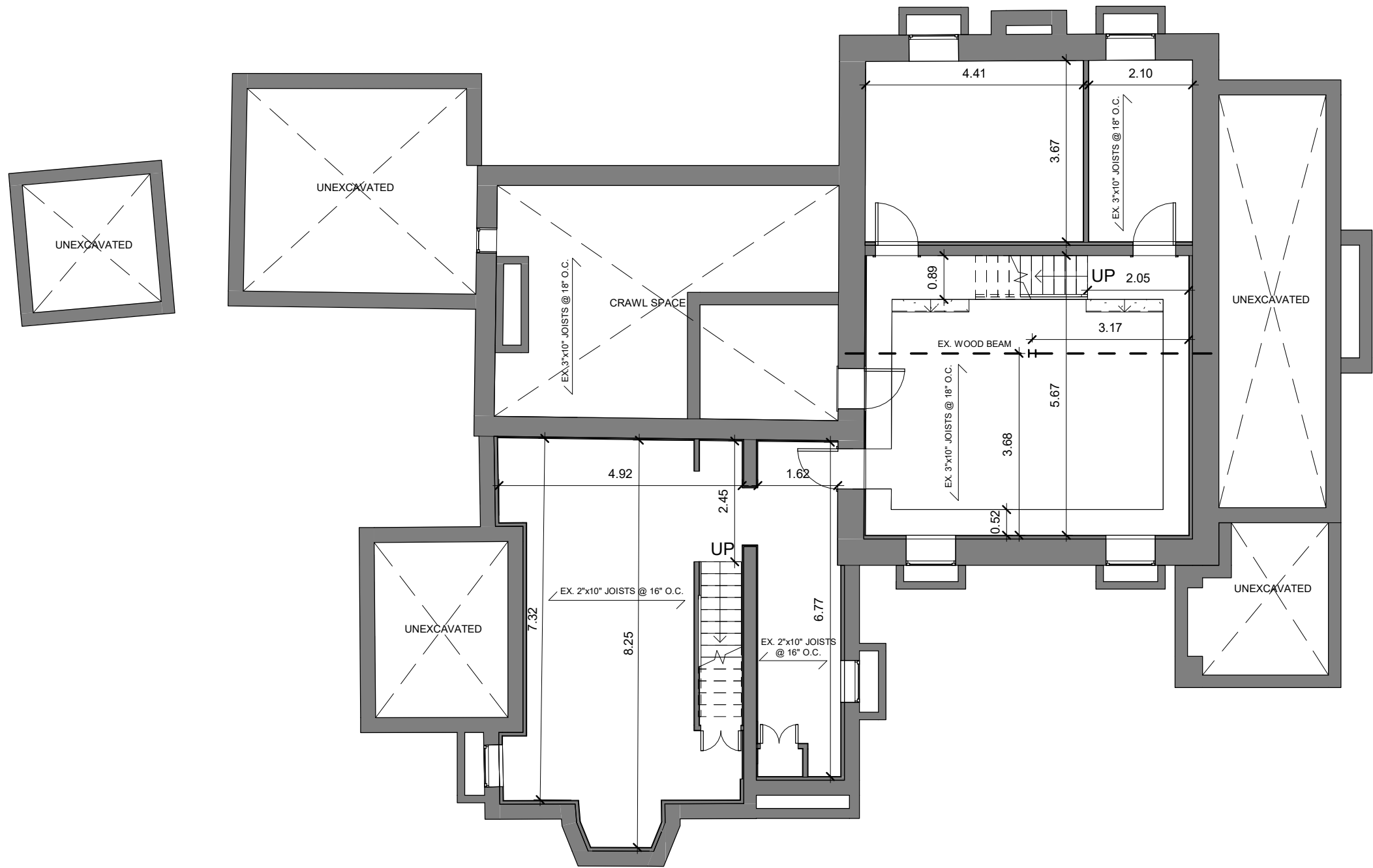
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Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 500
Drawn by	SC
Reviewed by	JQ
Drawing title	SITE PLAN AT NEW LOCATION

Sheet no. HA002

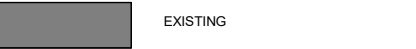


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2	2019-09-11	CONSERVATION PLAN

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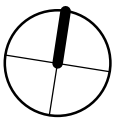
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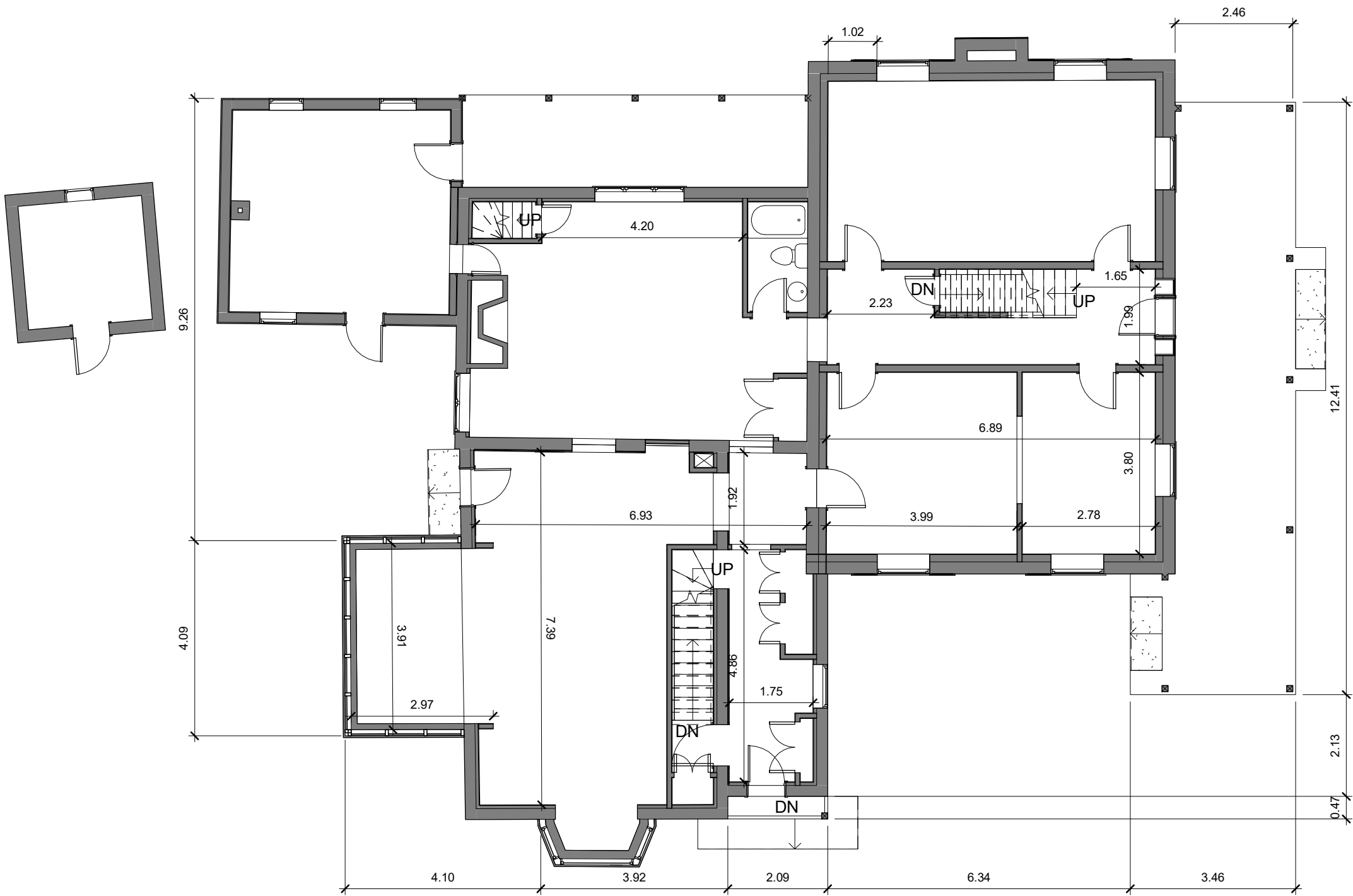
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Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	BASEMENT PLAN - EXISTING

Sheet no.

HA100



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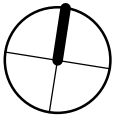
NO.	DATE	REVISION / ISSUANCE
1	2019-08-21	CONSERVATION PLAN - DRAFT
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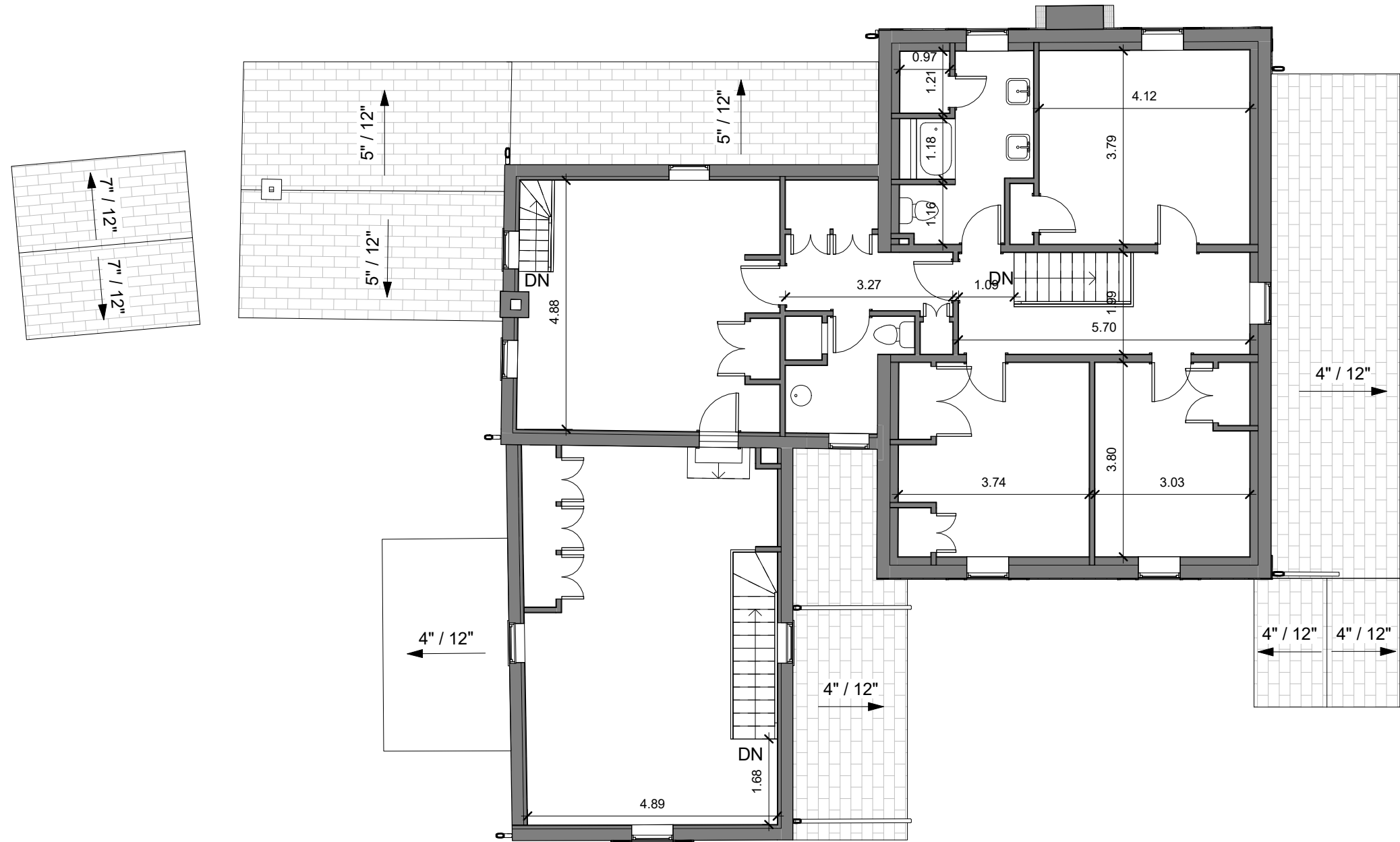


Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

### GROUND FLOOR PLAN - EXISTING

Sheet no.

HA101



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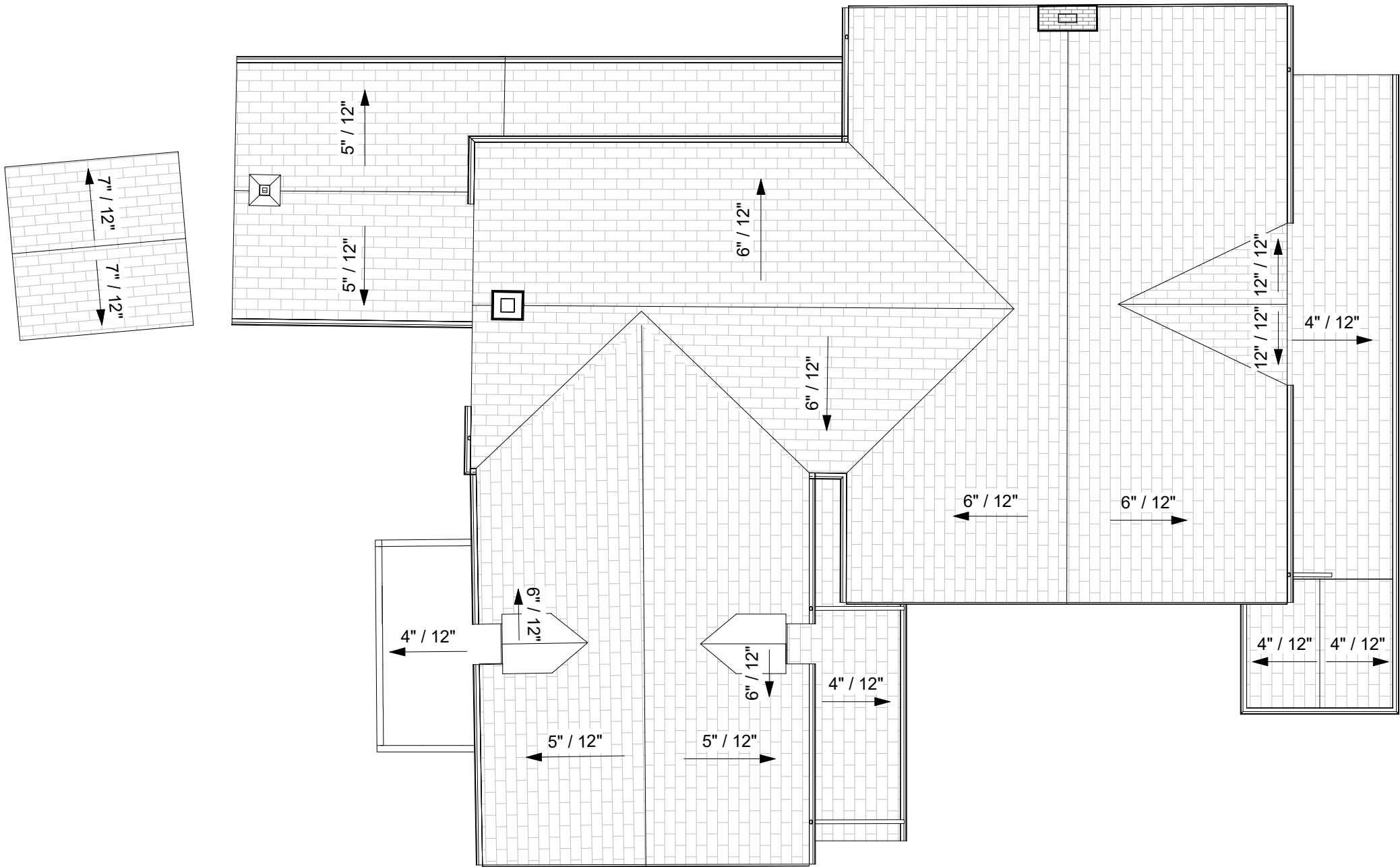


Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

SECOND FLOOR PLAN - EXISTING

Sheet no.

HA102



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LEGEND

EXISTING

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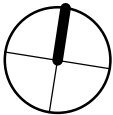
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Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	ROOF PLAN - EXISTING



NORTH ELEVATION - EXISTING

1 : 100

2

HA104



SOUTH ELEVATION - EXISTING

1 : 100

1

HA104

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Drawn by	EJ
Reviewed by	JQ
Drawing title	

SOUTH & NORTH ELEVATION - EXISTING

Sheet no.

HA104



EAST ELEVATION - EXISTING

1 : 100

2

HA105



WEST ELEVATION - EXISTING

1 : 100

1

HA105

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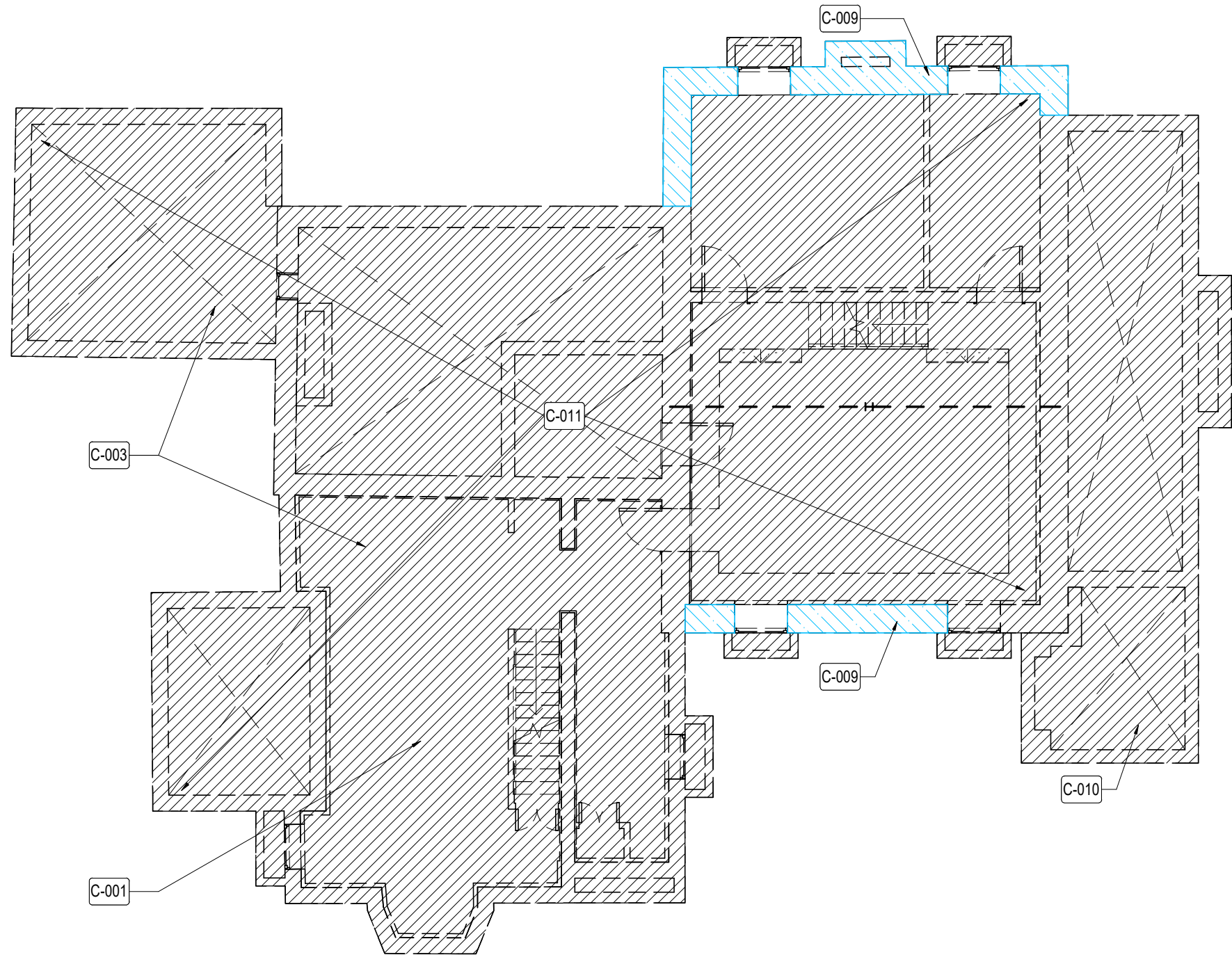
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Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

WEST & EAST ELEVATION -  
EXISTING

Sheet no.

**HA105**



CONSERVATION NOTES

- C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION**
- C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.
- C-002: RETAIN ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOOTPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.
- C-003: DEMOLISH EXISTING c. 1984 BASSINGTHWAITE HOUSE 2 STOREY AND 1 STOREY ADDITION.
- C-004: SALVAGE STONE FROM EXISTING 1-STOREY SMOKEHOUSE STRUCTURE AND DEMOLISH REMAINING BUILDING.
- C-005: STABILIZE EXISTING FRAMING OF BASSINGTHWAITE BEFORE RELOCATION.
- C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
- C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.
- C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.
- C-009: SALVAGE BRICKS FROM ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOUNDATION FOR REUSE AND DEMOLISH REMAINING BASEMENT.
- C-010: DEMOLISH EXISTING PORCHES
- C-011: DEMOLISH AND INFILL EXISTING BASEMENT.
- C-012: ENSURE NEW SITE GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.
- C-013: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.


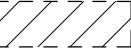

- C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)**
- C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
- C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.
- C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.
- C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
- C-200 MASONRY**
- C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.
- C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.
- C-203: REPAIR CRACKS IN BRICKWORK.
- C-204: RESET MASONRY.
- C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED
- C-206: CONSTRUCT NEW DOOR OPENING IN EXISITNG OPENING.
- C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISITNG OPENING.

- C-300 WINDOWS AND DOORS**
- C-301: PROVIDE NEW WOOD WINDOWS (TYP)
- C-302: PROVIDE NEW WOOD DOORS (TYP)
- C-303: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE.
- C-304: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES AS REQUIRED (TYP.)
- C-400 WOOD, ROOF AND METAL WORK**
- C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DETERMINED), ROOF INSULATION, ROOF VENTS AND NEW FLASHINGS.
- C-402: REPAIR EXTERIOR WOOD.
- C-403: PREPARE, PRIME AND PAINT ALL EXTERIOR WOOD (TYP).
- C-404: REPAIR, PRIME AND PAINT EXISTING WOOD SHUTTERS.
- C-405: FABRICATE NEW WOOD SHUTTERS TO MATCH EXISTING.
- C-406: PROVIDE NEW METAL GUTTERS, DOWNSPOUTS AND SPLASH PADS.
- C-407: CONSTRUCT NEW MAIN PORCH.
- C-408: CONSTRUCT NEW STAIR.

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NO.	DATE	REVISION / ISSUANCE
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2	2019-09-11	CONSERVATION PLAN

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LEGEND	
	EXISTING TO BE RETAINED IN SITU
	DEMOLISH
	SALVAGE

E

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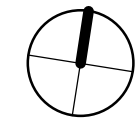
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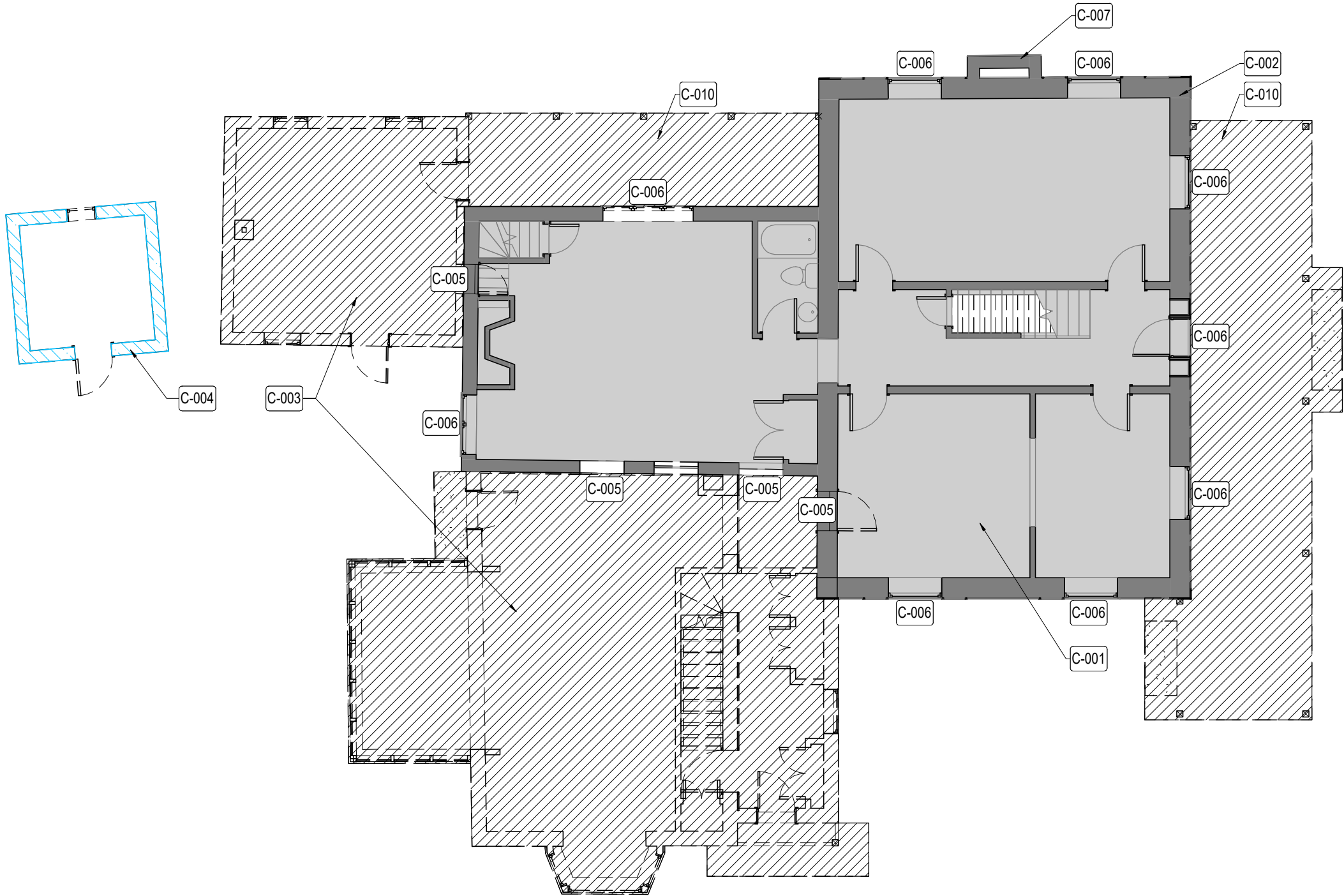


Project	
BASSINGTHWAITE HOUSE CP	
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

BASEMENT PLAN - DEMOLITION

Sheet no.

HA200



CONSERVATION NOTES

C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION

C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.

C-002: RETAIN ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOOTPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.

C-003: DEMOLISH EXISTING c. 1984 BASSINGTHWAITE HOUSE 2 STOREY AND 1 STOREY ADDITION.

C-004: SALVAGE STONE FROM EXISTING 1-STOREY SMOKEHOUSE STRUCTURE AND DEMOLISH REMAINING BUILDING.

C-005: STABILIZE EXISTING FRAMING OF BASSINGTHWAITE BEFORE RELOCATION.

C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.

C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.

C-009: SALVAGE BRICKS FROM ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOUNDATION FOR REUSE AND DEMOLISH REMAINING BASEMENT.

C-010: DEMOLISH EXISTING PORCHES

C-011: DEMOLISH AND INFILL EXISTING BASEMENT.

C-012: ENSURE NEW SITE GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.

C-013: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.

C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.

C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-200 MASONRY

C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.

C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.

C-203: REPAIR CRACKS IN BRICKWORK

C-204: RESET MASONRY.

C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED

C-206: CONSTRUCT NEW DOOR OPENING IN EXISITNG OPENING.

C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISITNG OPENING.

C-300 WINDOWS AND DOORS

C-301: PROVIDE NEW WOOD WINDOWS (TYP)

C-302: PROVIDE NEW WOOD DOORS (TYP)

C-303: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE.

C-304: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES AS REQUIRED (TYP.)

C-400 WOOD, ROOF AND METAL WORK

C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DETERMINED), ROOF INSULATION, ROOF VENTS AND NEW FLASHINGS.

C-402: REPAIR EXTERIOR WOOD.

C-403: PREPARE, PRIME AND PAINT ALL EXTERIOR WOOD (TYP).

C-404: REPAIR, PRIME AND PAINT EXISTING WOOD SHUTTERS.

C-405: FABRICATE NEW WOOD SHUTTERS TO MATCH EXISTING.

C-406: PROVIDE NEW METAL GUTTERS, DOWNSPOUTS AND SPLASH PADS.

C-407: CONSTRUCT NEW MAIN PORCH.


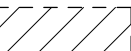

C-408: CONSTRUCT NEW STAIR.

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	DEMOLISH
	SALVAGE

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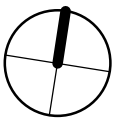
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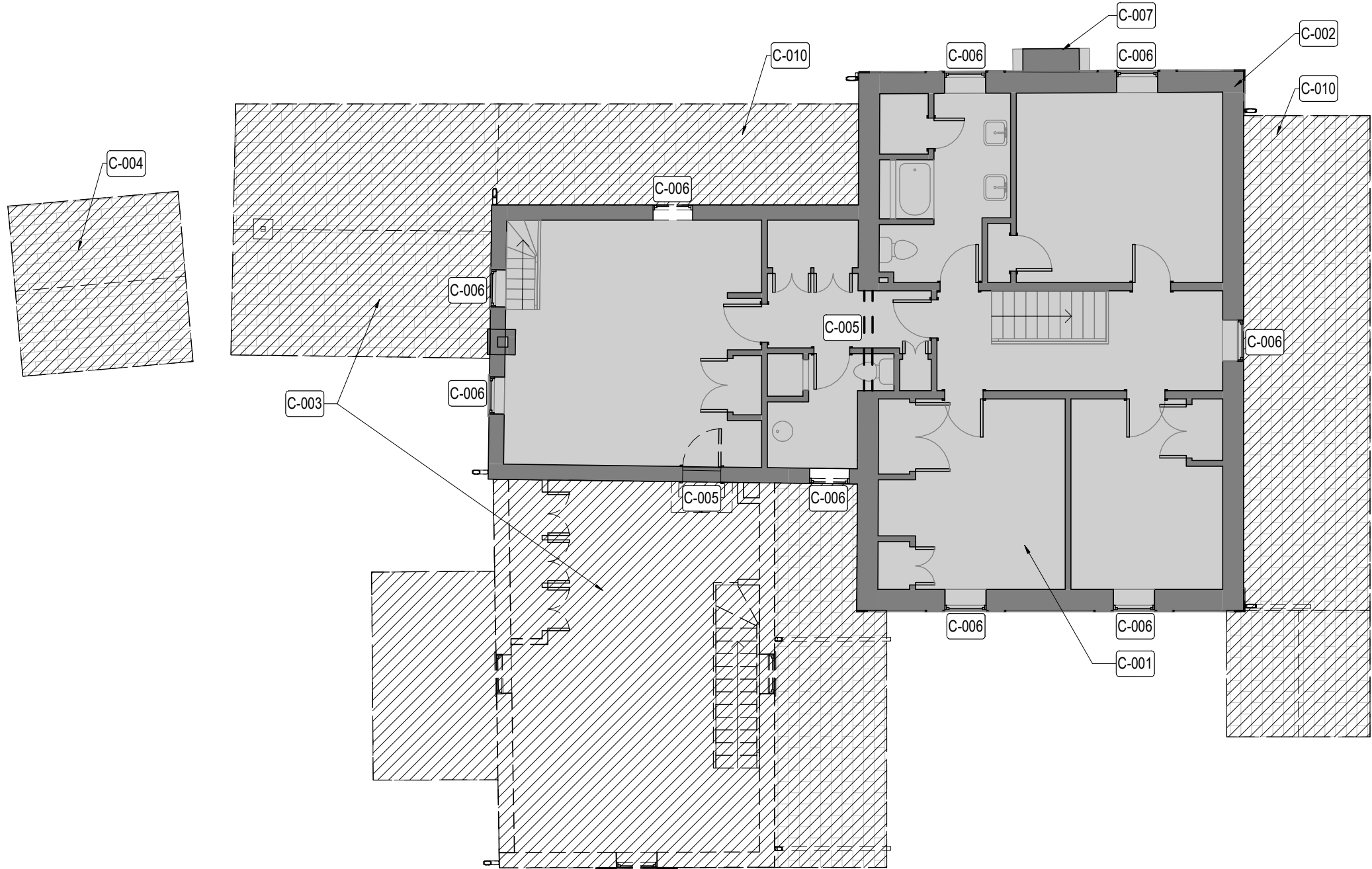


Project	
BASSINGTHWAITE HOUSE CP	
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

GROUND FLOOR PLAN -  
DEMOLITION

Sheet no.

HA201



CONSERVATION NOTES

C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION

C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.

C-002: RETAIN ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOOTPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.

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C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

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C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.

C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

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C-406: PROVIDE NEW METAL GUTTERS, DOWNSPOUTS AND SPLASH PADS.

C-407: CONSTRUCT NEW MAIN PORCH.


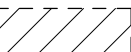

C-408: CONSTRUCT NEW STAIR.

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NO.	DATE	REVISION / ISSUANCE
1	2019-08-21	CONSERVATION PLAN - DRAFT
2	2019-09-11	CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND

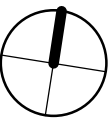
	EXISTING TO BE RETAINED IN SITU
	DEMOLISH
	SALVAGE



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**E.R.A. Architects Inc.**

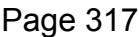


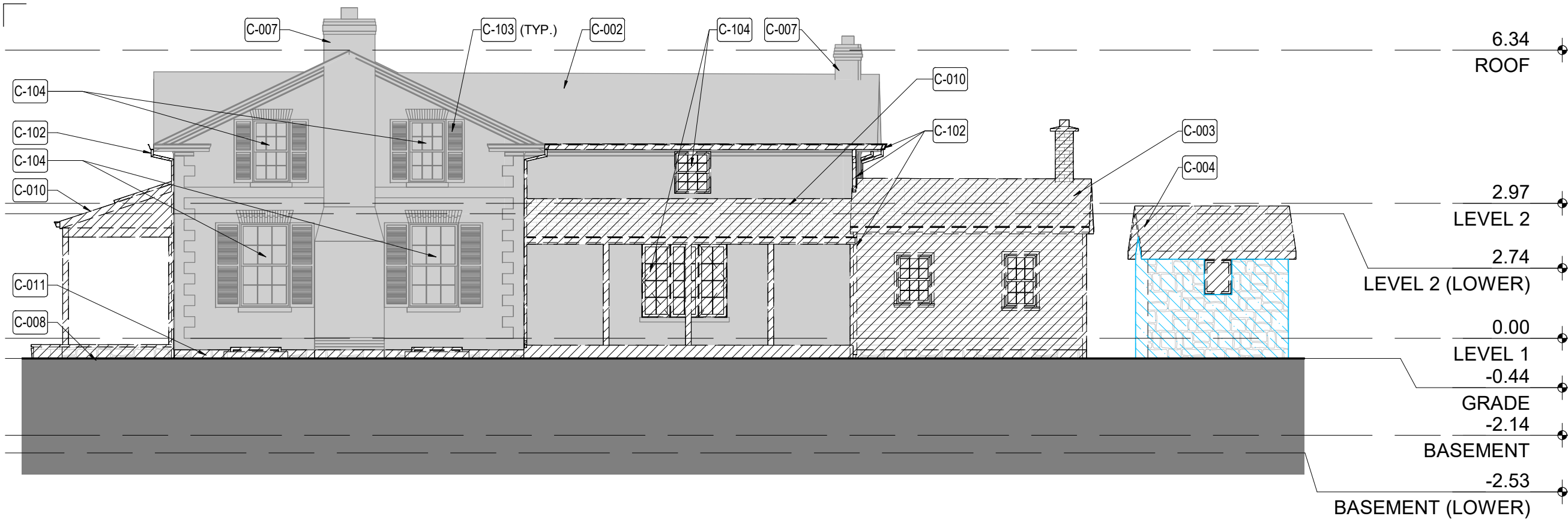
Project	
BASSINGTHWAITE HOUSE CP	
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

SECOND FLOOR PLAN -  
DEMOLITION

Sheet no.

HA202



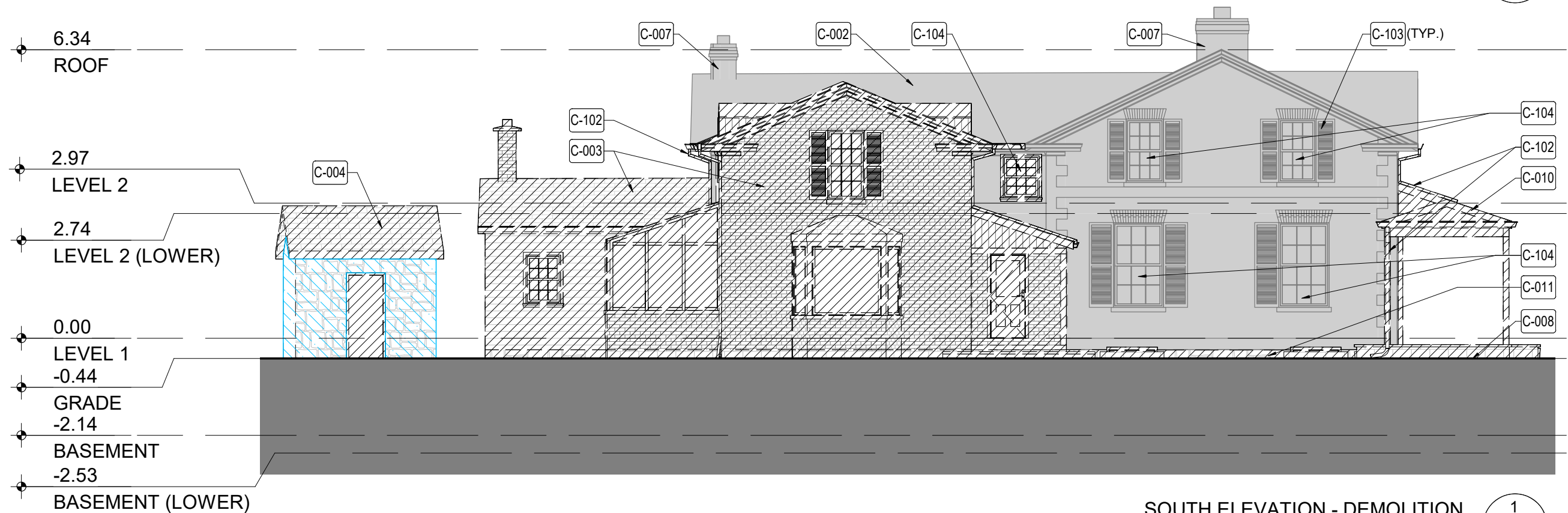


NORTH ELEVATION - DEMOLITION

1 : 100

2

HA204



SOUTH ELEVATION - DEMOLITION

1 : 100

1

HA204

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## NOT FOR CONSTRUCTION

### LEGEND

	EXISTING TO BE RETAINED IN SITU
	DEMOLISH
	SALVAGE

**E R A**

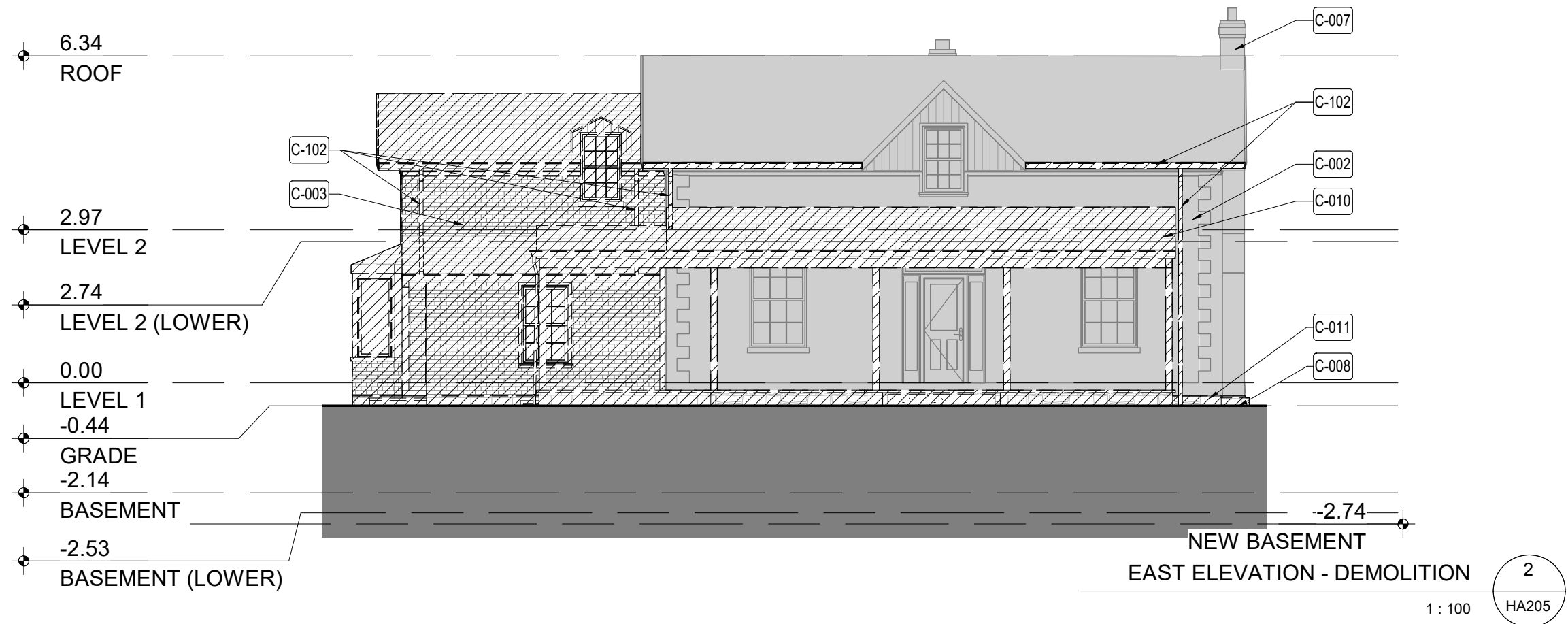
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**E.R.A. Architects Inc.**

Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

## SOUTH & NORTH ELEVATION - DEMOLITION

Sheet no.

**HA204**



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## NOT FOR CONSTRUCTION

### LEGEND

	EXISTING TO BE RETAINED IN SITU
	DEMOLISH
	SALVAGE

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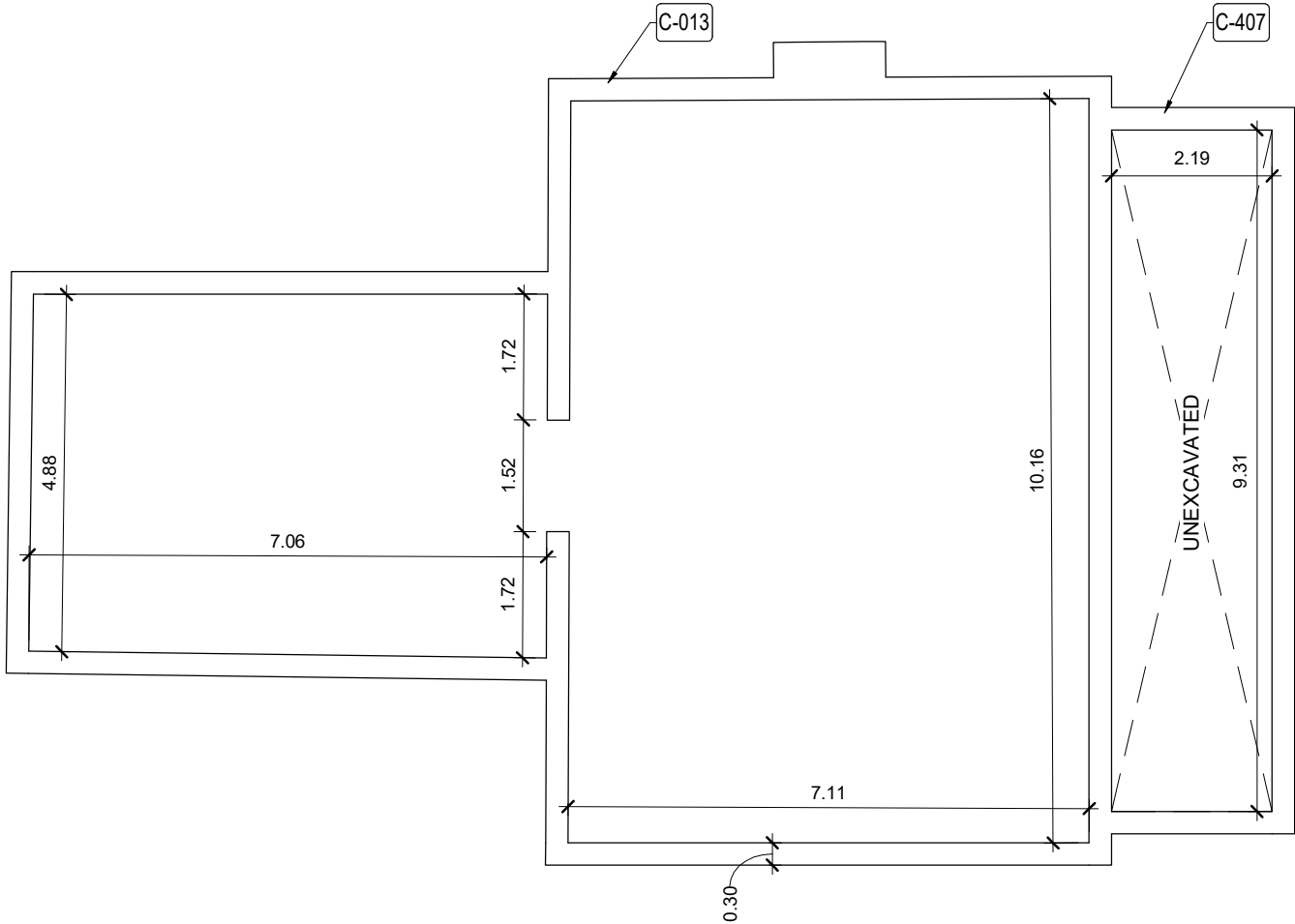
**E.R.A. Architects Inc.**

Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

WEST & EAST ELEVATION -  
DEMOLITION

Sheet no.

**HA205**



CONSERVATION NOTES

- C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION**
- C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.
- C-002: RETAIN ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOOTPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.
- C-003: DEMOLISH EXISTING c. 1984 BASSINGTHWAITE HOUSE 2 STOREY AND 1 STOREY ADDITION.
- C-004: SALVAGE STONE FROM EXISTING 1-STOREY SMOKEHOUSE STRUCTURE AND DEMOLISH REMAINING BUILDING.
- C-005: STABILIZE EXISTING FRAMING OF BASSINGTHWAITE BEFORE RELOCATION.
- C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
- C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.
- C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.
- C-009: SALVAGE BRICKS FROM ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOUNDATION FOR REUSE AND DEMOLISH REMAINING BASEMENT.
- C-010: DEMOLISH EXISTING PORCHES
- C-011: DEMOLISH AND INFILL EXISTING BASEMENT.
- C-012: ENSURE NEW SITE GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.
- C-013: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

- C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)**
- C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
- C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.
- C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.
- C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
- C-200 MASONRY**
- C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.
- C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.
- C-203: REPAIR CRACKS IN BRICKWORK
- C-204: RESET MASONRY.
- C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED
- C-206: CONSTRUCT NEW DOOR OPENING IN EXISITNG OPENING.
- C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISTING OPENING.

- C-300 WINDOWS AND DOORS**
- C-301: PROVIDE NEW WOOD WINDOWS (TYP)
- C-302: PROVIDE NEW WOOD DOORS (TYP)
- C-303: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE.
- C-304: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES AS REQUIRED (TYP.)
- C-400 WOOD, ROOF AND METAL WORK**
- C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DETERMINED), ROOF INSULATION, ROOF VENTS AND NEW FLASHINGS.
- C-402: REPAIR EXTERIOR WOOD.
- C-403: PREPARE, PRIME AND PAINT ALL EXTERIOR WOOD (TYP).
- C-404: REPAIR, PRIME AND PAINT EXISTING WOOD SHUTTERS.
- C-405: FABRICATE NEW WOOD SHUTTERS TO MATCH EXISTING.
- C-406: PROVIDE NEW METAL GUTTERS, DOWNSPOUTS AND SPLASH PADS.
- C-407: CONSTRUCT NEW MAIN PORCH.
- C-408: CONSTRUCT NEW STAIR.

CONSERVATION REPAIR LEGEND

- BRICKWORK**
- NEW BRICKWORK TO MATCH EXISTING
- REPAIR BRICKWORK
- REPAIR CRACK IN BRICKWORK
- WOOD**
- REPAIR EXTERIOR WOOD

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NO.	DATE	REVISION / ISSUANCE
1	2019-08-21	CONSERVATION PLAN - DRAFT
2	2019-09-11	CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND

- EXISTING TO BE RETAINED
- NEW CONSTRUCTION

E

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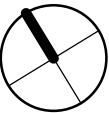
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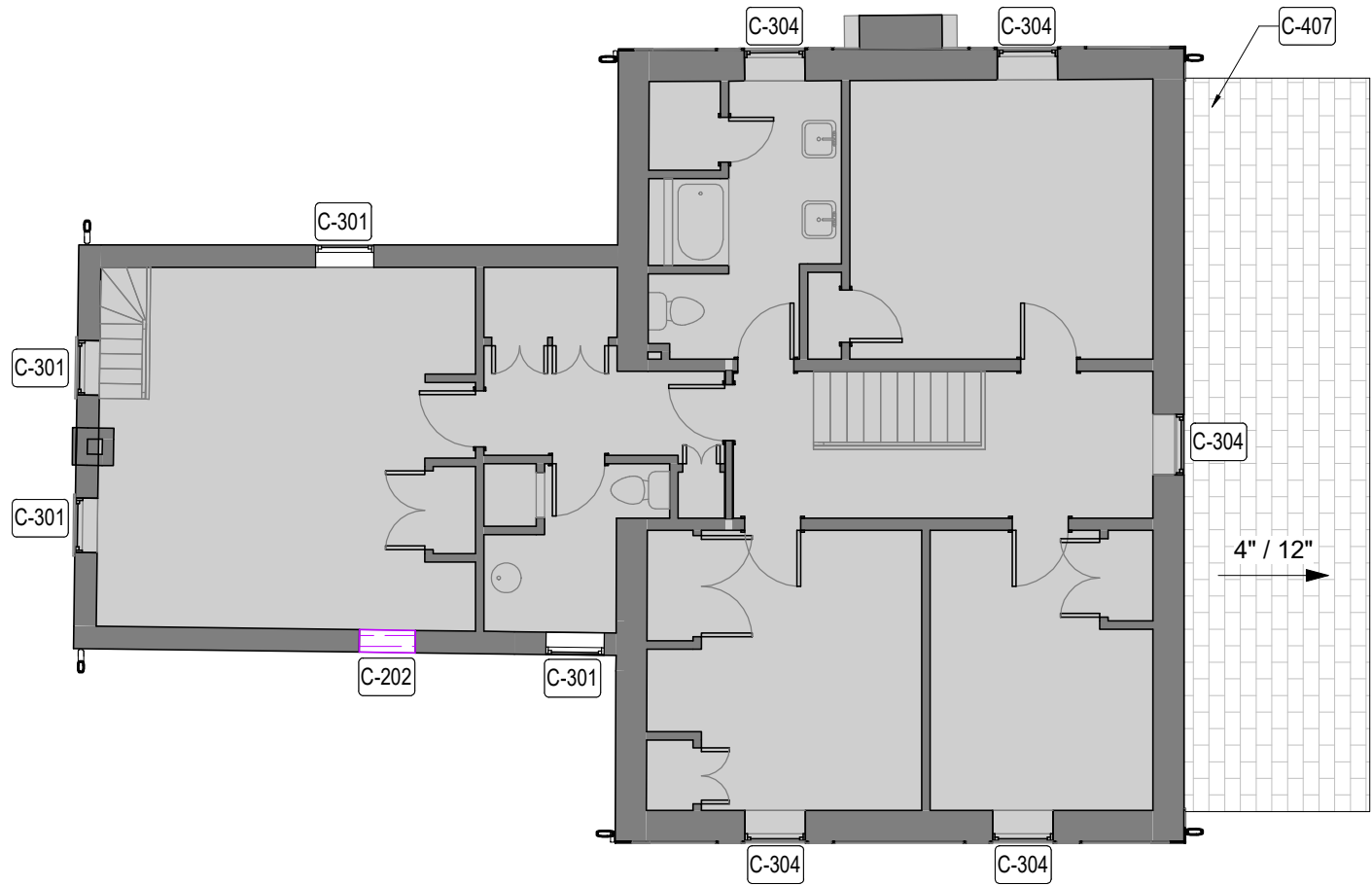


Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1:100
Drawn by	EJ
Reviewed by	JQ
Drawing title	BASEMENT PLAN - PROPOSED

Sheet no.

HA300





CONSERVATION NOTES

- C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION
- C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.
- C-002: RETAIN ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOORPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.
- C-003: DEMOLISH EXISTING c. 1984 BASSINGTHWAITE HOUSE 2 STOREY AND 1 STOREY ADDITION.
- C-004: SALVAGE STONE FROM EXISTING 1-STOREY SMOKEHOUSE STRUCTURE AND DEMOLISH REMAINING BUILDING.
- C-005: STABILIZE EXISTING FRAMING OF BASSINGTHWAITE BEFORE RELOCATION.
- C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
- C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.
- C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.
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- C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
- C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.
- C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.
- C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
- C-200 MASONRY
- C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.
- C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.
- C-203: REPAIR CRACKS IN BRICKWORK
- C-204: RESET MASONRY.
- C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED
- C-206: CONSTRUCT NEW DOOR OPENING IN EXISITNG OPENING.
- C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISITNG OPENING.

- C-300 WINDOWS AND DOORS
- C-301: PROVIDE NEW WOOD WINDOWS (TYP)
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- C-304: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES AS REQUIRED (TYP.)

- C-400 WOOD, ROOF AND METAL WORK
- C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DETERMINED), ROOF INSULATION, ROOF VENTS AND NEW FLASHINGS.
- C-402: REPAIR EXTERIOR WOOD.
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- C-406: PROVIDE NEW METAL GUTTERS, DOWNSPOUTS AND SPLASH PADS.
- C-407: CONSTRUCT NEW MAIN PORCH.
- C-408: CONSTRUCT NEW STAIR.

CONSERVATION REPAIR LEGEND

- BRICKWORK**
- NEW BRICKWORK TO MATCH EXISTING
- REPAIR BRICKWORK
- REPAIR CRACK IN BRICKWORK
- WOOD**
- REPAIR EXTERIOR WOOD

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2	2019-09-11	CONSERVATION PLAN

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LEGEND	
	EXISTING TO BE RETAINED
	NEW CONSTRUCTION

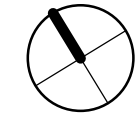
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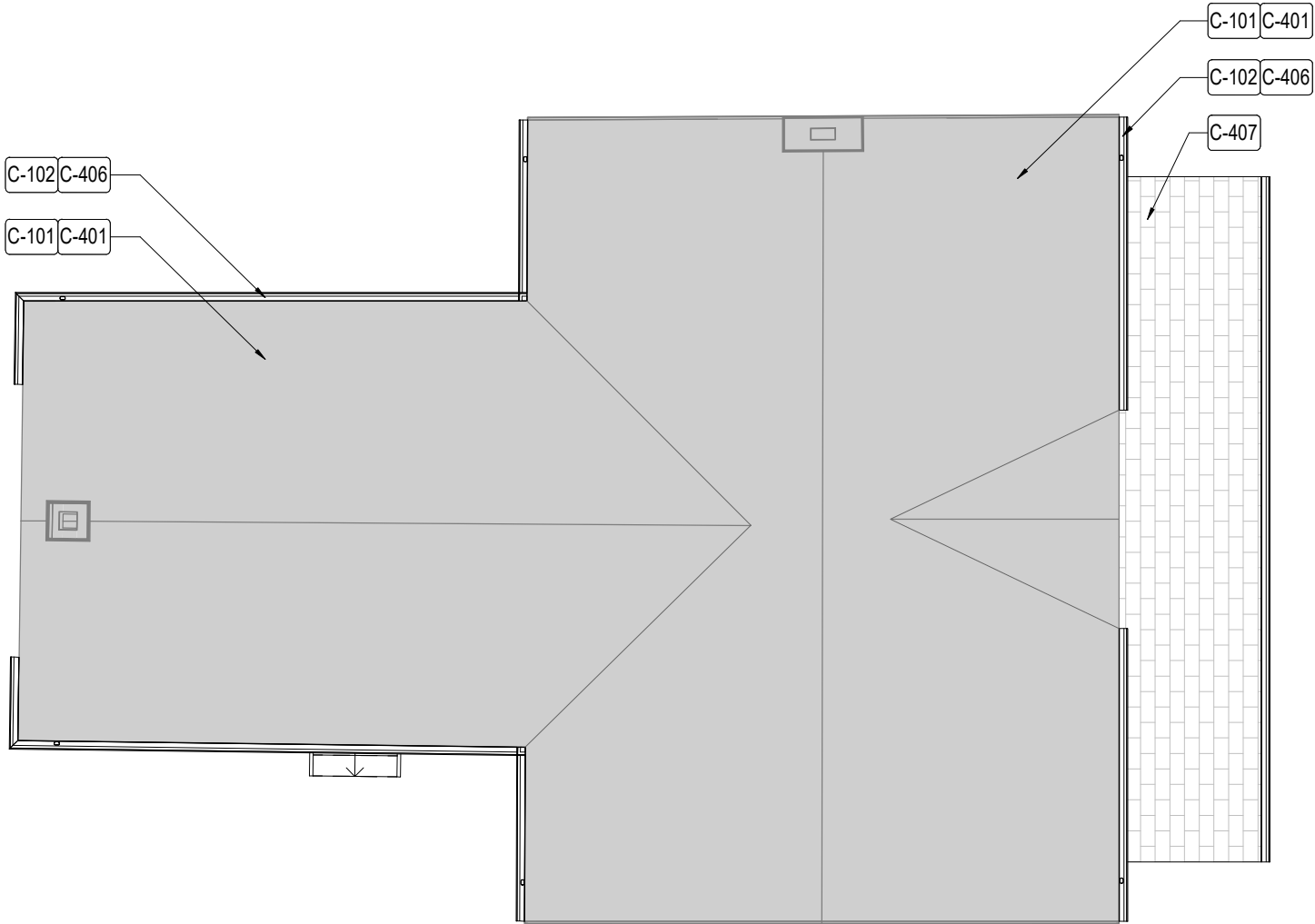
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Project	
BASSINGTHWAITE HOUSE CP	
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1:100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

SECOND FLOOR PLAN - PROPOSED

Sheet no.	HA302
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CONSERVATION NOTES

C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION

C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.

C-002: RETAIN ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOOTPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.

C-003: DEMOLISH EXISTING c. 1984 BASSINGTHWAITE HOUSE 2 STOREY AND 1 STOREY ADDITION.

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C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.

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C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.

C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.

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C-200 MASONRY

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C-204: RESET MASONRY.

C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED

C-206: CONSTRUCT NEW DOOR OPENING IN EXISITNG OPENING.

C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISITNG OPENING.

C-300 WINDOWS AND DOORS

C-301: PROVIDE NEW WOOD WINDOWS (TYP)

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C-303: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE.

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C-407: CONSTRUCT NEW MAIN PORCH.

C-408: CONSTRUCT NEW STAIR.

CONSERVATION REPAIR LEGEND

BRICKWORK



NEW BRICKWORK TO MATCH EXISTING



REPAIR BRICKWORK



REPAIR CRACK IN BRICKWORK

WOOD



REPAIR EXTERIOR WOOD

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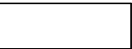
NO.	DATE	REVISION / ISSUANCE
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LEGEND



EXISTING TO BE RETAINED



NEW CONSTRUCTION

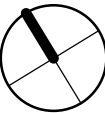
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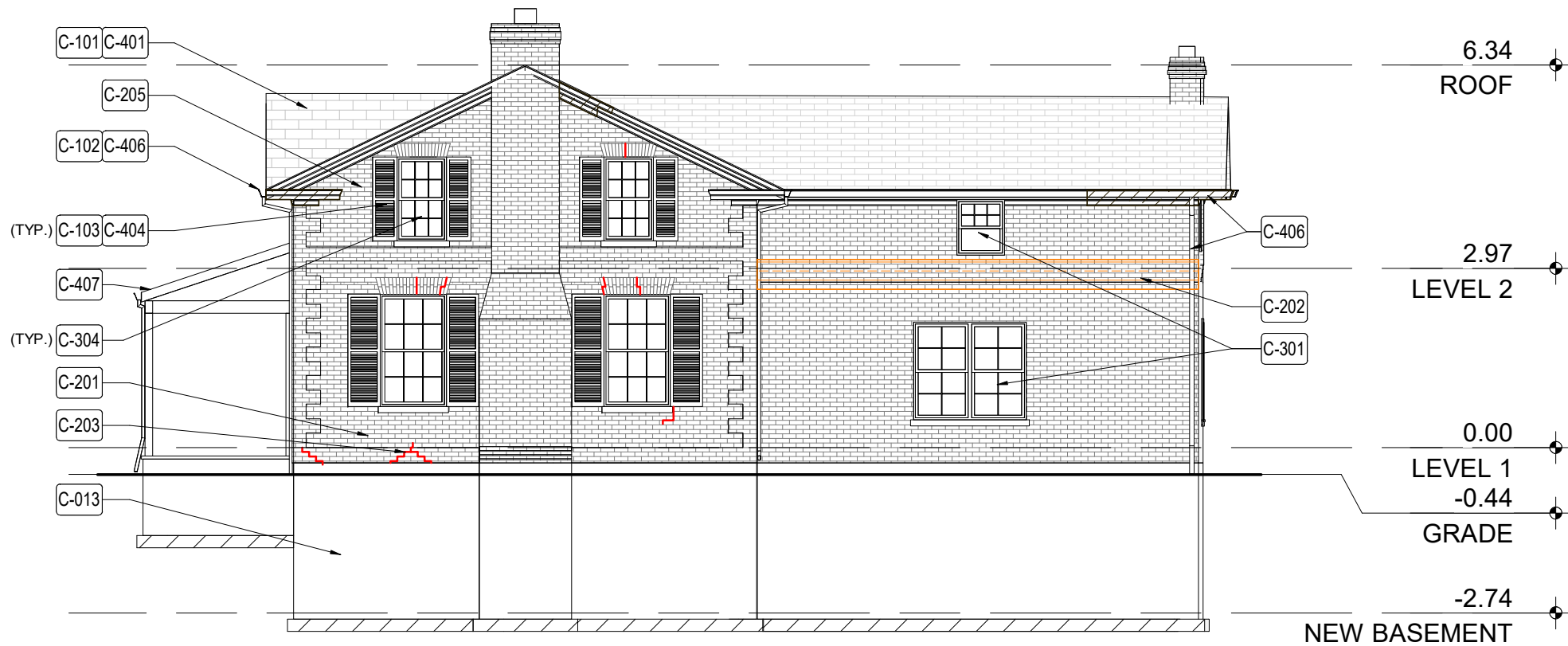


Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1:100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

ROOF PLAN - PROPOSED

Sheet no.

HA303



NORTH ELEVATION - PROPOSED

1 : 100

2

HA304



SOUTH ELEVATION - PROPOSED

1 : 100

1

HA304

CONSERVATION NOTES

C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION

C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.

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C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.

C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.

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C-203: REPAIR CRACKS IN BRICKWORK

C-204: RESET MASONRY.

C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED

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C-400 WOOD, ROOF AND METAL WORK

C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DETERMINED), ROOF INSULATION, ROOF VENTS AND NEW FLASHINGS.

C-402: REPAIR EXTERIOR WOOD.

C-403: PREPARE, PRIME AND PAINT ALL EXTERIOR WOOD (TYP).

C-404: REPAIR, PRIME AND PAINT EXISTING WOOD SHUTTERS.

C-405: FABRICATE NEW WOOD SHUTTERS TO MATCH EXISTING.

C-406: PROVIDE NEW METAL GUTTERS, DOWNSPOUTS AND SPLASH PADS.

C-407: CONSTRUCT NEW MAIN PORCH.

C-408: CONSTRUCT NEW STAIR.

CONSERVATION REPAIR LEGEND

BRICKWORK

NEW BRICKWORK TO MATCH EXISTING

REPAIR BRICKWORK

REPAIR CRACK IN BRICKWORK

WOOD

REPAIR EXTERIOR WOOD

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NO.	DATE	REVISION / ISSUANCE
1	2019-08-21	CONSERVATION PLAN - DRAFT
2	2019-09-11	CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND

	EXISTING TO BE RETAINED
	NEW CONSTRUCTION

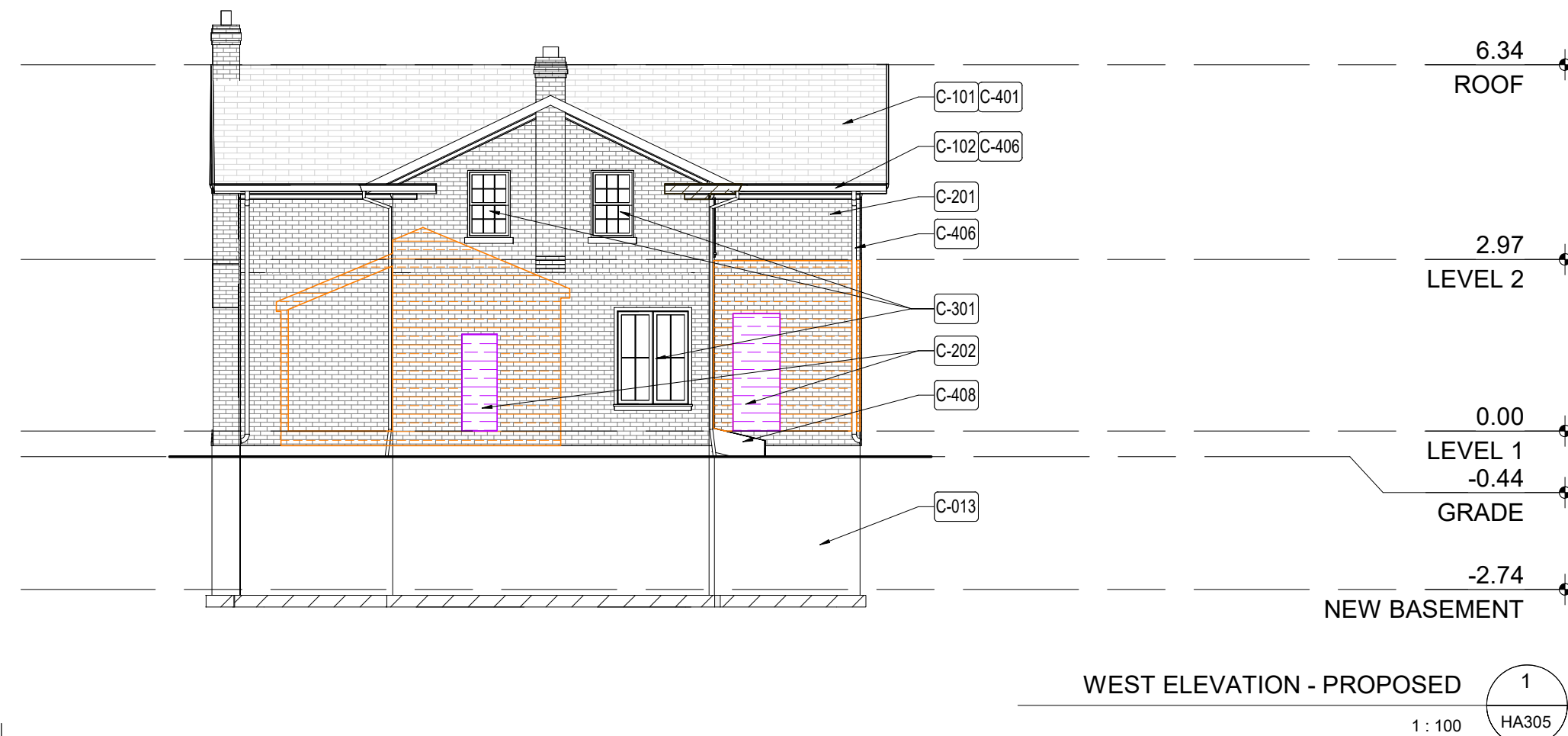
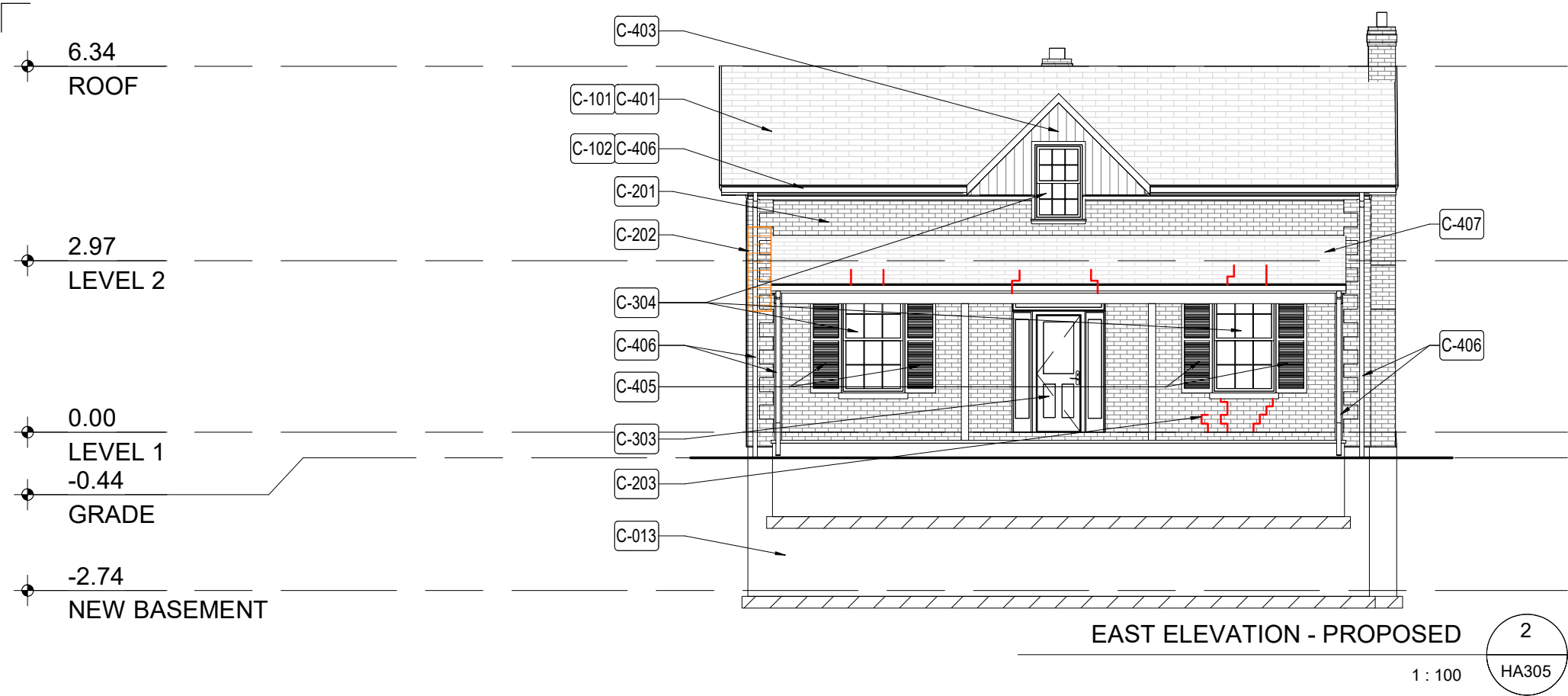
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**E.R.A. Architects Inc.**

Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1:100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

SOUTH & NORTH ELEVATION - PROPOSED

Sheet no.

HA304



CONSERVATION NOTES

C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION

- C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.
- C-002: RETAIN ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOOTPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.
- C-003: DEMOLISH EXISTING c. 1984 BASSINGTHWAITE HOUSE 2 STOREY AND 1 STOREY ADDITION.
- C-004: SALVAGE STONE FROM EXISTING 1-STOREY SMOKEHOUSE STRUCTURE AND DEMOLISH REMAINING BUILDING.
- C-005: STABILIZE EXISTING FRAMING OF BASSINGTHWAITE BEFORE RELOCATION.
- C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
- C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.
- C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.
- C-009: SALVAGE BRICKS FROM ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOUNDATION FOR REUSE AND DEMOLISH REMAINING BASEMENT.
- C-010: DEMOLISH EXISTING PORCHES
- C-011: DEMOLISH AND INFILL EXISTING BASEMENT.
- C-012: ENSURE NEW SITE GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.
- C-013: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

- C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
- C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.
- C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.
- C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
- C-200 MASONRY
- C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.
- C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.
- C-203: REPAIR CRACKS IN BRICKWORK
- C-204: RESET MASONRY.
- C-205: REPOINT MORTAR. ASSESS RETAINED FACADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED
- C-206: CONSTRUCT NEW DOOR OPENING IN EXISTING OPENING.
- C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISTING OPENING.

C-300 WINDOWS AND DOORS

- C-301: PROVIDE NEW WOOD WINDOWS (TYP)
- C-302: PROVIDE NEW WOOD DOORS (TYP)
- C-303: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE.
- C-304: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES AS REQUIRED (TYP.)

C-400 WOOD, ROOF AND METAL WORK

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- C-407: CONSTRUCT NEW MAIN PORCH.
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CONSERVATION REPAIR LEGEND

BRICKWORK

- NEW BRICKWORK TO MATCH EXISTING
- REPAIR BRICKWORK
- REPAIR CRACK IN BRICKWORK

WOOD

- REPAIR EXTERIOR WOOD

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1	2019-08-21	CONSERVATION PLAN - DRAFT
2	2019-09-11	CONSERVATION PLAN

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LEGEND

- EXISTING TO BE RETAINED
- NEW CONSTRUCTION

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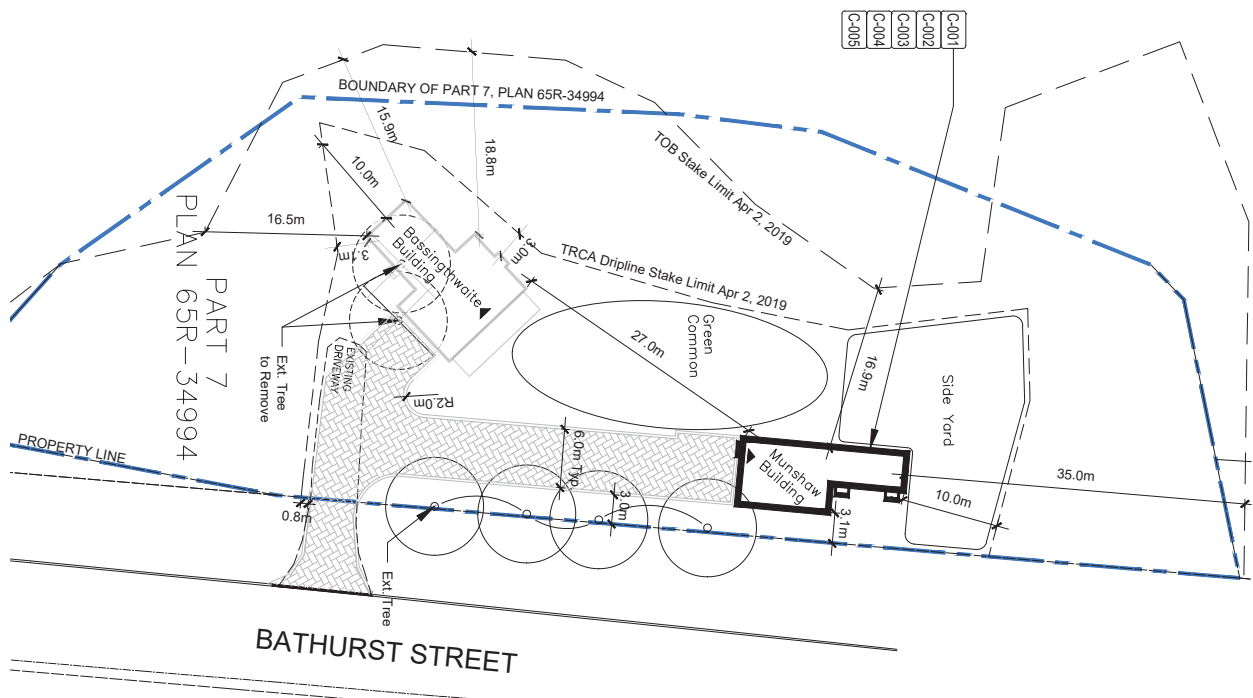
**E.R.A. Architects Inc.**

Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1:100
Drawn by	EJ
Reviewed by	JQ
Drawing title	WEST & EAST ELEVATION - PROPOSED

Sheet no.

HA305





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NO.	DATE	REVISION / ISSUANCE
1	2019-09-21	CONSERVATION PLAN - DRAFT
2	2019-09-11	CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

**LEGEND**



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Page 327

Project

GEORGE MUNSHAW HOUSE CP

980 MAJOR MACKENZIE DR., VAUGHAN, ON

no.	13-106
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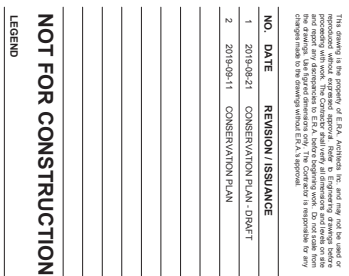
SC

File
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### SITE PLAN AT NEW LOCATION

Sheet no. \_\_\_\_\_

HA002



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**LEGEND**

### LEGEND

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Project	BASSINGTHWAITE HOUSE CP		
Address	11044 BATHURST ST., VAUGHAN, ON		
For	DC GROUP		
Project no.	13-006		
Scale at 11/1/17	1:500		
Drawn by	SC		
Reviewed by	JLO		
Drawing title	SITE PLAN AT NEW LOCATION		
Sheet no.			

HA002