



**CITY OF VAUGHAN
HERITAGE VAUGHAN COMMITTEE AGENDA**

**This is an Electronic Meeting. Public comments can be submitted by email to
clerks@vaughan.ca**

Wednesday, November 30, 2022

7:00 p.m.

Electronic Meeting

Vaughan City Hall

	Pages
1. CONFIRMATION OF AGENDA	
2. DISCLOSURE OF INTEREST	
3. COMMUNICATIONS	
4. DETERMINATION OF ITEMS REQUIRING SEPARATE DISCUSSION	
1. PARTIAL DEMOLITION AND NEW CONSTRUCTION OF A TWO-STOREY HOUSE LOCATED AT 27 MAIN STREET IN THE KLEINBURG-NASHVILLE HERITAGE CONSERVATION DISTRICT Report of the Deputy City Manager, Planning and Growth Management with respect to the above.	3
2. KLEINBURG VILLAGE IMPROVEMENTS: STREETSCAPE DESIGN PROJECT Report of the Deputy City Manager, Planning and Growth Management with respect to the above.	137
5. ADOPTION OF ITEMS NOT REQUIRING SEPARATE DISCUSSION	
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Heritage Vaughan Committee Report

DATE: Wednesday, November 30, 2022

WARD(S): 1

TITLE: PARTIAL DEMOLITION AND NEW CONSTRUCTION OF A TWO-STOREY HOUSE LOCATED AT 27 MAIN STREET IN THE KLEINBURG-NASHVILLE HERITAGE CONSERVATION DISTRICT

FROM:

Haiqing Xu, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To seek Heritage Vaughan Committee support and recommend to Committee of the Whole approval for the proposed partial demolition, with rear portion of dwelling retained, a new front with partial second storey added, and garage increased at 27 Main Street, a property located in the Kleinburg-Nashville Heritage Conservation District and designated under Part V of the *Ontario Heritage Act* (as shown on Attachment 1).

Report Highlights

- The Owner is proposing partial demolition, renovation, second storey addition and increase of garage at 27 Main Street, Kleinburg.
- The existing main dwelling is identified as a non-contributing property in the Kleinburg-Nashville Heritage Conservation District Plan (“KNHCD Plan”).
- The proposal is consistent with the relevant policies of the Kleinburg-Nashville HCD Plan.
- Heritage Vaughan review and Council approval is required under the *Ontario Heritage Act*.
- Staff is recommending approval of the proposal as it conforms with the policies of the Kleinburg-Nashville HCD Plan.

Recommendations

THAT Heritage Vaughan recommend the approval of the proposed development as presented, subject to following conditions:

- a) further minor refinements to building design including material specifications shall be approved to the satisfaction of the Vaughan Development Planning Department, Urban Design and Cultural Heritage Division;
- b) any significant changes to the proposal may require reconsideration by Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning;
- c) that Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits or requirements currently under review or to be submitted in the future by the applicant as it relates to the subject application.
- d) That the applicant submits Building Permit stage architectural drawings and building material specifications to the satisfaction of the Urban Design and Cultural Heritage Division and Chief Building Official.

Background

Many of the buildings on Main Street tend to be post-war, predominantly in the one-storey ranch style. The planting is mature, and the road profile is rural.

The subject property located at 27 Main Street, Kleinburg, consists of a one storey ranch-style residence with a partial basement, constructed in the 1960's, with various additions over the years. The building has a series of pitched shingle roofs with vertical board and batten siding, with single glazed windows in wooden frames. There is an existing artificial stone fireplace near the main entrance. An addition to the east of the entrance is composed of artificial stone base and wood windows, with a single vehicle garage. There are wooden decks at the north and west sides of the building with views to the valley below. The property does not have heritage value per the KNHCD Guidelines.

Previous Reports/Authority

Not applicable.

Analysis and Options

The proposed works at 27 Main Street consists of a combination of retaining part of the existing home and adding a new two-storey addition along the front – with exterior and interior

renovations to the existing home and a new addition with various level flat roofs, and an outdoor terrace on the second floor.

The proposed architecture is reminiscent of the Usonian homes of Frank Lloyd Wright, which include the characteristics of flat roofs, large overhangs, natural lighting through vertical and clerestory windows, and natural materials.

A two-vehicle garage replaces the single vehicle garage at the southeast corner of the building. The existing deck of the original home is to be retained, with new railings added.

All new development must conform to the policies and guidelines within the Kleinburg-Nashville Heritage Conservation District Plan. The following is an analysis of the proposed development according the KNHCD Plan.

9.1.1 CONTEXTS

The heritage character of the District includes a variety of historical and geographical contexts. The Guidelines for exterior work in the District necessarily take account of this variety. Existing buildings are either heritage or non-heritage and are treated differently in the Guidelines. The geographical settings also differ, ranging lands. Guidelines for new construction respect these different settings and special attention is given to roadways and natural and agricultural areas.

The proposed new building complements the architecture of the street by introducing a clean-line contemporary building. The proposed structure will be sited within the existing canopy of trees on site, and the chosen natural material colours complement the neighbourhood's existing mix of residential styles and the village forest. The proposed elevations (shown in Attachment 5) and suggested colour palette (shown in Attachment 6) are in-keeping with the neighbourhood vernacular.

9.2 ARCHITECTURAL STYLES

Architectural style is a term used to refer to the identifying characteristics of construction as it has evolved under the force of changing technology and fashion. Before the industrial age, even minor details were custom-made for each building and it would be hard to find even two identical front door designs from the early 19th century. Nonetheless, each period produced buildings that shared a design vocabulary, including elements of massing, composition, proportions, window and door details, and decorative elements. This section shows the principal styles that have appeared in the Kleinburg Nashville community, both heritage styles and more -recent ones, This section is necessarily brief and does not

replace the real research needed for work in the District, as described in Section 9.3.2 and 9.5.1.

In the Guidelines that follow, reference is made to architectural styles for all types of buildings in the District: existing heritage buildings, existing non-heritage buildings, and new development

Additions and alterations to an existing heritage building should be consistent with the style of the original building. New developments should be designed in a style that is consistent with the vernacular heritage of the community. All construction should be of a particular style, rather than a hybrid one. Recent developments have tended to use hybrid designs, with inauthentic details and proportions; for larger homes, the French manor or château style (not indigenous to Ontario) has been heavily borrowed from. These kinds of designs are not appropriate for the District.

9.5.3.2 ARCHITECTURAL STYLE

Guidelines:

- ☐ *Design houses to reflect one of the local heritage Architectural Styles.*
- ☐ *Hybrid designs that mix elements from different historical styles are not appropriate. Historical styles that are not indigenous to the area, such as Tudor or French Manot, are not appropriate.*
- ☐ *Use authentic detail, consistent with the Architectural Style.*
- ☐ *Research the chosen Architectural Style.*
- ☐ *Use appropriate materials.*

The proposed architectural design is identified in the KNHCD as Usonian, a Modern Movement emphasizing long horizontal banding and an intent of visual embedding of the structure into its surrounding landscape. Exterior materials include rough-cut stone, horizontal wood siding and metal facias at the horizontal roof lines which are a characteristic of this architectural style. The massing, form, choice of materials and proportions are reflective of the contemporary construction scale without overwhelming or dwarfing other properties on the street or within the immediate neighbourhood.

9.5.3.3 SCALE AND MASSING *states:*

“New residential construction in the residential villages should respect local heritage precedents in scale and massing. In almost every case, new construction will be replacement houses on existing built lots.

Guideline:

- ☐ *New buildings should be designed to preserve the generous side yards typical in the villages. As far as possible, modern requirements for larger houses should be*

accommodated without great increases in building frontage. For example, an existing 1 ½ storey house could be replaced by a 2-storey house with a plan that included an extension to the rear. This might double the floor area without affecting the scale of the streetscape.

The proposed building footprint fundamentally does not change, with only a slight extension towards the area near the proposed driveway – and therefore does not affect the building frontage or side yard. The design respects the existing side yard setbacks by maintaining the line similar to that of the existing building. The second storey addition increases the footprint of the proposed dwelling while presenting a pleasing façade facing the street.

9.9.2 CHARACTER

In Kleinburg, the village forest appears to spring from the surrounding wooded valleys. Trees seem to encroach on the street from the valleys beyond, appearing behind, beside, or between the buildings. Even when the planting is deliberate, the size and density of the trees and shrubbery creates a continuity with the surrounding natural environment. Particularly on the residential streets, the buildings seem to live in forest clearings.

Nashville's surroundings are mostly open lands, so the connection is not to the valley woodlands. But the trees within the village are as large and dense as those in Kleinburg. They connect with the mature trees and rich ecology of the old rural roadsides on Nashville Road and Huntington Road, to the north, south, and west.

Guidelines:

- ☐ *Preserve a suitable village forest.*
- ☐ *Maintain health of mature indigenous tree by pruning and fertilizing.*
- ☐ *Over time, remove unhealthy, invasive and non-indigenous species.*
- ☐ *Site buildings and additions to preserve suitable mature trees.*

The proposed design also takes into consideration the existing trees and vegetation of the site and proposes a landscape design that is consistent and complementary to the street and the immediate neighbourhood and is in keeping with the Village's landscaping guidelines of the KNHCD Plan. The proposed landscape plan and planting list are shown in Attachment 7.

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The Development Planning Department is satisfied the proposed partial demolition and new two-storey construction on the subject property conforms to the policies and guidelines within the KNHCD Plan. Accordingly, staff can support a Heritage Vaughan recommendation for Council approval of the proposal for 27 Main Street under the *Ontario Heritage Act*.

For more information, please contact: Wendy Whitfield Ferguson, Cultural Heritage Coordinator, ext. 8813

Attachments

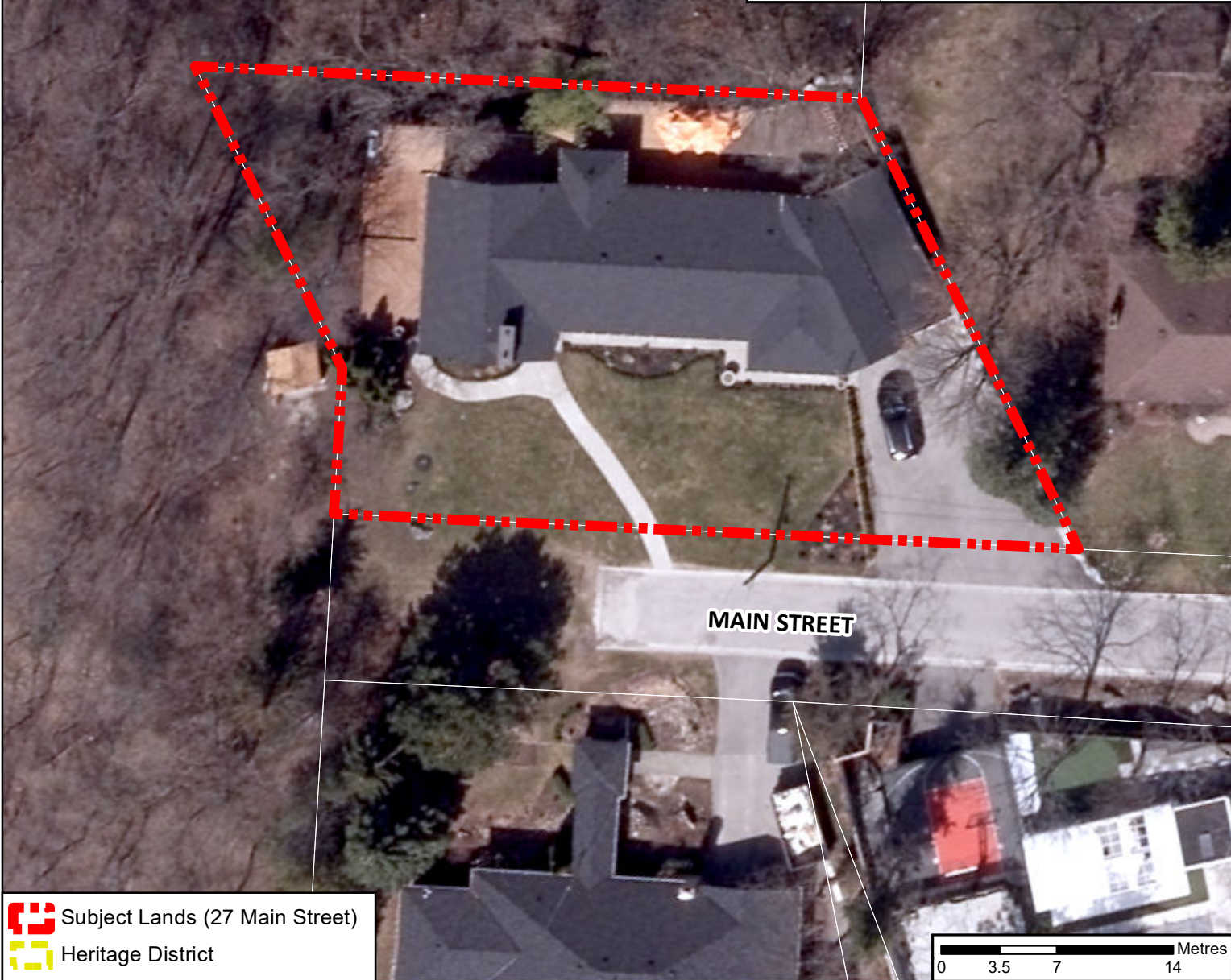
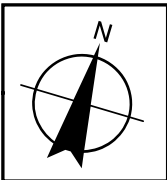
- Attachment 1 – 27Main_Location Plan
- Attachment 2 – 27Main_CHIA
- Attachment 3 – 27Main_Site Plan
- Attachment 4 – 27Main_Architectural Set
- Attachment 5 – 27Main_3D Renderings
- Attachment 6 – 27Main_Material Palette
- Attachment 7 – 27Main_Landscape Plan
- Attachment 8 – 27Main_Arborist Reports

Prepared by

Wendy Whitfield Ferguson, Cultural Heritage Coordinator, ext. 8813

Nick Borcescu, Senior Heritage Planner, ext. 8191

Shahrazad Davoudi-Strike, Manager Urban Design and Cultural Services, ext. 8653



Location Map

LOCATION:
27 Main Street
Part of Lot 24, Concession 8



Attachment

1

DATE:
November 9, 2022

HERITAGE IMPACT ASSESSMENT (REVISED)

27 MAIN STREET

Kleinburg, Ontario

March 23, 2022



Prepared by:



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1.0 Introduction

On September 19, 2017 Martindale Planning Services in conjunction with Barry-Bryan Associates prepared a Cultural Heritage Impact Assessment for 27 Main Street, Kleinburg on behalf of Ian Robertson Design, consultants for the purchasers of the subject property. The proposal at the time was to demolish the existing bungalow and build two new dwellings on the site. The current proposal, submitted by Contempo Studio on behalf of Stonebrooke Homes, involves a renovation with the rear portion of the dwelling being retained, along with a front and partial second-storey addition. Because the properties are located within the Kleinburg-Nashville heritage conservation district, any alterations or new construction on the property must be approved by Council.

In accordance with its Official Plan and applicable provincial policy, the City of Vaughan requires the submission of a cultural heritage impact assessment to evaluate the project in the context of the surrounding heritage resources and assess the proposal's conformity to the design guidelines outlined in the District Plan.

This report has been prepared in accordance with the City's "Guidelines for Cultural Heritage Impact Assessments" as well as the guidelines contained in the Ontario Heritage Tool Kit.

2.0 History and Development of Kleinburg

The origins of Kleinburg go back to the development of a sawmill and a gristmill located on the Humber River in Lot 24, Concession 9 that was built in 1847 by John N. Kline, an immigrant from Alsace-Lorraine. Some accounts state that the name “Kleinburg” was derived from a combination of two German words, “klein”, meaning “little” or “small” and “berg” meaning “hill” or “mountain”, while other accounts indicate that the settlement was named Kleinsberg after the mill owner whose name was also spelled “Klein”. The village on the top of the hill to the east was known as Mount Vernon; by 1850 the two had grown together and the community was called Kleinburg. A subdivision map from 1848 shows lots on both sides of the King Road (now Islington Avenue) extending from 230 feet south of Stegman’s Mill Road to the intersection of Kline’s Mill Road (now Nashville Road) on both sides of Kline’s Mill Road, and on both sides of Napier Street as far as Kellam Street. The same map also shows a second sawmill across town on the East Humber River.

In 1852 the mill was sold to H.S. and W.P. Howland. Together with their brother Fred they owned four mills – at Lambton, Waterdown, St. Catharines and Kleinburg. The Howland family came from Cape Vincent, New York (opposite Kingston). Henry Stark Howland started his career as the first Postmaster in the village, then went into politics, being elected Reeve of Vaughan Township in 1864 and Warden of York County in 1865. His business pursuits included Vice-President of the Canadian Bank of Commerce and the first President of the Imperial Bank of Canada. After he moved to Toronto his sons, Thomas and William, ran the mill in Kleinburg. William Pearce Howland was equally successful and held numerous prestigious positions in his lifetime: a minister in the first Dominion Cabinet of Canada; the Lieutenant-Governor of Ontario from 1868 to 1873, and Postmaster General of Canada in 1867. Both of his sons held the position of Mayor in Toronto – William Holmes from 1886 to 1887 and Oliver A. from 1901 to 1902.

The flour mill was very successful and remained in the Howland family as long as it was operated, being the largest mill between Barrie and Toronto with a grinding capacity of 200 barrels a day. Soon other industries associated with the mill were established nearby (cooperage, stave factory, planing mill) as well as those found in most 19th century Ontario villages – carriage-making shops, blacksmiths, tannery, etc. In 1852 the first postmaster, H.S. Howland, was appointed and served for 18 years.

To encourage improvement in the transportation network, the government began to encourage the incorporation of road companies in the mid-1800s. The Vaughan Road Co. was formed in 1850, establishing the roadway known today as Islington Avenue and eventually becoming Hwy. 27 north of Kleinburg. In 1868 the Toronto, Grey and Bruce Railway was organized and the line from Toronto, through Woodbridge and Orangeville to Mount Forest was opened in 1871. (This is now part of the Canadian Pacific Railway main line to Sudbury.). A train station serving both Nashville and Kleinburg was built in 1870 near Nashville Road and subsequently replaced in 1907. The importance of the railway to the prosperity of Kleinburg’s mills created an important connection between these two communities. After passenger service was discontinued on this line the station was moved in 1976 to Islington Avenue just north of Kleinburg Public School and used for several years by the local Scout group, then a soccer club.

In 1860 Kleinburg housed a drugstore, three merchants, a tanner and currier, two hotels, a boot and shoemaker, tailor, carriage maker, doctor, saddler and harness maker. By 1870 a few more occupations were added – chemist and druggist, cabinet maker, insurance agent, butcher, justice of the peace, tinsmith and milliner. Kleinburg also boasted a school and two churches.

In 1890 Charles Shaw Jr., the local distributor of binder twine, announced a Binder Twine Night when the twine used to tie up their sheaves of wheat arrived. The event grew into a sizeable community festival, including games, refreshments and entertainment. Around this time Kleinburg was at its prosperous height. The population topped 350; half a dozen manufacturing industries produced farm implements, furniture, harnesses, clothes and carriages.

Ironically, the basic elements of the village's success contributed to its decline. As the lands were cleared, the sawmills steadily consumed the timber that was responsible for their creation. Although the railways initially helped the mills get their product to market, they also allowed larger firms in the cities to expand their markets over wider areas, to the detriment of smaller local businesses. New technologies also contributed to the decline: electrification came to Kleinburg later than other communities in Vaughan and the water-powered mills were put at a competitive disadvantage. The coming of the automobile eliminated the village's role as a stopping place on the way to the city. The construction of Hwy. 27 in the 1930's sealed its fate by bypassing Kleinburg.

By the end of the second World War, the village had lost more than 2/3 of its population, but the postwar housing shortage resulted in a moderate surge of growth as returning veterans looking for affordable housing began to see Kleinburg as a good place to raise a family. "Starter" homes were built on Napier Street and the Windrush Co-operative was established at the end of Stegman's Mill Road.

Kleinburg's renewal was interrupted by Hurricane Hazel in October 1954. The swollen Humber River swept away the village's bridges and wreaked havoc in Toronto. However, the positive outcome of the hurricane was the establishment of the Metropolitan Toronto and Region Conservation Authority which took on the responsibility of conserving and managing the 7 watersheds in the Toronto area. As the authors of the Kleinburg-Nashville Heritage Conservation District Study noted, "public ownership of the floodplain and public stewardship of the valleys have been instrumental in restoring the valley ecosystems and preserving the character of Kleinburg's setting."

Three well-known educational and/or entertainment venues are located in or near Kleinburg. The McMichael Canadian Art Collection, founded by Robert and Signe McMichael in the 1950s and since donated to the Province of Ontario, now attracts 125,000 visitors a year. The 40-acre property contains a small cemetery where the original members of the Group of Seven are buried. South of Major Mackenzie Drive is the Kortright Centre, an environmental education facility operated by the Toronto Region Conservation Authority, which has attracted over a million visitors since it opened in 1979. Finally, the Doctor's House on Nashville Road started out as a modest tea room in 1967 and has since grown into a full-service restaurant, banquet facilities and a chapel, now the largest private attraction in Kleinburg – hosting banquets, conventions and weddings.

In 1967 the Binder Twine Festival was revived under the leadership of Mr. Vic Ryder and has been an annual event ever since, now considered one of the highlights of village life. The funds it generates have contributed to parks, building and storefront restoration, school trips, fireworks displays and countless other community projects.

3.0 The Kleinburg – Nashville Heritage Conservation District Plan

3.1 Background and Origin of the Plan

Due to concerns over the rapid growth in the commercial core of Kleinburg expressed in the 1980's, Vaughan Council started the process of studying the feasibility of a Heritage Conservation District in 1985 with the passing of By-law No. 257-85, which authorized staff to investigate the potential benefits of such a District. A preliminary study was carried out by Loredana Margiotta in April 1993 and a study area was identified which encompassed both sides of the Islington Avenue commercial district, Napier Road, John Street, Kellam Street, Main Street, Centre Street and portions of Stegman's Mill Road and Nashville Rd. Subsequently, a Community Plan was prepared for Kleinburg – Nashville and adopted by Council on Sept. 25, 2000 in the form of Amendment 601 to the Official Plan.

As a result of recommendations contained in the Community Plan, Council decided in July 2000 to undertake the necessary steps to commence a Heritage Conservation District Study. Following consultation with Heritage Vaughan, in November 2001 Council approved a by-law (no. 468-2001) defining an area to be examined for future designation as a Heritage Conservation District. A consultant was retained in August 2002 and the Plan was completed in early 2003. The Kleinburg - Nashville Heritage Conservation District Plan was adopted through the passing of By-law no. 183-2003 (see Appendix 2) on June 23, 2003.

3.2 Applicable District Plan Provisions

3.2.1 Overall Goal

The overall goal of the Kleinburg-Nashville District Plan is, as stated on section 5.1 of the document, "to ensure the retention of the District's heritage resources and to guide change so that it contributes to and does not detract from the District's architectural, historical, and contextual character."

3.2.2 Objectives of the Plan

Section 9.1, Overview, explains that the intent of the Guidelines is *"to preserve the heritage character of the District. The objective is not to prevent change, but to ensure that change is complementary to the heritage character of the District and enhance, rather than harm it."*

3.2.3 Future development in the District

Two objectives for future development are set out in section 5.2.5 of the Plan:

To encourage new development that will enhance the heritage character of the District as infill construction on vacant lands and replacement construction or alterations to non-heritage buildings.

To guide new development so it can provide for contemporary needs, and to ensure its design will be compatible with and complimentary to the character of the District and the heritage resources within.

Section 6.3 incorporates policies for new development, which is intended to "complement and enhance the heritage character of the District":

New development should be limited to vacant sites or to sites currently occupied by unsympathetic buildings.

New development within the District should be consistent with the Guidelines in Section 9.5.

3.2.4 Design Guidelines for new Development

A discussion on Architectural Styles found in section 9.2 of the Plan contains the advice that “new developments should be designed in a style that is consistent with the vernacular heritage of the community. All construction should be of a particular style, rather than a hybrid one ...Recent designs have tended to use hybrid designs, with inauthentic details and proportions; for larger homes, the French manor or chateau style (not indigenous to Ontario) has been heavily borrowed from. These kinds of designs are not appropriate for the District.

The section then continues with sketches showing the characteristics of the local architectural style, as follows:

- (a) Vernacular “loyalist” cottage – 1800 – 1850
- (b) Victorian Gothic Revival – 1850 – 1880
- (c) Victorian Vernacular – 1850 – 1880
- (d) Georgian Neo-Classical – 1800 – 1830
- (e) Regency Cottage – 1810 – 1840
- (f) Italianate – 1850 – 1870
- (g) Edwardian – 1900 – 1920
- (h) Split-level Ranch – 1955 – 1985
- (i) Modern Movement – 1930’s – 1970

It should be noted that the latter two categories are classified as “non-heritage” styles in the District Plan. The existing bungalow on the subject property doesn’t fit into any of these styles.

Section 9.5 of the Plan provides detailed guidelines for new development in the District. In the Overview of this section the Plan states:

New development within the District should conform to qualities established by neighbouring heritage buildings, and the overall character of the setting. Designs should reflect a local heritage precedent style. Research should be conducted so that the style chosen is executed properly, with suitable proportions, decoration, and detail.

Most of the guidelines in the Plan pertain to Islington Avenue, the main commercial corridor of the village. In fact, Main Street is rarely mentioned in the District Plan.

Section 9.2.2 outlines examples of non-heritage styles of residential architecture:

- Vernacular Cape Cod cottage
- Ranch house
- Split-level ranch
- Modern movement

It further goes on to explain the basic characteristics of modern domestic styles:

- Strong horizontal emphasis
- Flat roofs with overhangs
- Large chimney(s)
- Natural materials – stone, brick, wood
- Large windows

4.0 Description of Cultural Heritage Resources on Subject Property

The existing building at 27 Main Street, Kleinburg is a one storey residence with a partial basement, constructed in the 1960's, with various additions over the years.

The building is a series of pitched shingle roofs with vertical board and batten siding, with single glazed windows in wooden frames. There is an existing artificial stone fireplace near the main entrance. An addition to the east of the entrance is composed of artificial stone base and wood windows, with a single vehicle garage.

There are wooden decks at the north and west sides of the building with views to the valley below.

The interior exposes the sloped wood roof structure above the kitchen and living areas. Adjacent to the stone fireplace at the entrance are stained glass windows.

The property has no important heritage value.

5.0 Description of Proposed Development

The proposed development to replace the existing **single-family** residence at 27 Main Street, Kleinburg consists of a combination of retaining part of the existing home and adding a new two storey addition along the front.

It includes exterior and interior renovations to the existing home and a new addition with various level flat roofs, and an outdoor terrace on the second floor. Exterior materials include cut rough stone, horizontal wood siding and metal fascias at the horizontal roof lines.

The proposed home is reminiscent of the Usonian homes of Frank Lloyd Wright, which include the characteristics of flat roofs, large overhangs, natural lighting through vertical and clerestorey windows, and natural materials.

A two-vehicle garage replaces the single vehicle garage at the southeast corner of the building. The existing deck of the original home is to be retained, with new railings added.

6.0 Conformity of Development Proposal to the District Guidelines

The proposed development at 27 Main Street, Kleinburg is external and internal renovations to the existing home, in combination with a new two storey addition along the front of the building.

The neighbourhood is an eclectic mix of one storey and two storey homes with various exterior materials used including, brick, stone, and wood siding. The proposed home uses cut rough stone and horizontal wood siding, which are complimentary with the existing neighbourhood materials.

The proposed home is modern in style with a combination of simple shapes and various level flat roofs. Exterior materials include cut rough stone, horizontal wood siding and metal fascia siding at the roof lines. Windows are a combination of individual and grouped rectangular openings. It includes elements of the Usonian style homes of Frank Lloyd Wright with overhangs, clerestorey windows and natural materials. The garage doors blend well with the horizontal wood siding of the home.

The proposed home is complimentary to the existing mix of residential styles in the neighbourhood.

7.0 Conclusions and Recommendations

7.1 Conclusions

The development as currently proposed involves a renovation in which the rear portion of the bungalow would be retained and an addition being constructed at the front, part of which would be two storeys. Because the property is located within the Kleinburg-Nashville Heritage Conservation District, any alterations to the property must be approved by Council.

Section 9.2 of the District Plan outlines the existing architectural styles present in Kleinburg, including “non-heritage styles” in section 9.2.2. The Modern Movement style, revived around 1990, generally features a one-storey, very informal plan which fits into the landscape, with floor levels following the contours of the lot. It has a strong horizontal emphasis and features flat roofs with large overhangs; roofs often overlap and vary in height. Natural materials are normally used, i.e. fieldstone, brick and wood. Large windows along with a very large chimney are common.

The proposed design is clearly Modern with elements of Usonian style homes and has most of the characteristics of this architectural style as described in the District Plan. Although it would appear to be the largest dwelling on the block, it is located on a very wide lot and would therefore not dominate the streetscape of Main Street. The rear of the house takes good advantage of the outstanding view of the Humber River to the north, but at the same time the proposed dwelling has a pleasing façade facing onto the street.

In our view, the proposed design is in keeping with the policies and design guidelines of the Kleinburg-Nashville District Plan.

7.2 Recommendations

It is recommended that a heritage permit be issued for the proposed development at 27 Main Street. We do not consider it necessary to require measured drawings of the existing bungalow, as it is not considered to have heritage significance. By the same token, we do not feel it would be appropriate to install a commemorative plaque on the property.

Respectfully submitted,



Robert A. Martindale, MCIP, RPP, CAHP
Martindale Planning Services

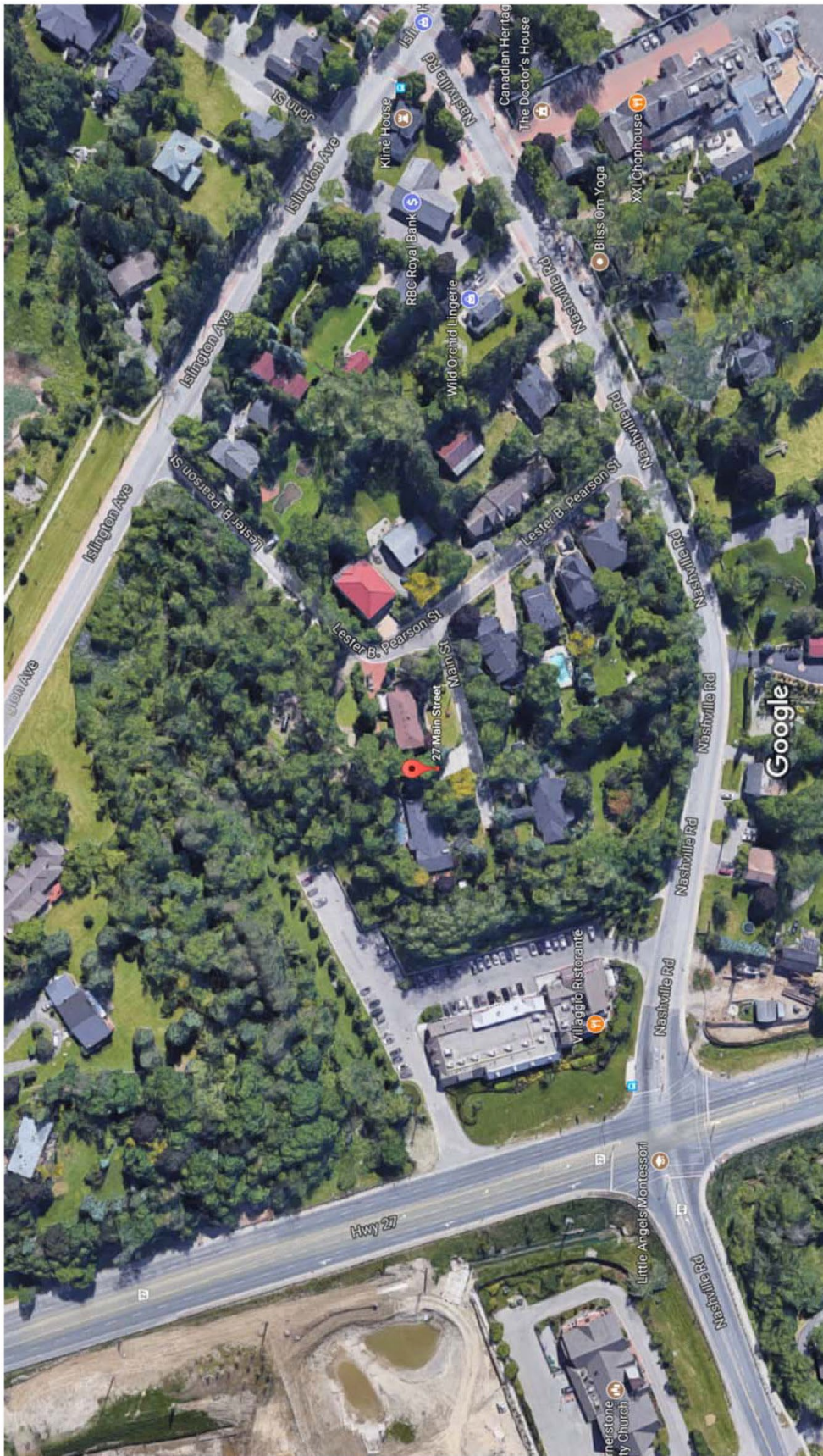


D.L. Bryan, P. Eng., OAA, MRAIC, CAHP
Barry Bryan Associates

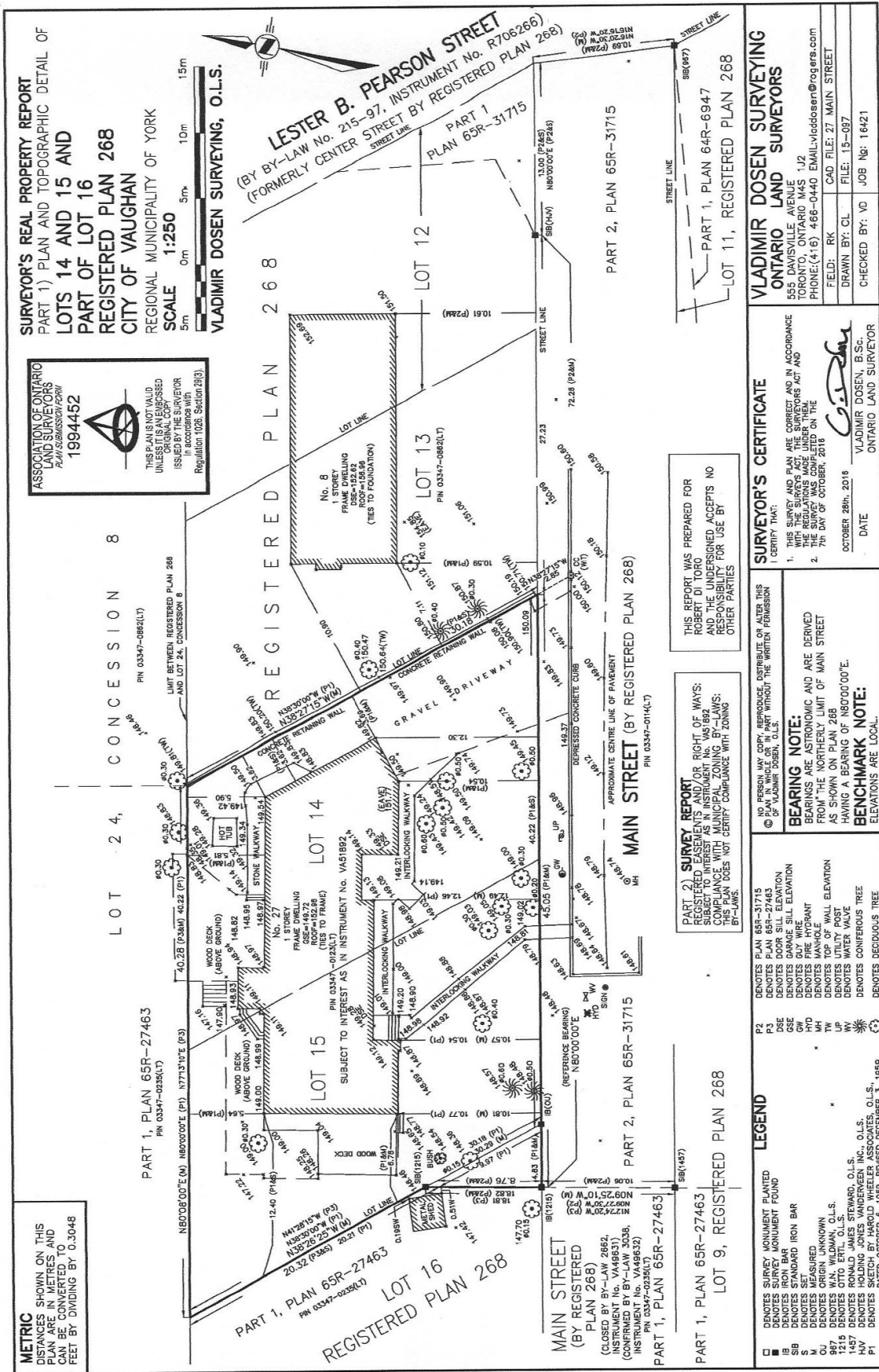
FIGURES

1 – Location Map

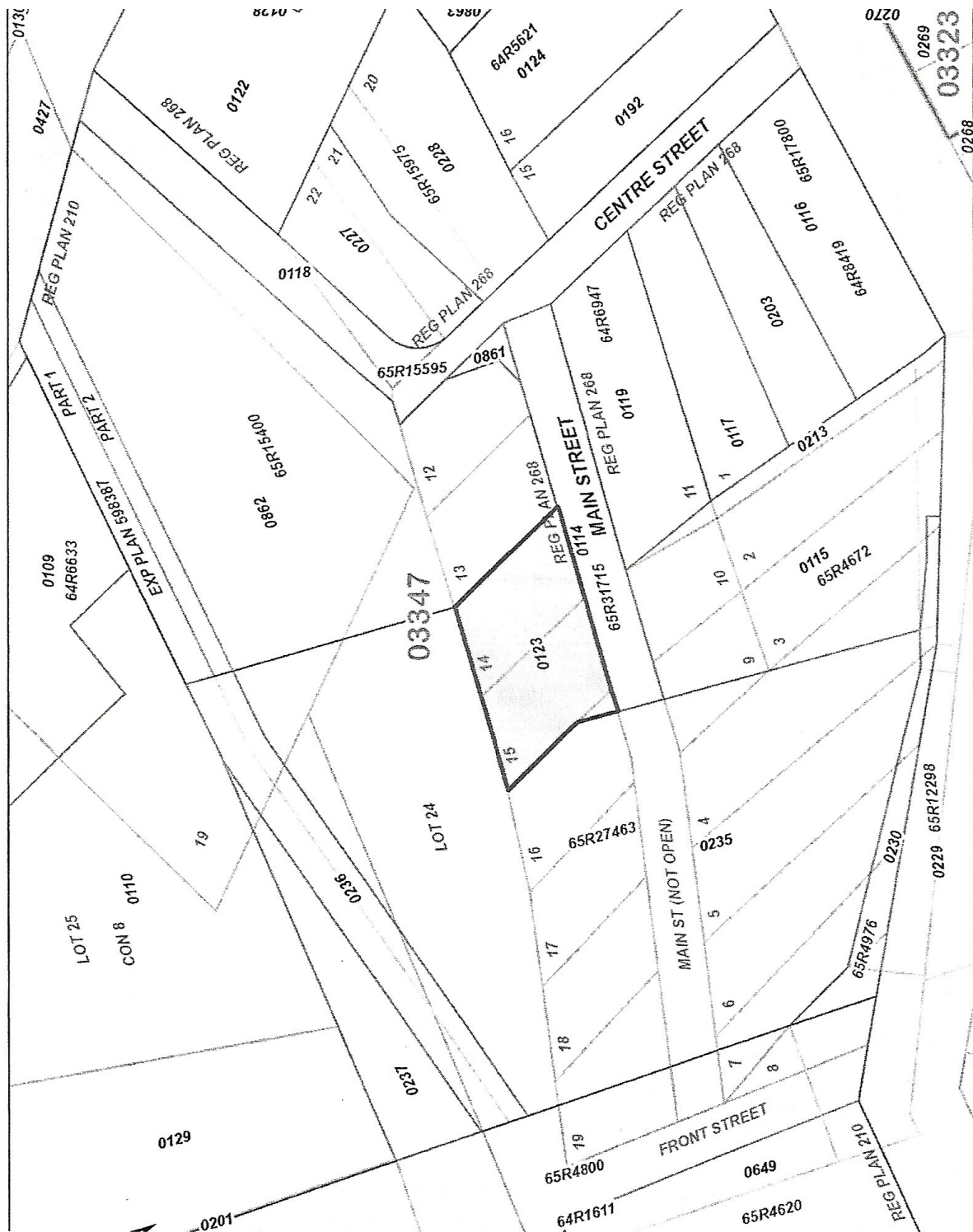
Google Maps 27 Main St



Imagery ©2017 Google, Map data ©2017 Google Canada 20 m



3 – Parcel Fabric



4 – Proposed Drawings

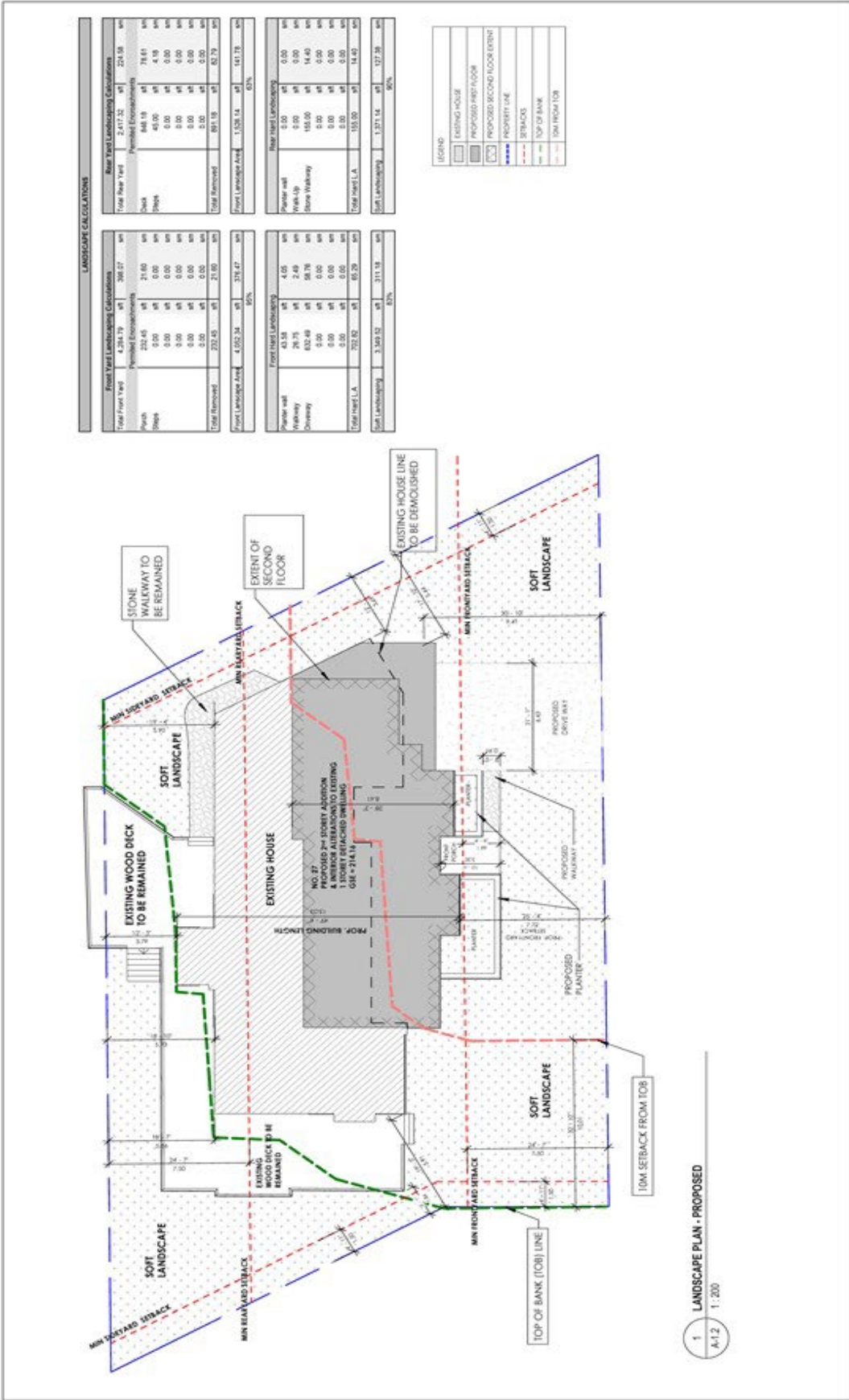


<p>The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:</p>	<p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under 12.13.13 Division C of the Ontario Building Code</p> <p>NAME: <u>Michael J. [Signature]</u> DESIGNER: <u>43250</u> BCIN: <u> </u></p>	
	<p>INFORMATION INFORMATION</p> <p>Required unless design is exempt under 12.1.7 Division C of the Ontario Building Code</p> <p>SPONSORING FUND: <u>44972</u> BCIN: <u> </u></p>	

Do not scale drawings.
Contractor shall check and verify all dimensions and report any omissions or discrepancies to Conspectus Audio before proceeding with work.
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Project number:	2020-41
Drawing:	COVER PAGE
Scale:	
Date:	DECEMBER, 2021
Drawn by:	M.F.
Approved by:	M.L.
Drawing Number:	

A-0



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info@contempstudio.ca
w. contempstudio.ca
T. (416) 770-0071
F. (416) 642-1461

PROJECT INFORMATION

Project Number: 2020-41
Drawing: A-1.2
Scale: As Indicated
Client: M.C. 2020
Drawn by: M.J.
Approved by: M.J.
Drawing Number: 48977

PROPOSED RENOVATION

AT
27 MAIN ST

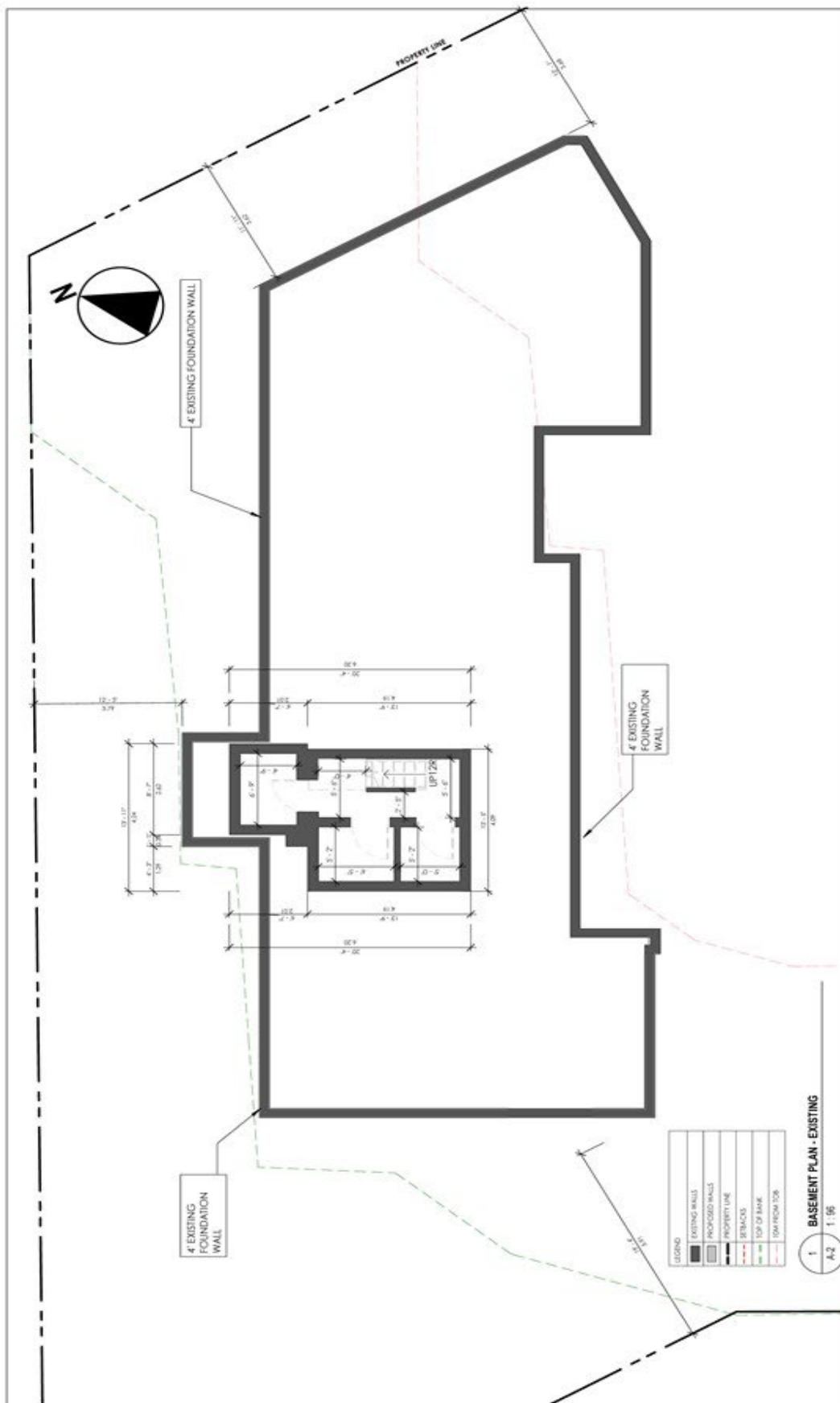
Do Not Scale Drawings
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any discrepancies to the architect prior to construction.
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and shall not be copied, in part or whole, without prior
written permission.

The undersigned has reviewed and taken responsibility for this
design and has the qualifications and meet the requirements set
out in the Ontario Building Code to sign the work shown on this
drawing.

QUALIFICATION INFORMATION

Required unless design is exempt under 12.2.4.3.3. Division C of
the Ontario Building Code.

NAME: M. J. 48977
SIGNATURE: [Signature]
DATE: 12/1/2020
PROFESSION: ARCHITECT
REGISTERED UNDER 12.2.4.3.3. Division C
of the Ontario Building Code.
EXPIRATION DATE: 12/31/2025



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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION

NAME	MARTIN TAYLOR	4020	BOON
Required unless design is exempt under 3.3.1.2 Division C of the Ontario Building Code.			
NAME	CONQUEST STUDIO	4027	BOON
Required unless design is exempt under 3.3.1.2 Division C of the Ontario Building Code.			

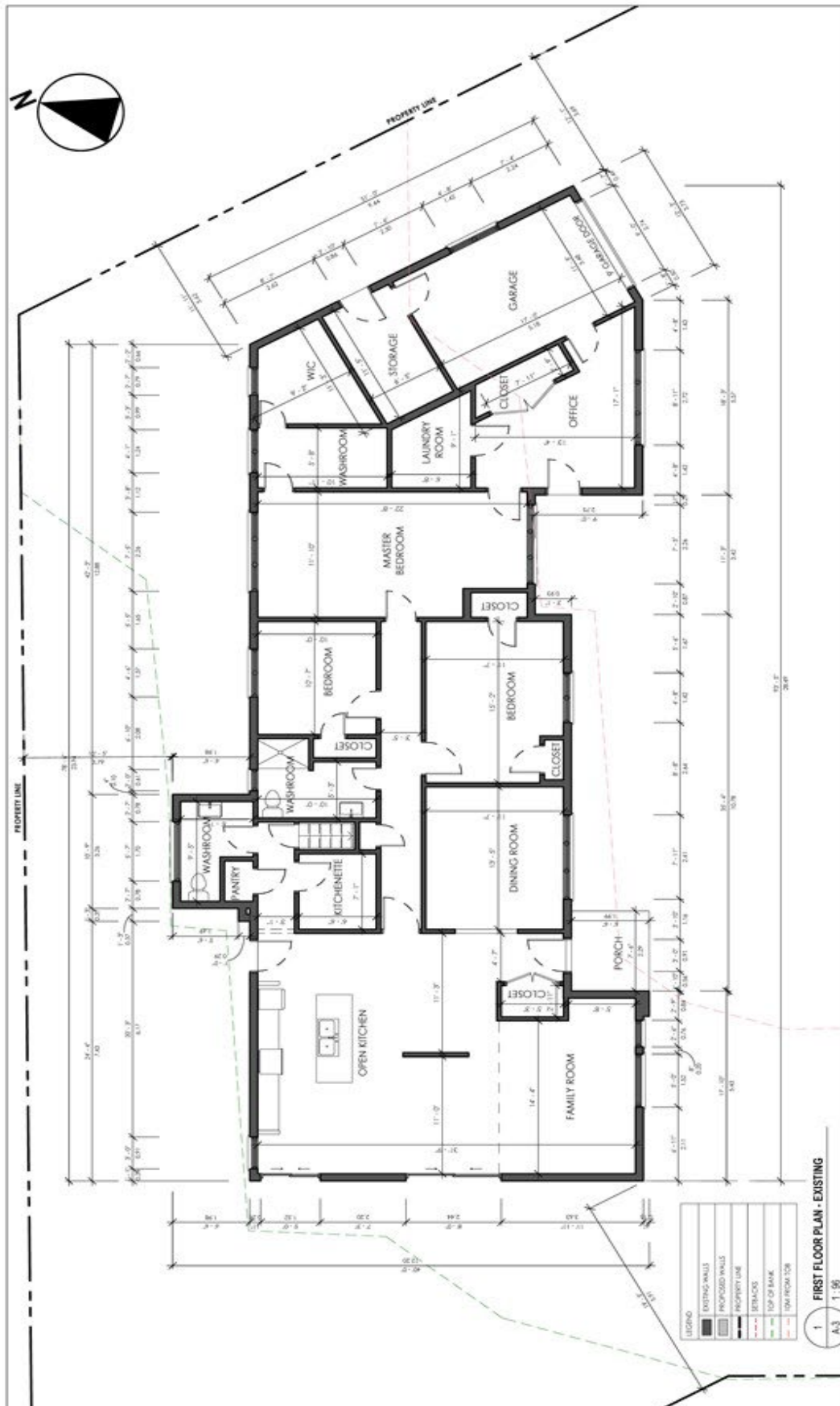
Do not write drawings.
Contractor shall check and verify all dimensions and report any omissions or discrepancies to Contempo Studio before proceeding with work.
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PROPOSED RENOVATION
AT
27 MAIN ST

Project Number:
Drawing:
Scale:
Date:
Drawn by:
Approved by:
Drawing Number:

2020-41
ENDING BALANCE
At December 31
DECEMBER, 2021
M.F.
M.T.

A-2



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The undersigned has reviewed (and) taken responsibility for this document and certifies that the information contained herein is true and correct and warrants the inclusion on the project in the Ontario Building Code to design the work shown on the enclosed documents.

QUALIFICATION INFORMATION
Required unless design is exempt under 32.2.3(2) Division C of the Ontario Building Code

NAME M. J. [Signature] 43020 BCN
MAILING ADDRESS SCHWABER

INFORMATION
Required unless design is exempt under 32.2.3(2) Division C of the Ontario Building Code

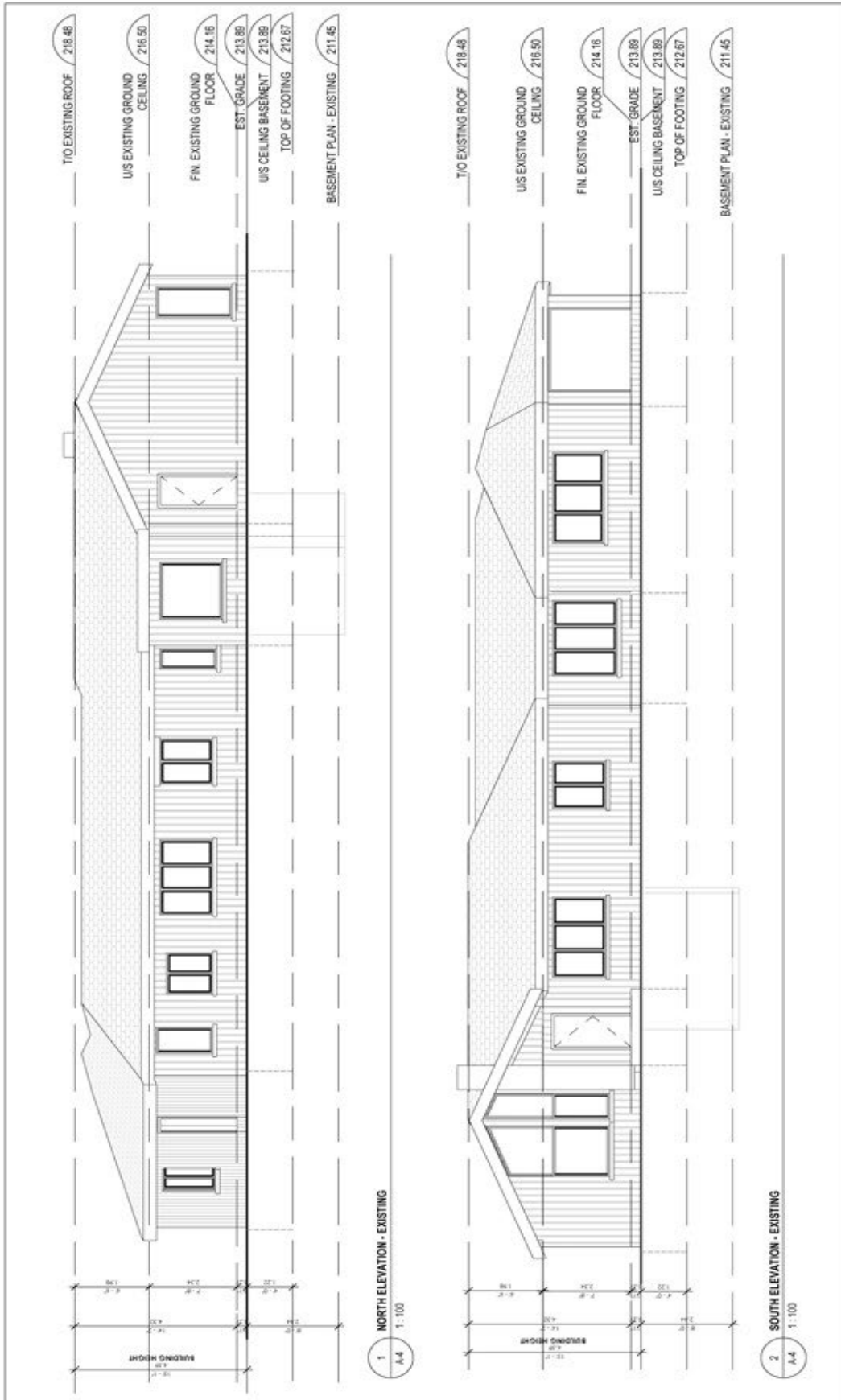
CONTINUOUS EDITION
NAME 44077 BCN

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PROPOSED RENOVATION
AT
27 MAIN ST

Project Number:	2020-41
Drawing	EXISTING FIRST PLAN
Scale:	As Indicated
Date:	OCTOBER, 2021
Drawn by:	M.P.
Approved by:	M.P.

A-3



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T: (416) 775-5151
F: (416) 642-1891

The undersigned has reviewed and takes responsibility for this design and construction documents and certifies that they comply with the Ontario Building Code and all applicable laws and regulations. The undersigned is a duly licensed professional engineer or architect in the Province of Ontario.

Required unless design is exempt under 3.2.7. Division C of the Ontario Building Code.

NAME: Michael J. Smith REGISTRATION NUMBER: 45320 B.C.N.
 TITLE: Engineer

Required unless design is exempt under 3.2.7. Division C of the Ontario Building Code.

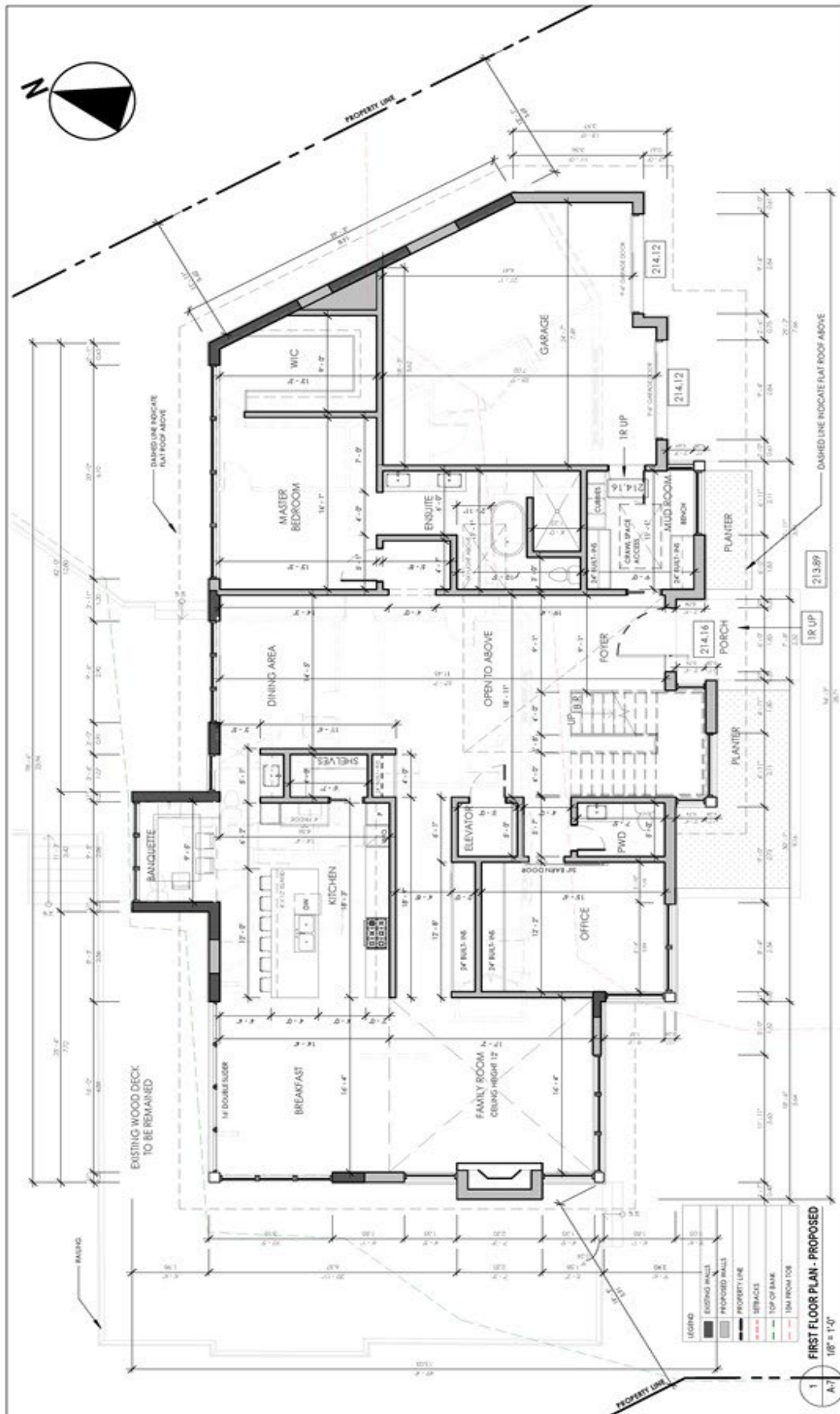
NAME: Michael J. Smith REGISTRATION NUMBER: 45320 B.C.N.
 TITLE: Engineer

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 All parts and specifications are the property of Contempstudio. No part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without written permission.

PROPOSED RENOVATION
 AT
 27 MAIN ST

Project Number: 2020-41
 Drawing: EXISTING ELEVATIONS - 1
 Scale: 1:100
 Date: 02/08/2021
 Drawn by: M.J.
 Approved by: M.J.
 Drawing Number:

A-4



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Toronto, Ontario M8Z 1P7
info@contemporary.ca
w, contemporary.ca
t, (416) 770-0071
f, (416) 642-1691

The undersigned has reviewed and takes responsibility for this design and construction documents and certifies that it complies with all applicable laws, rules, regulations, codes, standards, specifications, and contract documents.

I am the Ontario Building Code official responsible for reviewing and issuing permits for this project.

Signature _____ Date _____

Name _____ Title _____

Signature _____ Date _____

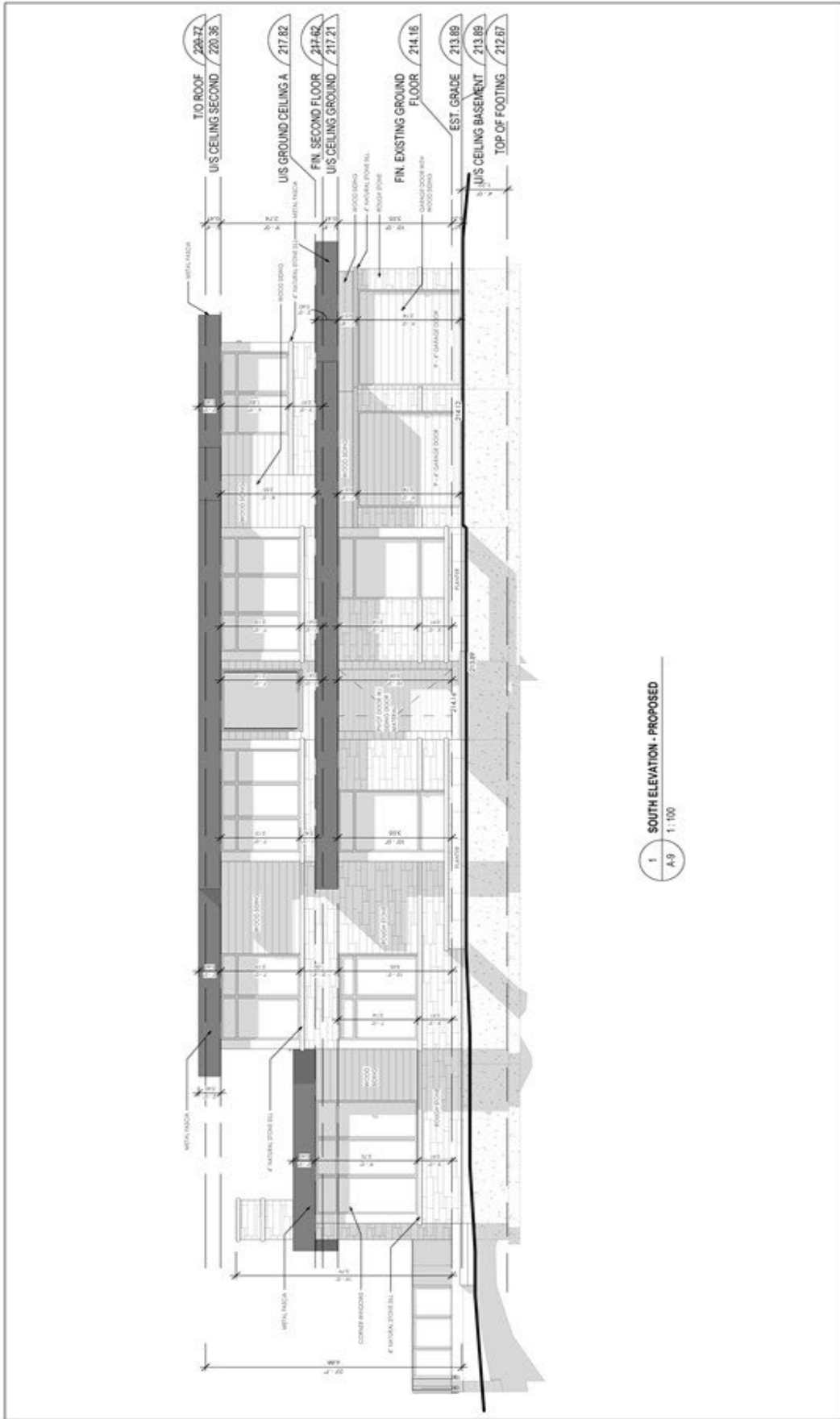
Name _____ Title _____

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Project number:	
Drawn by:	
Scale:	
Dated:	
Drawn by:	
Approved by:	

Project number:	
Drawn by:	

A-7



1 SOUTH ELEVATION - PROPOSED
A-9 1:100

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f. (416) 442-1891

The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meet the requirements set out in the Ontario Building Code to design the work shown on the attached drawings.

QUALIFICATION INFORMATION
Required unless design is exempt under 12.4.1.3. Division C of the Ontario Building Code.
NAME: MARINA JASENE
DESIGNATION: ARCHITECT
REGISTRATION INFORMATION
Required unless design is exempt under 12.4.1.3. Division C of the Ontario Building Code.
CONTINUOUS DESIGN
DESIGN NUMBER: 44073

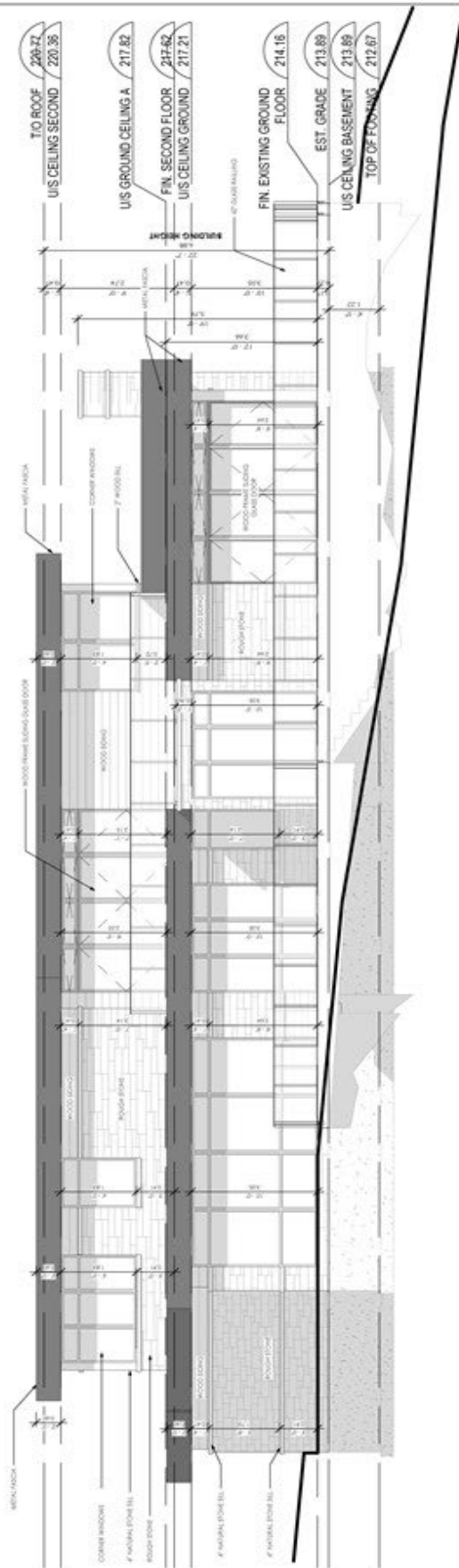
Do not scale drawings.
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PROPOSED RENOVATION
AT
27 MAIN ST

Project number:
Drawing number:
Scale:
Date:
Approved for:
Drawing number:

2023.11
PROPOSED SOUTH
ELEVATION
Scale:
Date:
Approved for:
Drawing number:

A-9



contempstudio

The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set forth in the Ontario Building Code to design the work shown on the enclosed drawings.

QUALIFICATION INFORMATION
Required: Undersigned design is stamped under 12.4.3.2(1) Division C of the Ontario Building Code.

NAME Mark ID# 43795 BORN BCN
STREET ADDRESS
CITY
PROVINCIAL INFORMATION
Required: Undersigned design is stamped under 12.4.3.2(1) Division C of the Ontario Building Code.

DESIGNED BY 44072
DATE BCN

Do not scale drawings.
Contractor shall check and verify all dimensions and report any omissions or discrepancies to Contempo Studio before proceeding with work.
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PROPOSED RENOVATION
AT
27 MAIN ST

Project number:	
Drawing:	
Scale:	
Date:	
Drawn by:	
Approved by:	
Drawing number:	

Drowning number:

A-10



1 EAST ELEVATION - PROPOSED
A-11
1/8" = 1'-0"

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f: (416) 642-1891

The undersigned has reviewed and taken responsibility for the design and the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.1.1. Division C of the Ontario Building Code.

DESIGNER INFORMATION
NAME: Michael A. Smith FIDP
FIRM NAME: contempostudio

REVISION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

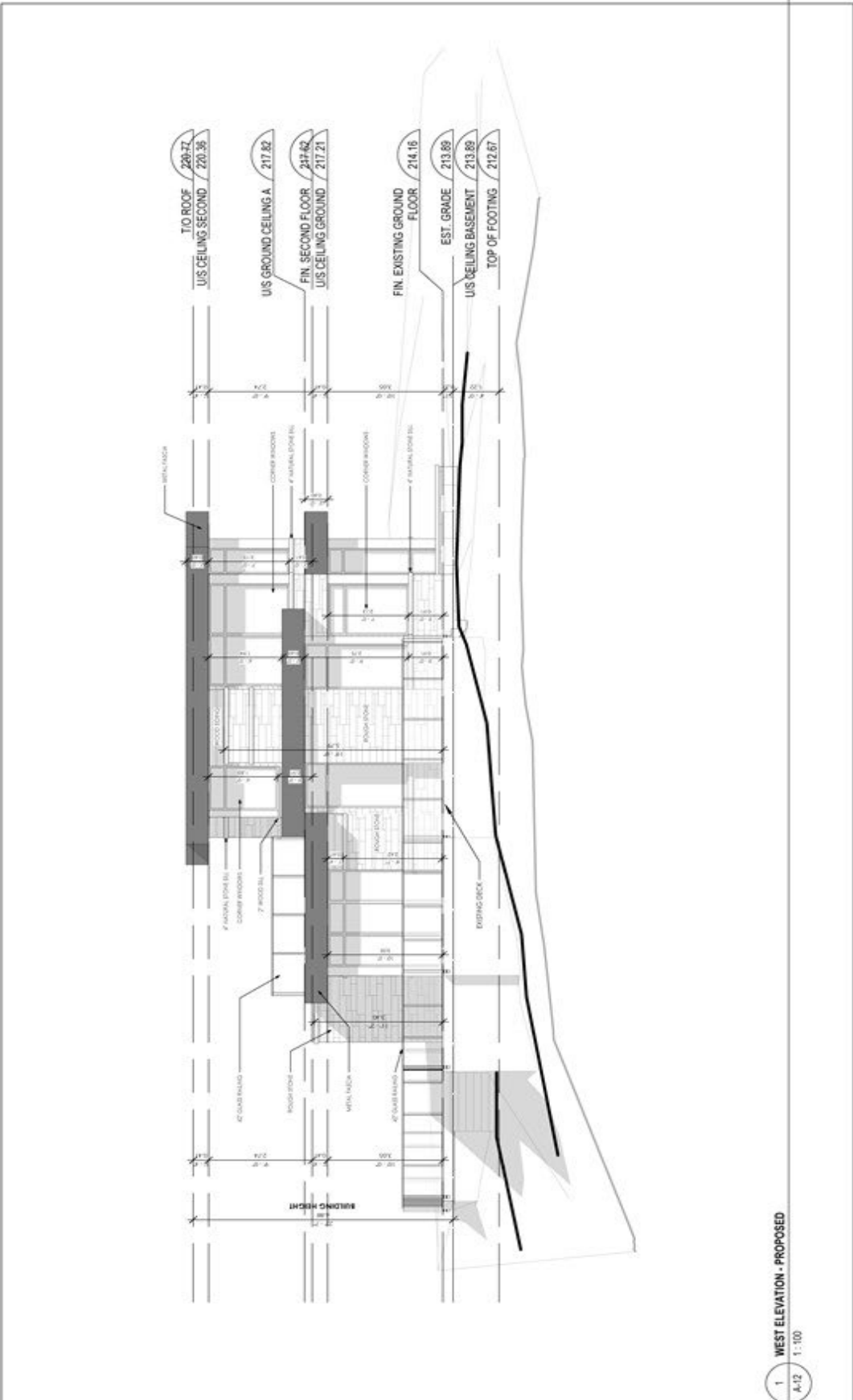
DATE: 2020-11-10

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Contractor shall check and verify all dimensions and report any discrepancies to the architect prior to construction.
Proceeding with work without written permission of the architect is at the contractor's risk.
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PROPOSED RENOVATION
AT
27 MAIN ST

Project Number: 2020-11
Drawing: PROPOSED ELEVATION
Scale: 1/8" = 1'-0"
Date: 22 NOVEMBER 2020
Drawn by: MA
Approved by: MA
Drawing Number: A-11

A-11



1 WEST ELEVATION - PROPOSED
A-12 1:100

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The undersigned has reviewed and taken responsibility for the design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

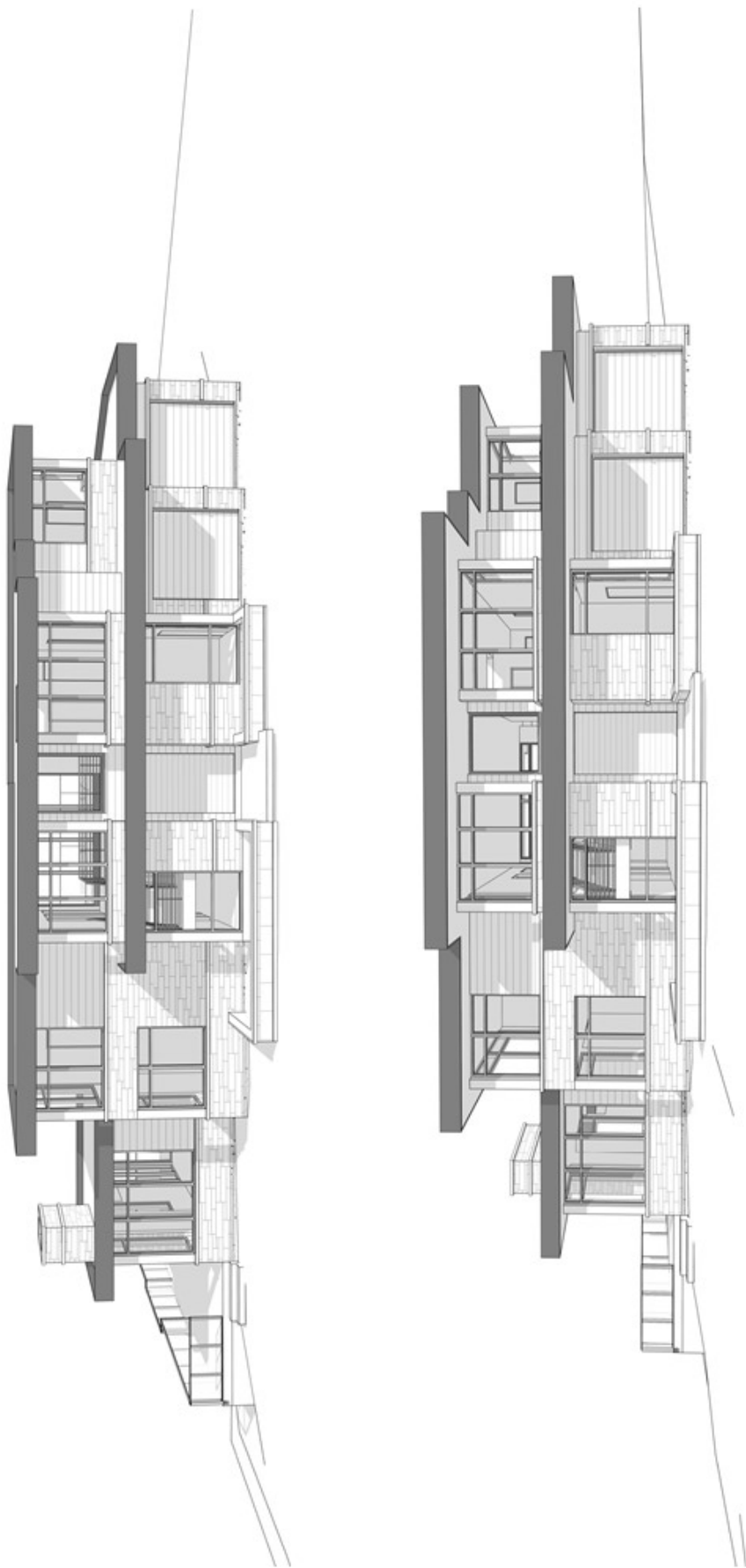
QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.5 (Division C of the Ontario Building Code)

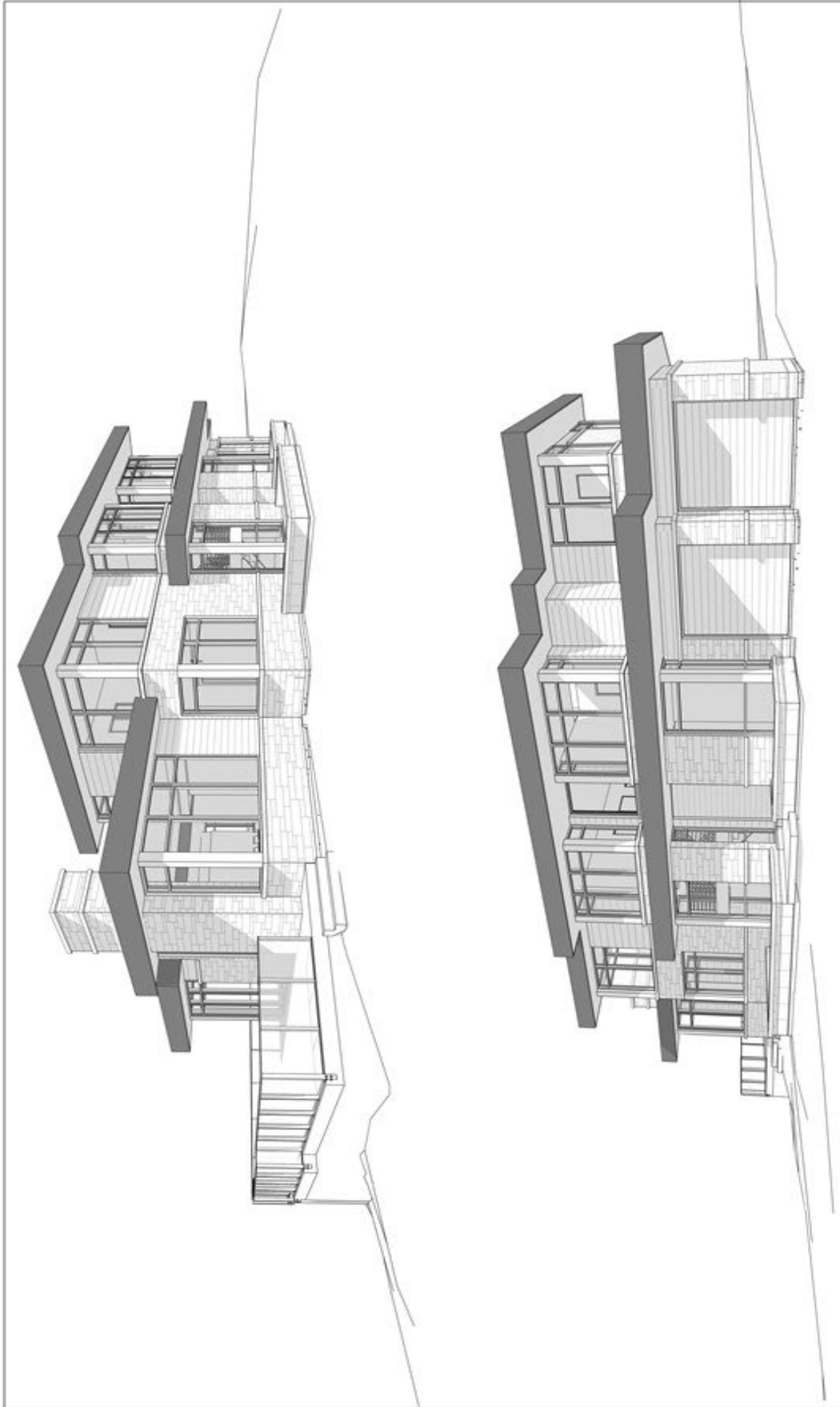
NAME: Michael J. Gaudin REGISTRATION NUMBER: 44552
FIRM NAME: CONTEMPSTUDIO FIRM REGISTRATION NUMBER: 44572

Do not scale drawings.
Contractor and check and verify all dimensions and report any omissions or discrepancies to Contempstudio before construction begins.
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PROPOSED RENOVATION
AT
27 MAIN ST

Project number: 2020-41
Drawing title: WEST ELEVATION
Scale: 1:100
Date: DECEMBER 2021
Approved by: M.J.
Drawing number: A-12





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f: (416) 642-1491

The undersigned has reviewed and taken responsibility for the design and the qualifications and meet the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
Required unless design is exempt under 12.4.3.13. Division C of the Ontario Building Code.
NAME: John J. Casella DESIGN: John J. Casella FIRM: ASIS

REGISTRATION INFORMATION
Required unless design is exempt under 12.4.7. Division C of the Ontario Building Code.
DESIGNER'S REGISTRATION NUMBER: 44877 REGISTRATION EXPIRATION DATE: 2025

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Contractor shall check and verify all dimensions and report any discrepancies to the architect prior to construction.
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PROPOSED RENOVATION
AT
27 MAIN ST

Project number:
Drawing:
Scale:
Date:
Drawn by:
Approved by:
Drawing number:

2024.41
30.11.2025
1:1
1/2" = 1'-0"
M.L.

A-14

5 – Proposed Renderings













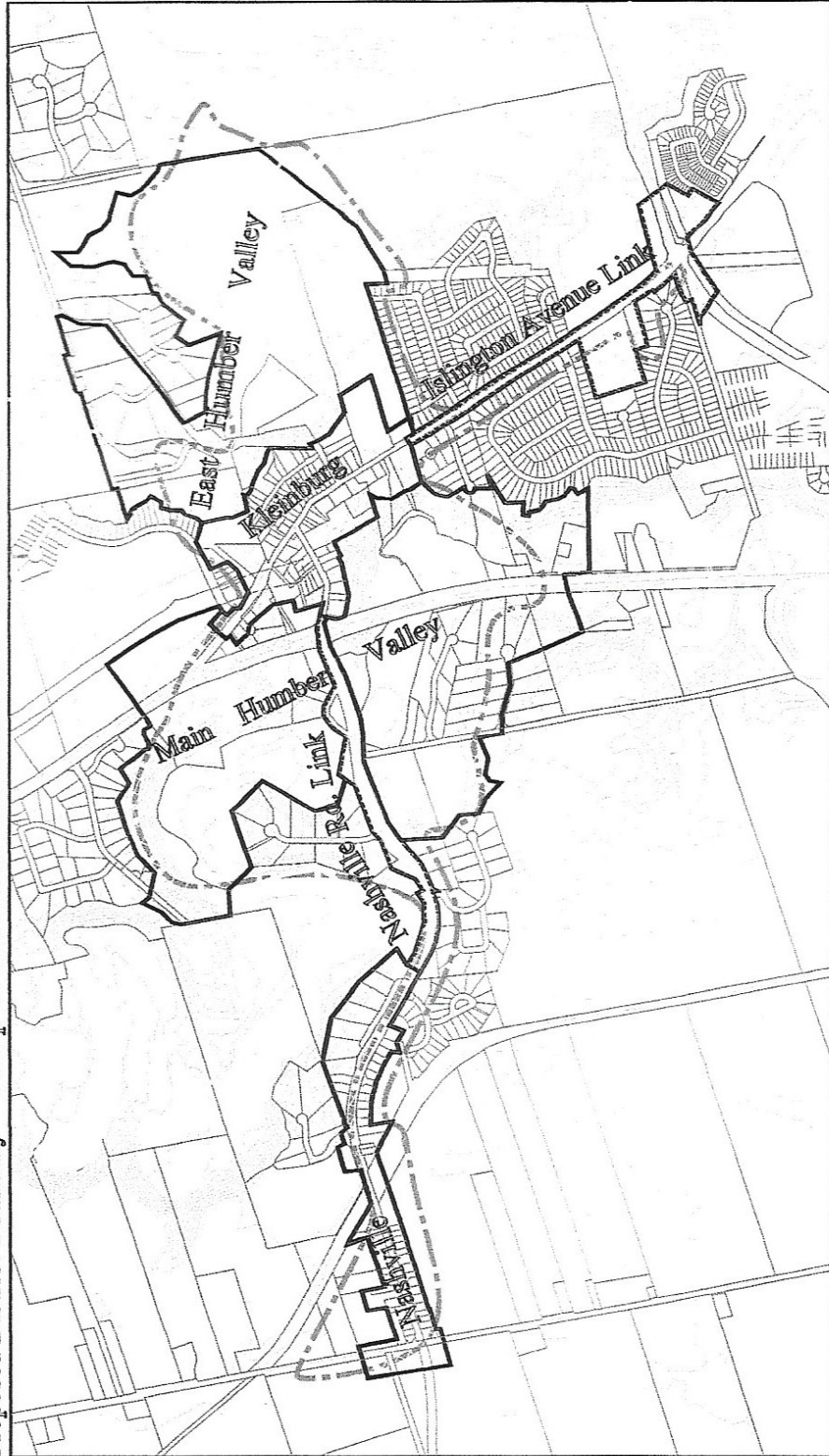


Kleinburg-Nashville
Heritage Conservation District Study
District Structure

Study Area

Elements of the District
Villages Road Links Valley Lands

Proposed District Boundary Phillip H. Carter Architect and Planner 21 March 2003



7A– Photos of Subject Property – Exterior



7B– Photos of Subject Property - Interior



8 – Photos of Surrounding Properties



Neighbour to East on Main Street



Neighbour to East on Main Street



Neighbour Across Street to South on Main Street



Neighbour two Homes East on Main Street

8 – Photos of Surrounding Properties



Lester B. Pearson Street



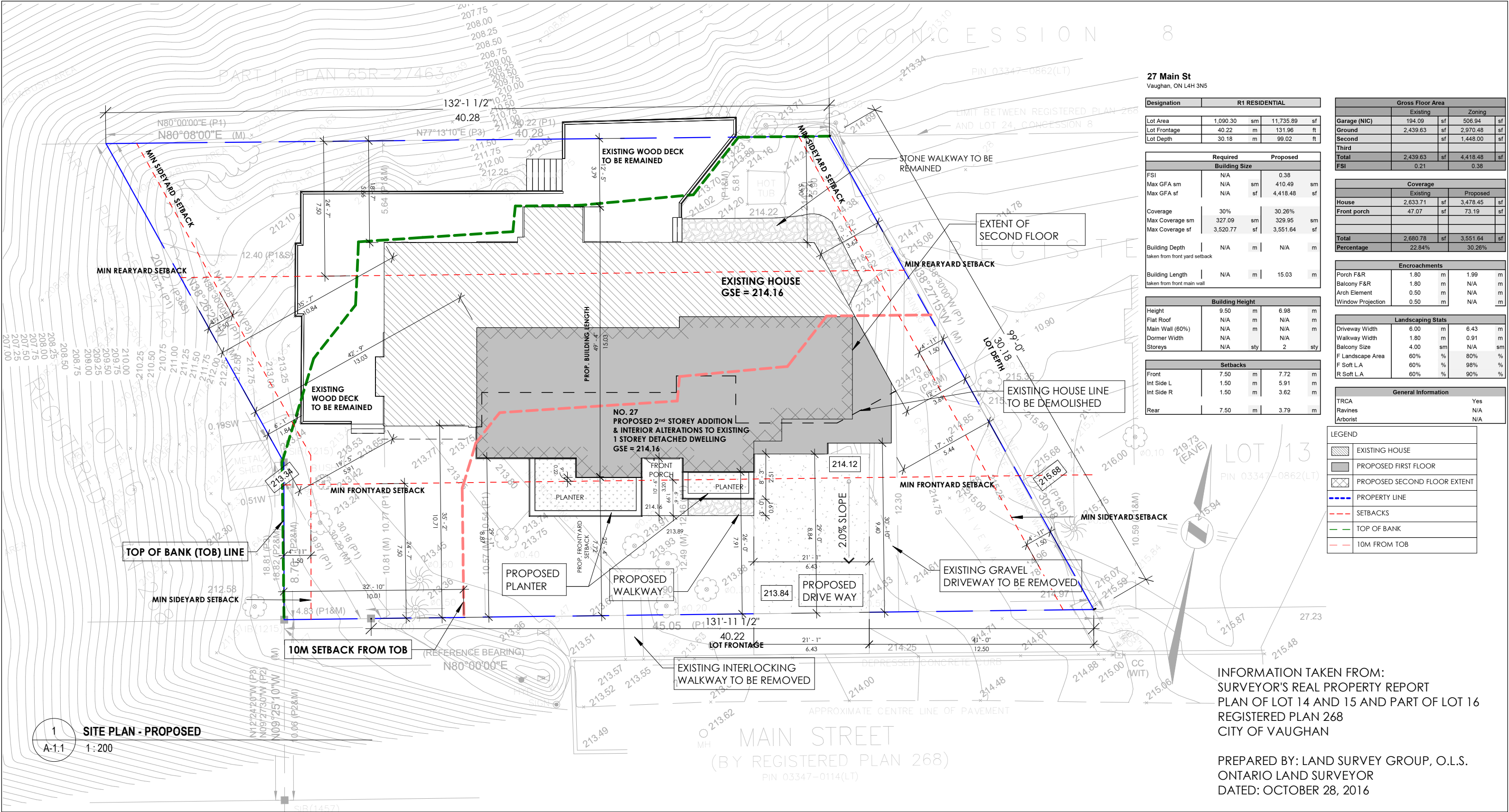
Lester B. Pearson Street

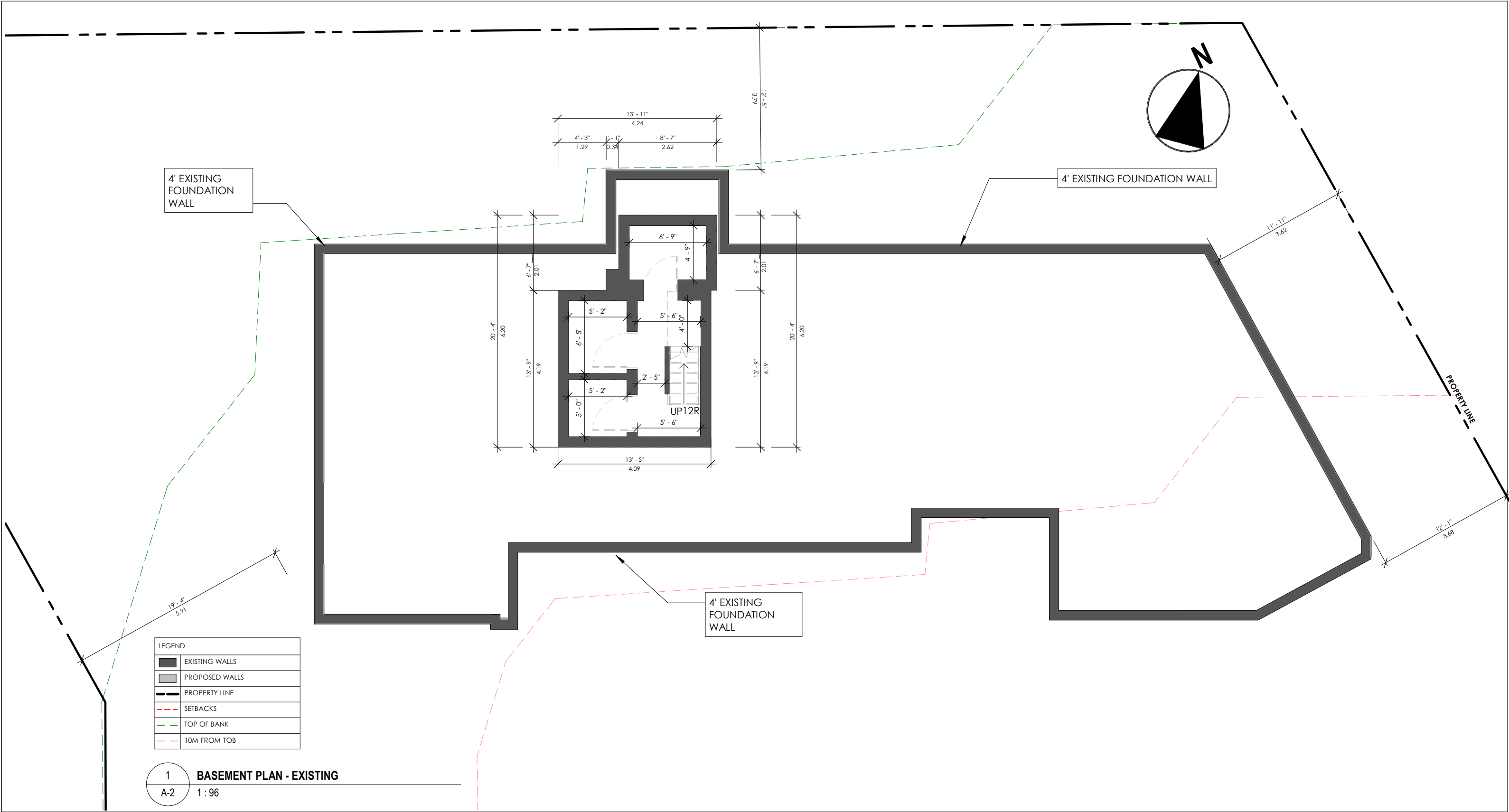


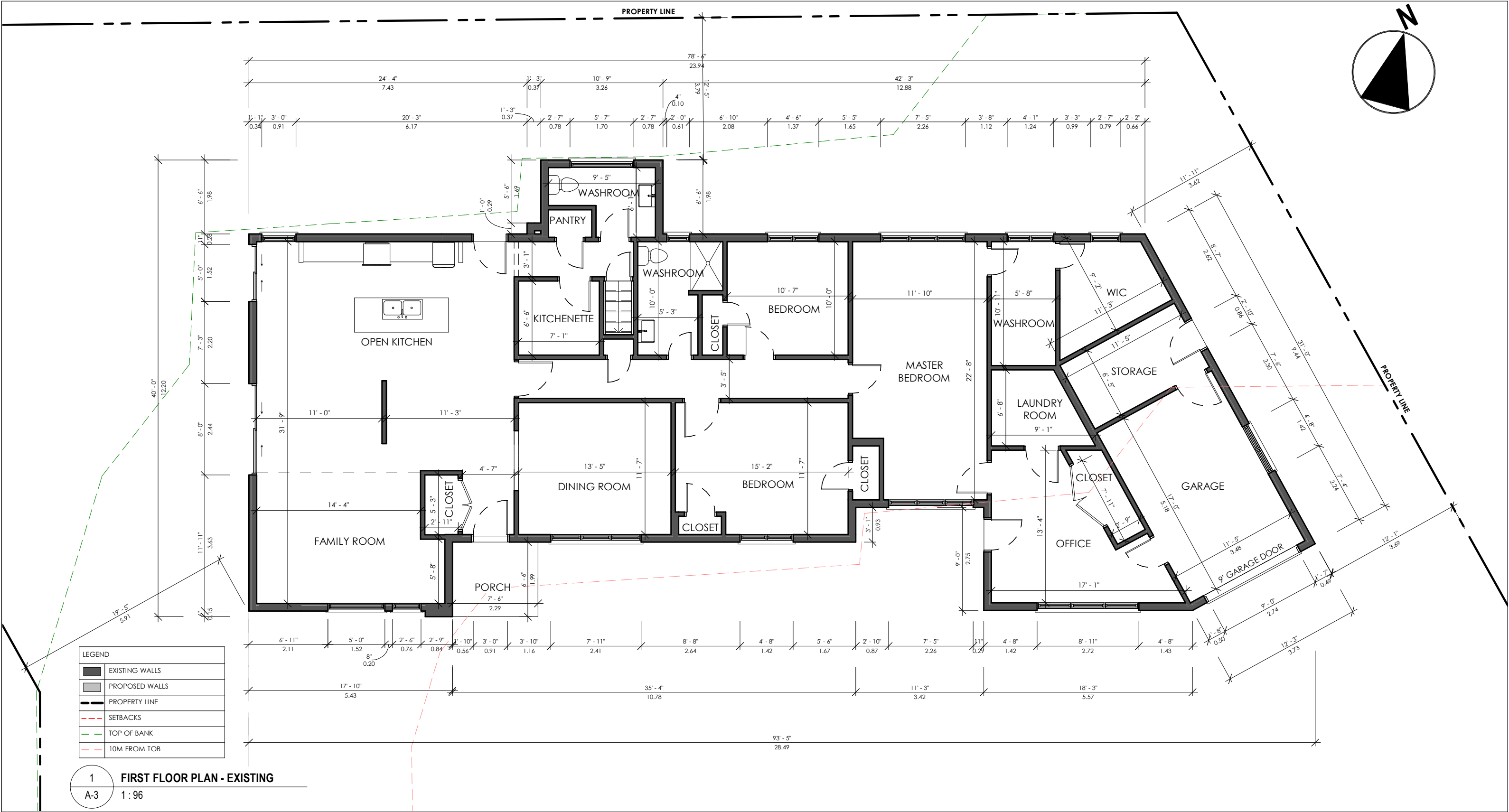
Neighbour to Southeast on Main Street



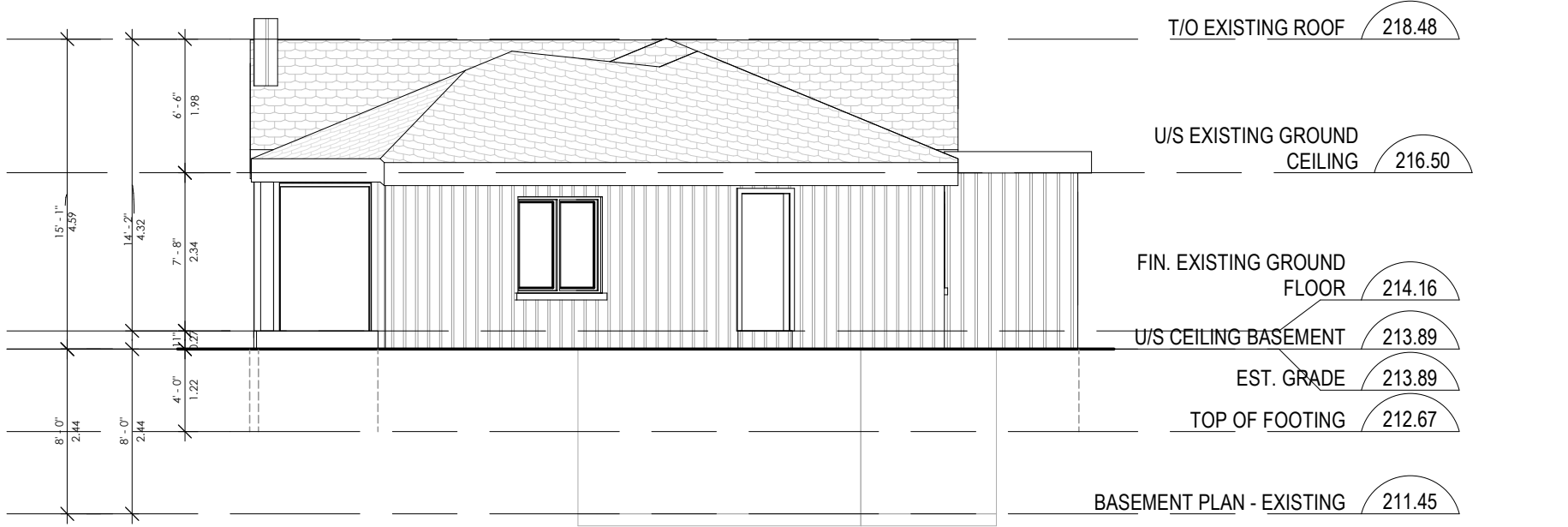
Lester B. Pearson Street



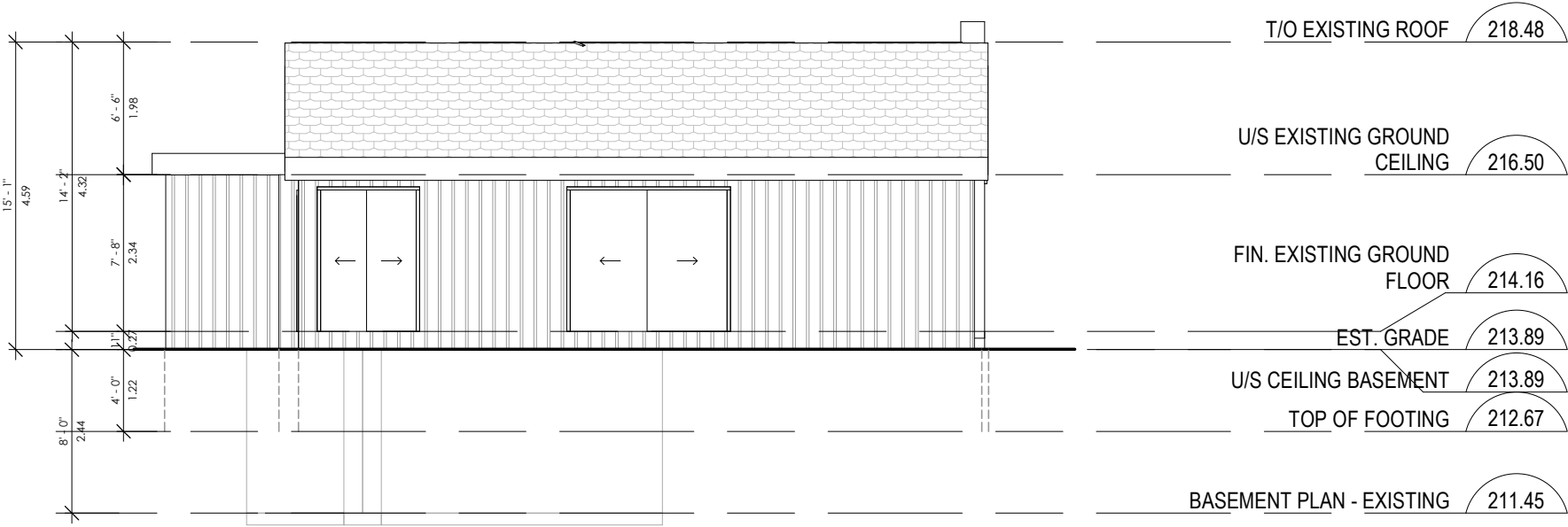








1 EAST ELEVATION - EXISTING
A-5 1 : 96



2 WEST ELEVATION - EXISTING
A-5 1 : 100

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f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.
MARIN ZABZUNI 45250
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.
CONTEMPO STUDIO 46972
FIRM NAME BCIN

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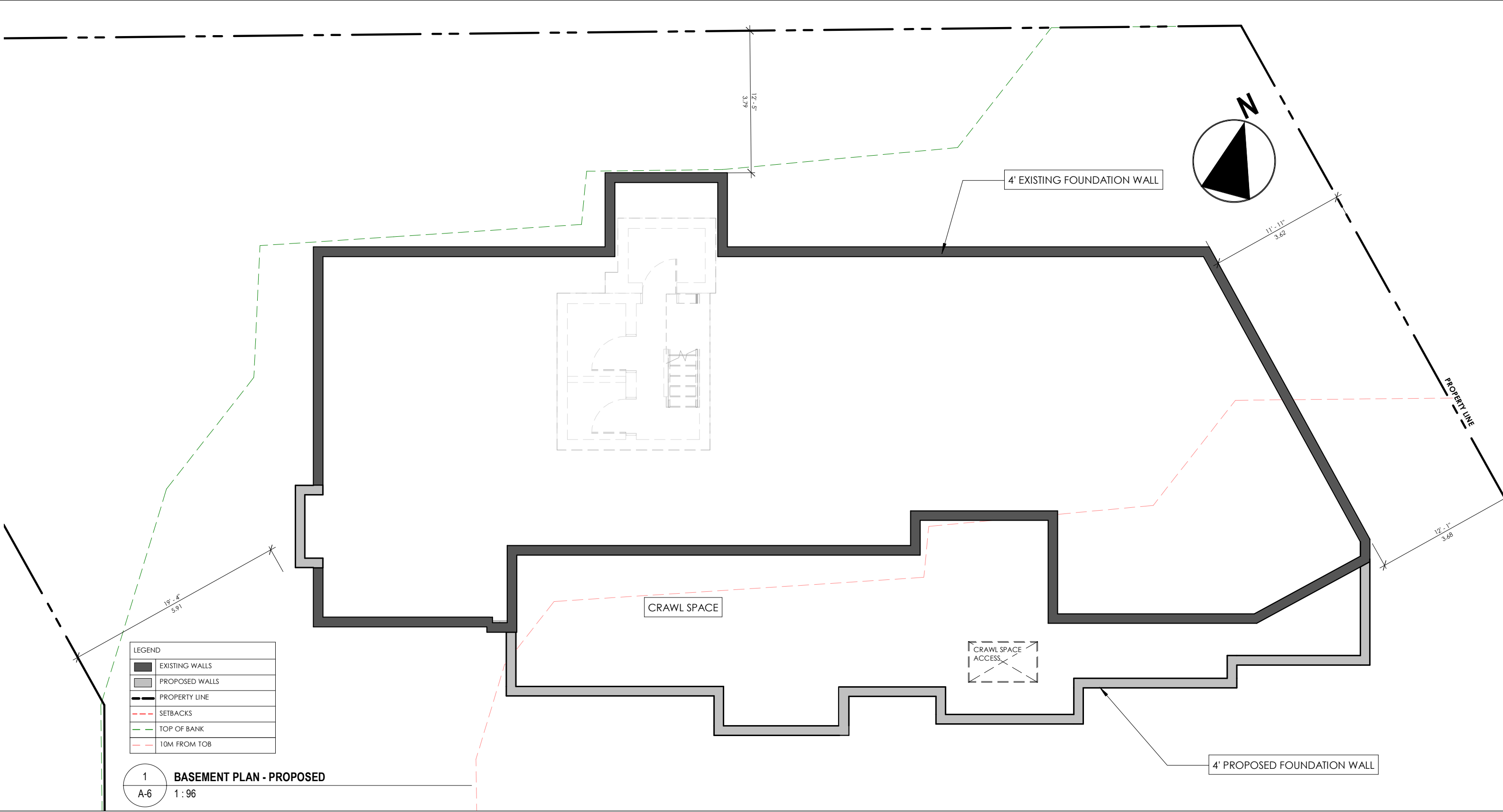
PROPOSED RENOVATION

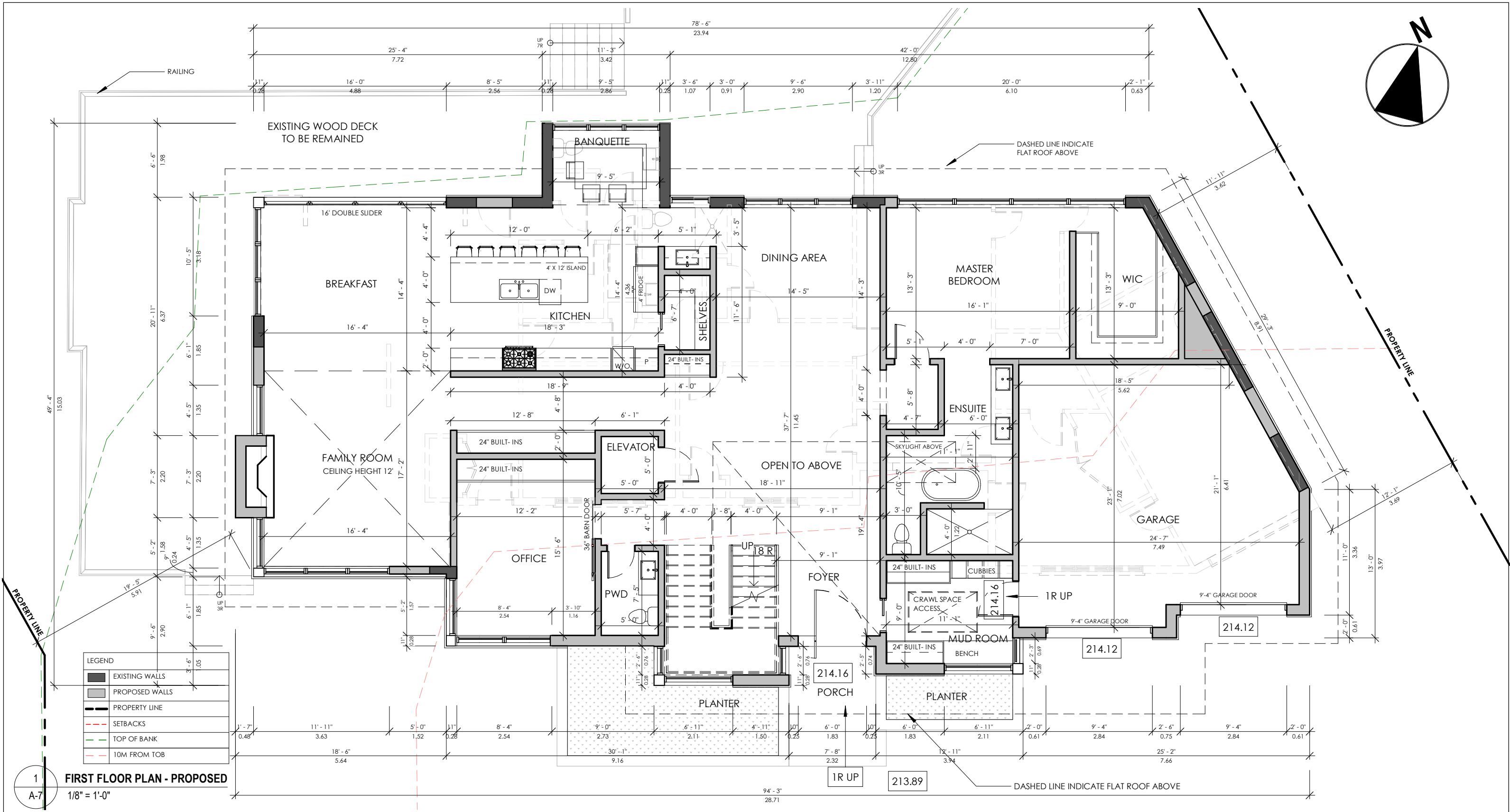
Page 62
27 MAIN ST

Project number: 2020-41
Drawing: EXISTING ELEVATIONS -2
Scale: As indicated
Date: DECEMBER, 2021
Drawn by: M.P.
Approved by: M.Z.

Drawing number:

A-5





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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI 45250
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972
FIRM NAME BCIN

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PROPOSED RENOVATION

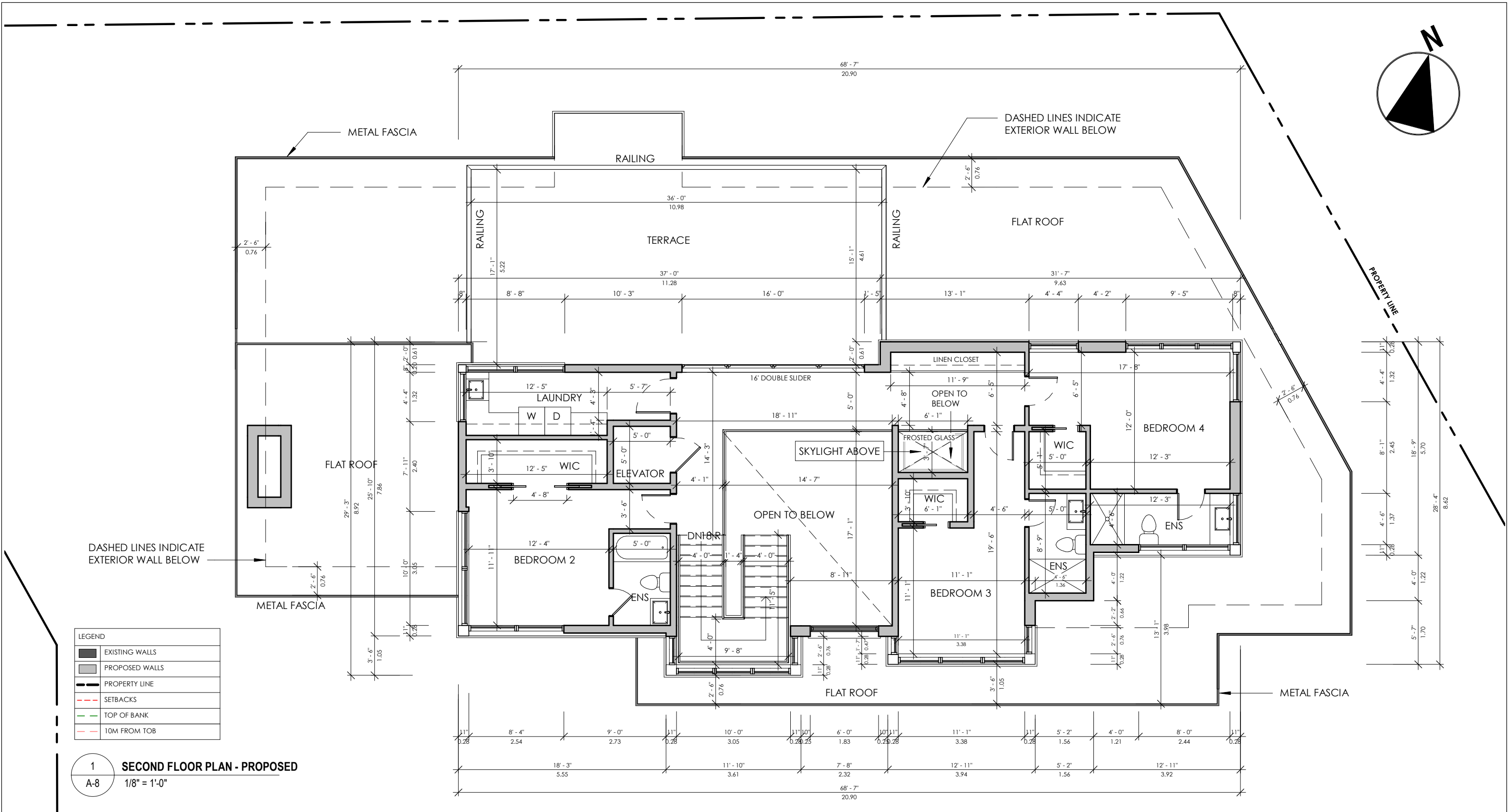
Page 64
27 MAIN ST

Project number:
Drawing:
Scale:
Date:
Drawn by:
Approved by:

2020-41
PROPOSED FIRST FLOOR
As indicated
DECEMBER, 2021
M.P.
M.Z.

Drawing number:

A-7



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w. contempostudio.ca
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f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI
NAME SIGNATURE BCIN 45250

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.
CONTEMPO STUDIO
FIRM NAME 46972 BCIN

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PROPOSED RENOVATION

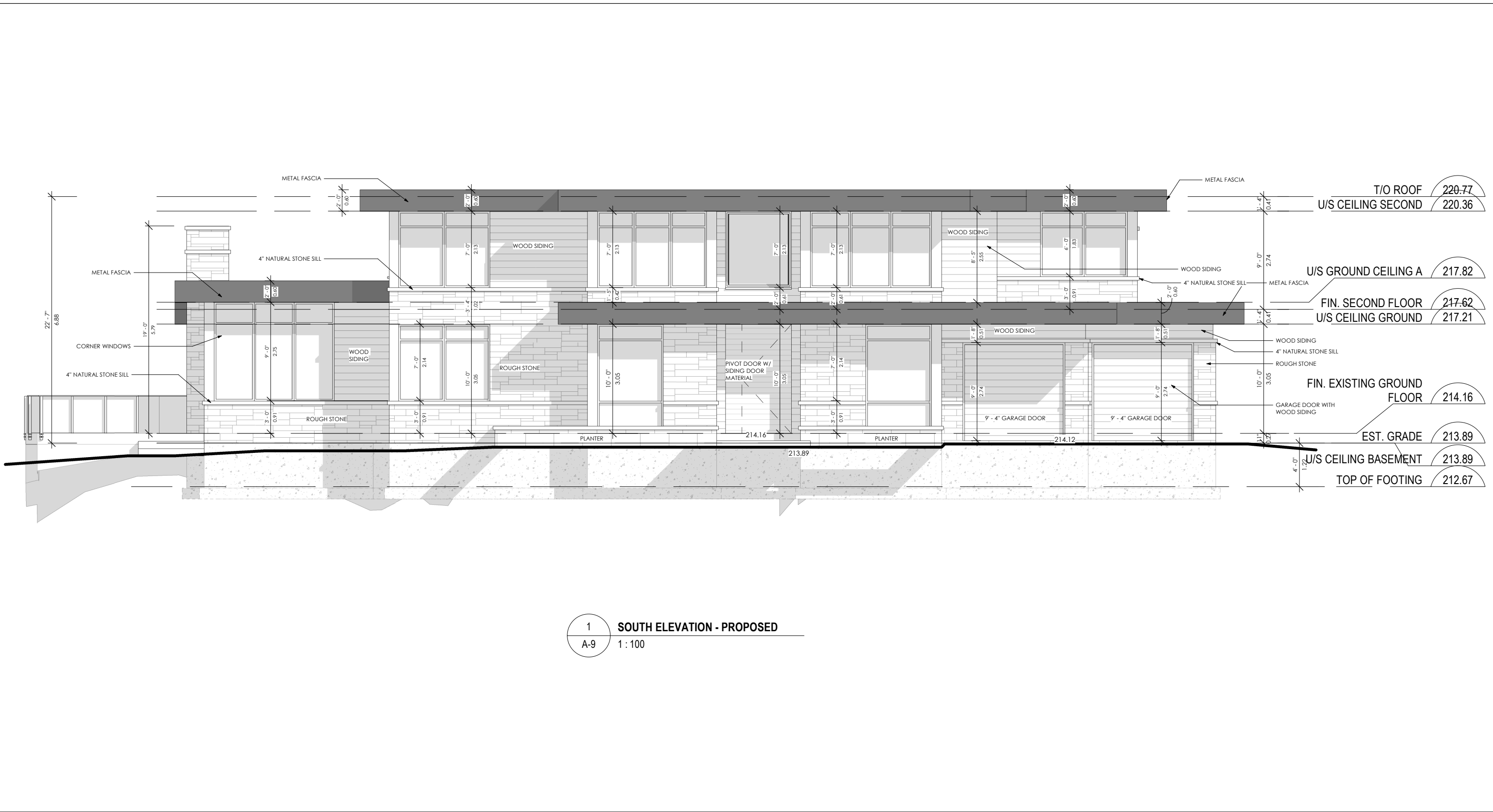
Page 65
27 MAIN ST

Project number:
Drawing:
Scale:
Date:
Drawn by:
Approved by:

2020-41
PROPOSED SECOND
FLOOR: dated
DECEMBER, 2021
M.P.
M.Z.

Drawing number:

A-8



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f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI
NAME SIGNATURE 45250 BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO
FIRM NAME 46972 BCIN

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Contractor shall check and verify all dimensions and report any omissions or discrepancies to Contempo Studio before proceeding with work.
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PROPOSED RENOVATION

Page 66
27 MAIN ST

Project number:
Drawing:
Scale:
Date:
Drawn by:
Approved by:

2020-41
PROPOSED SOUTH
ELEVATION
DECEMBER, 2021
M.P.
M.Z.

Drawing number:

A-9



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Toronto, Ontario M8Z 1P7
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f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.
MARIN ZABZUNI
NAME SIGNATURE 45250 BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.
CONTEMPO STUDIO
FIRM NAME 46972 BCIN

Do not scale drawings.
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PROPOSED RENOVATION

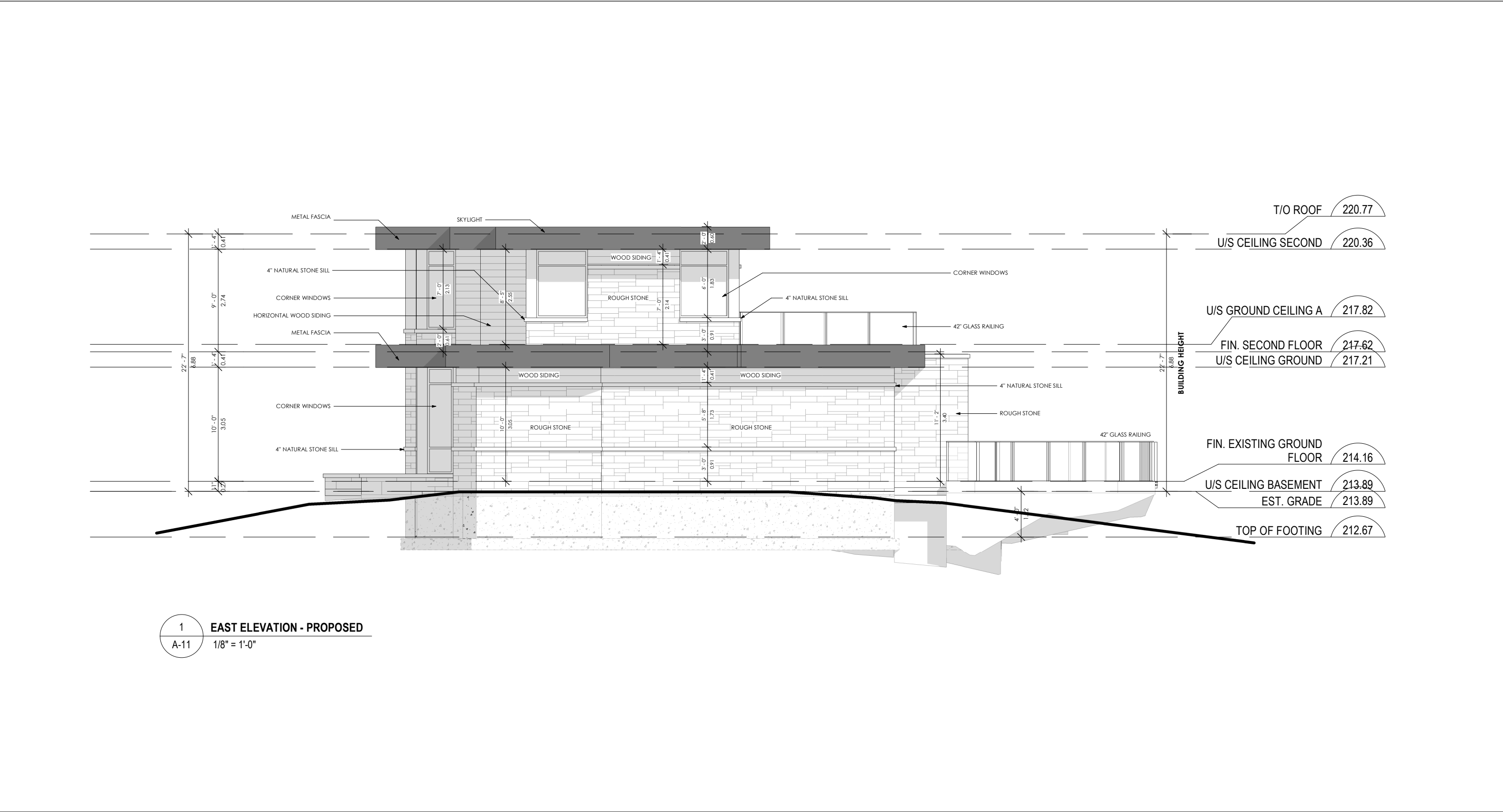
Page 67
27 MAIN ST

Project number:
Drawing:
Scale:
Date:
Drawn by:
Approved by:

2020-41
PROPOSED NORTH
ELEVATION
DECEMBER, 2021
M.P.
M.Z.

Drawing number:

A-10



1 EAST ELEVATION - PROPOSED
A-11 1/8" = 1'-0"

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f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI 45250
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972
FIRM NAME BCIN

Do not scale drawings.
Contractor shall check and verify all dimensions and report any omissions or discrepancies to Contempo Studio before proceeding with work.
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PROPOSED RENOVATION

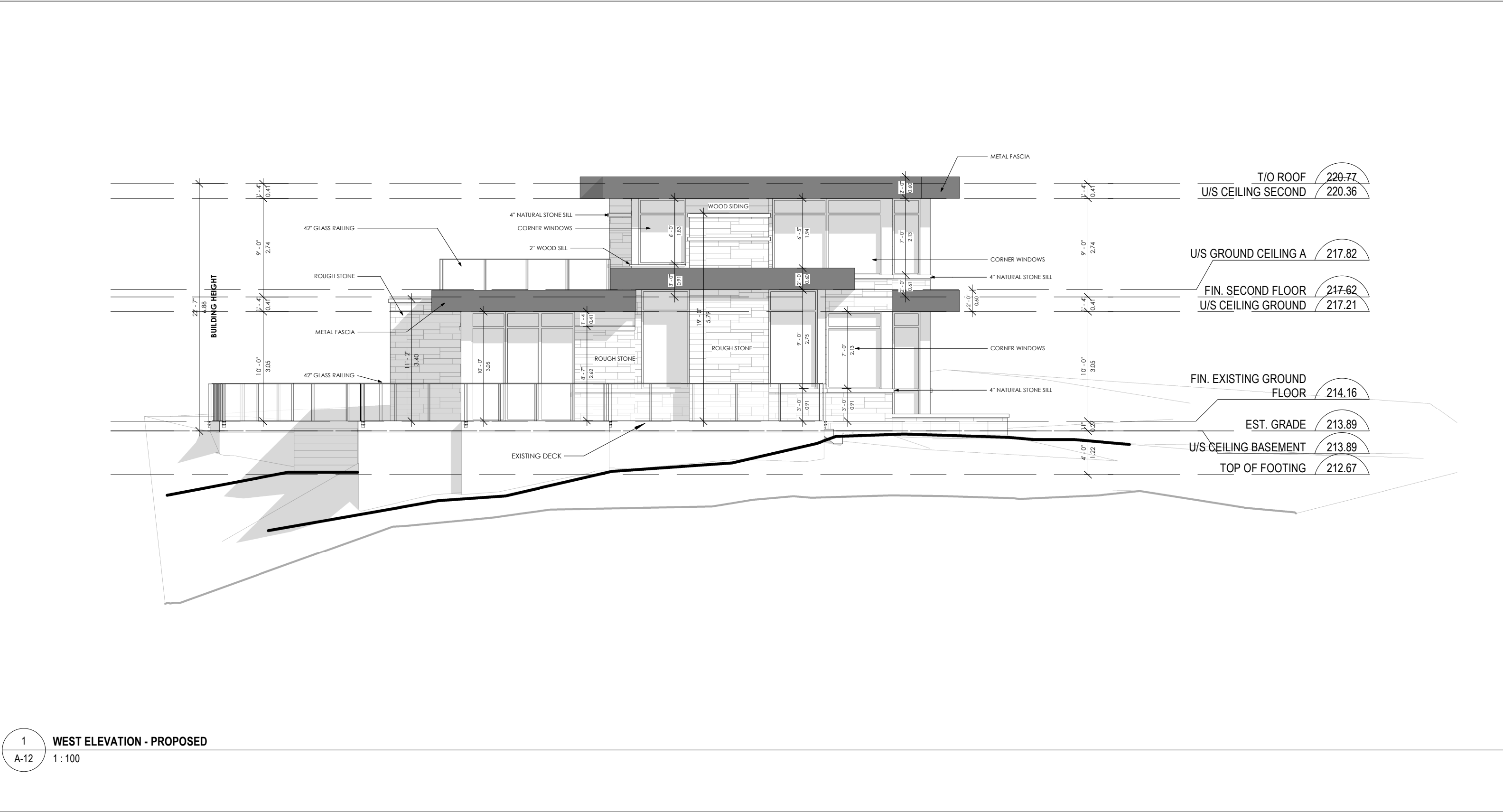
Page 68
27 MAIN ST

Project number:
Drawing:
Scale:
Date:
Drawn by:
Approved by:

2020-41
PROPOSED EAST
ELEVATION
DECEMBER, 2021
M.P.
M.Z.

Drawing number:

A-11



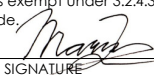
1 WEST ELEVATION - PROPOSED
A-12 1:100

contempostudio

1140 THE QUEENSWAY
Toronto, Ontario M8Z 1P7
info@contempostudio.ca
w. contempostudio.ca
t. (416) 770-0071
f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI		45250
NAME	SIGNATURE	BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.

CONTEMPO STUDIO	46972
FIRM NAME	BCIN

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PROPOSED RENOVATION

Page 69
27 MAIN ST

Project number:
Drawing:
Scale:
Date:
Drawn by:
Approved by:

2020-41
PROPOSED WEST
ELEVATION
DECEMBER, 2021
M.P.
M.Z.

Drawing number:

A-12



ATTACHMENT 5
27 MAIN STREET

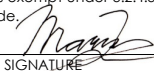


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PROPOSED RENOVATION

Page 72
27 MAIN ST

Project number:	2020-41
Drawing:	3D VIEWS
Scale:	
Date:	DECEMBER, 2021
Drawn by:	M.P.
Approved by:	M.Z.

Drawing number:

A-14

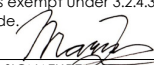


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f. (416) 642-1691

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QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI		45250
NAME	SIGNATURE	BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.

CONTEMPO STUDIO	46972
FIRM NAME	BCIN

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PROPOSED RENOVATION

Page 73
27 MAIN ST

Project number:	2020-41
Drawing:	3D VIEWS
Scale:	
Date:	DECEMBER, 2021
Drawn by:	M.P.
Approved by:	M.Z.

Drawing number:

A-15

ATTACHMENT 6

27 MAIN St, KLEINBURG, ON - Material Colours



WOOD SIDING
MAIBEC - MEADOW GREIGE 062



NATURAL STONE
OWEN SOUND NATURAL STONE



SOFFIT
MAIBEC
MEADOW GREIGE 062



EAVES, FACIA
GENTEK
BLACK



STONE SILL
ARRISCRAFT



FRONT DOOR
MAIBEC
MEADOW GREIGE 062

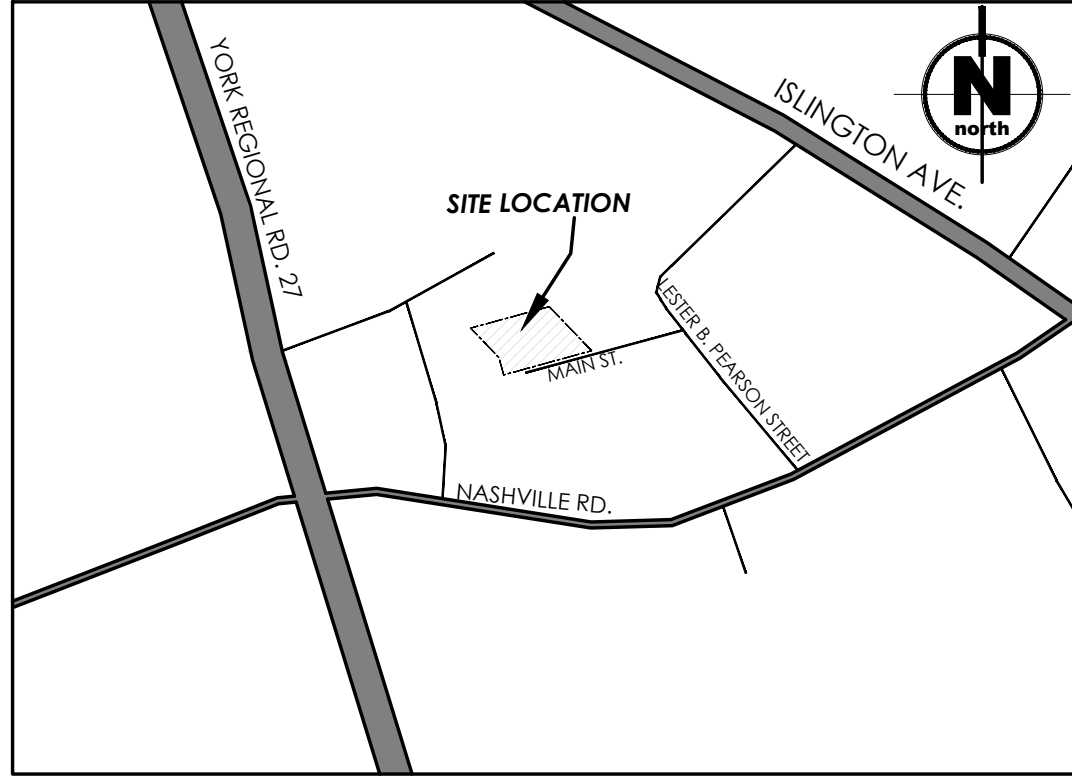


GARAGE DOOR
MAIBEC
MEADOW GREIGE 062

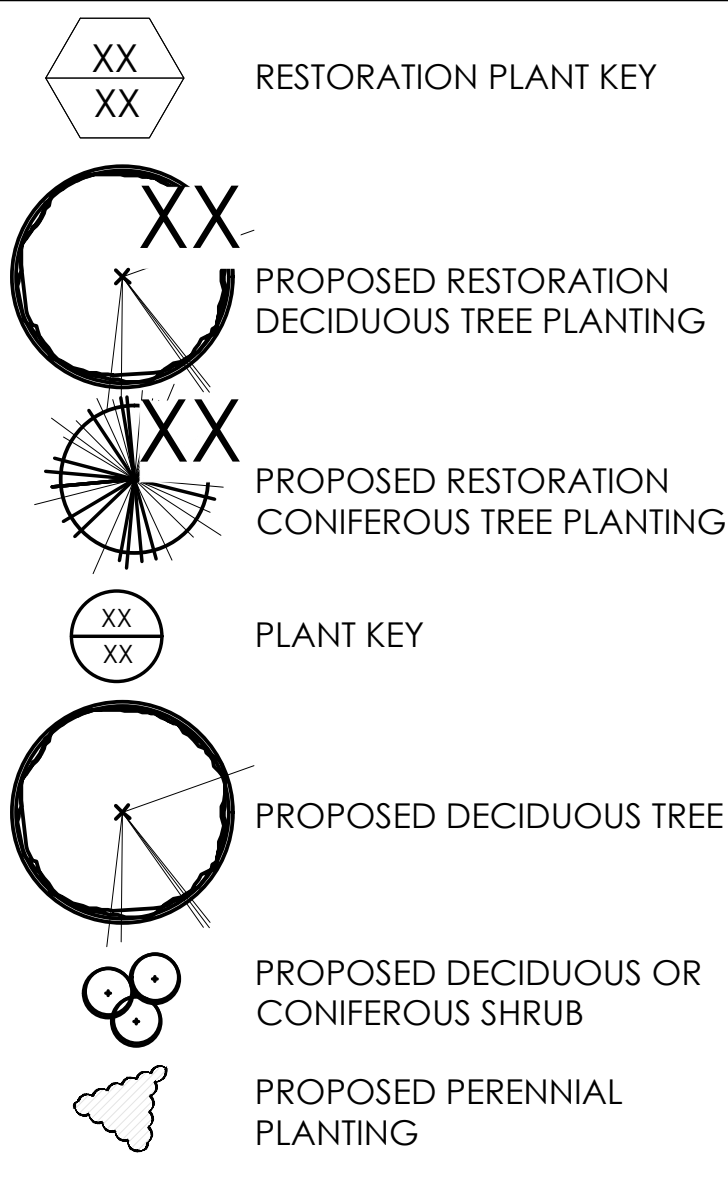


WINDOWS FRAME
PELLA
BLACK

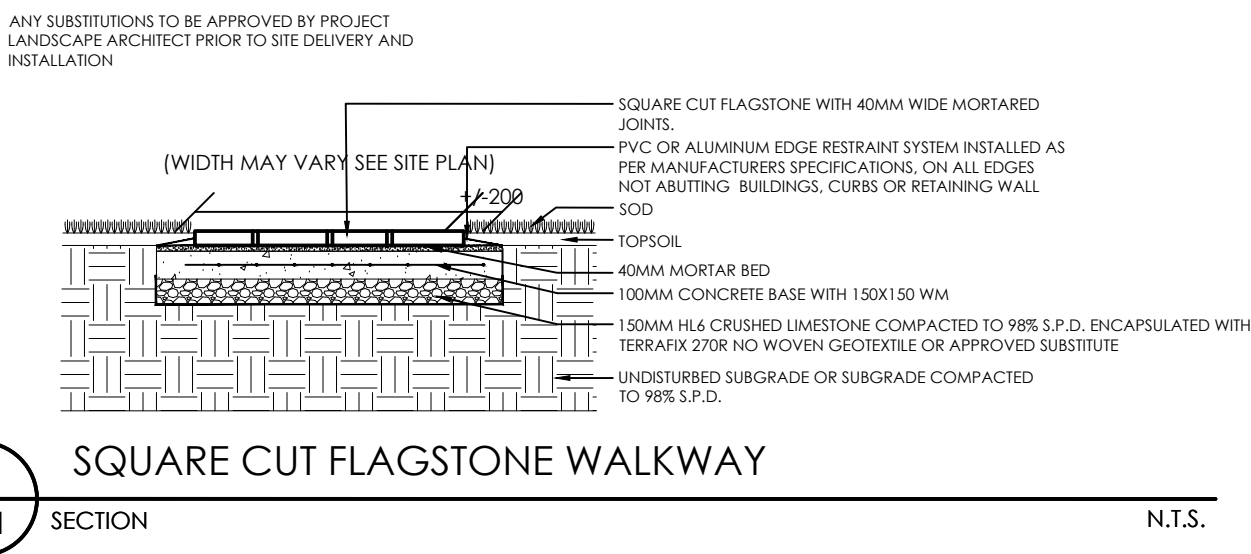
KEY PLAN



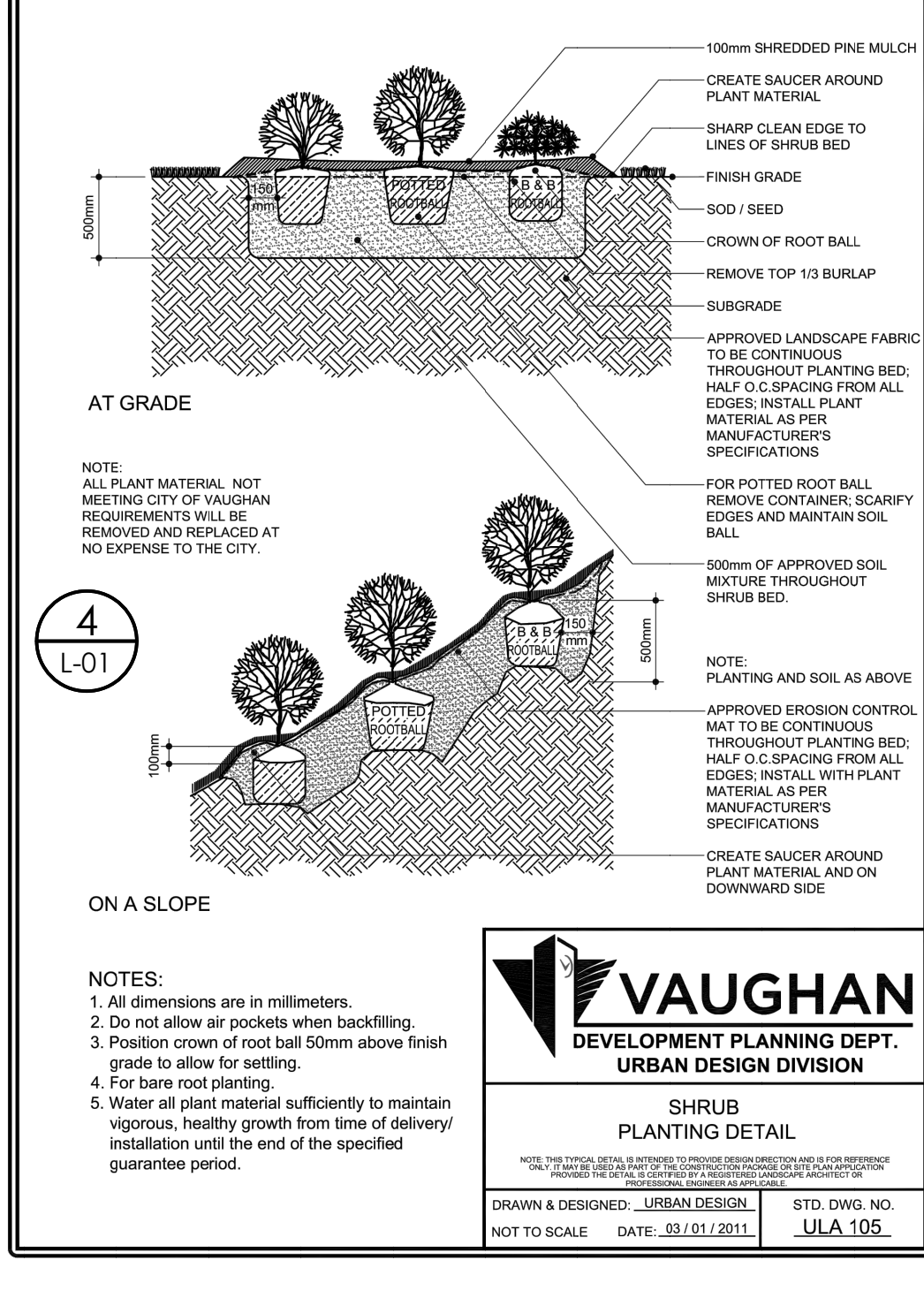
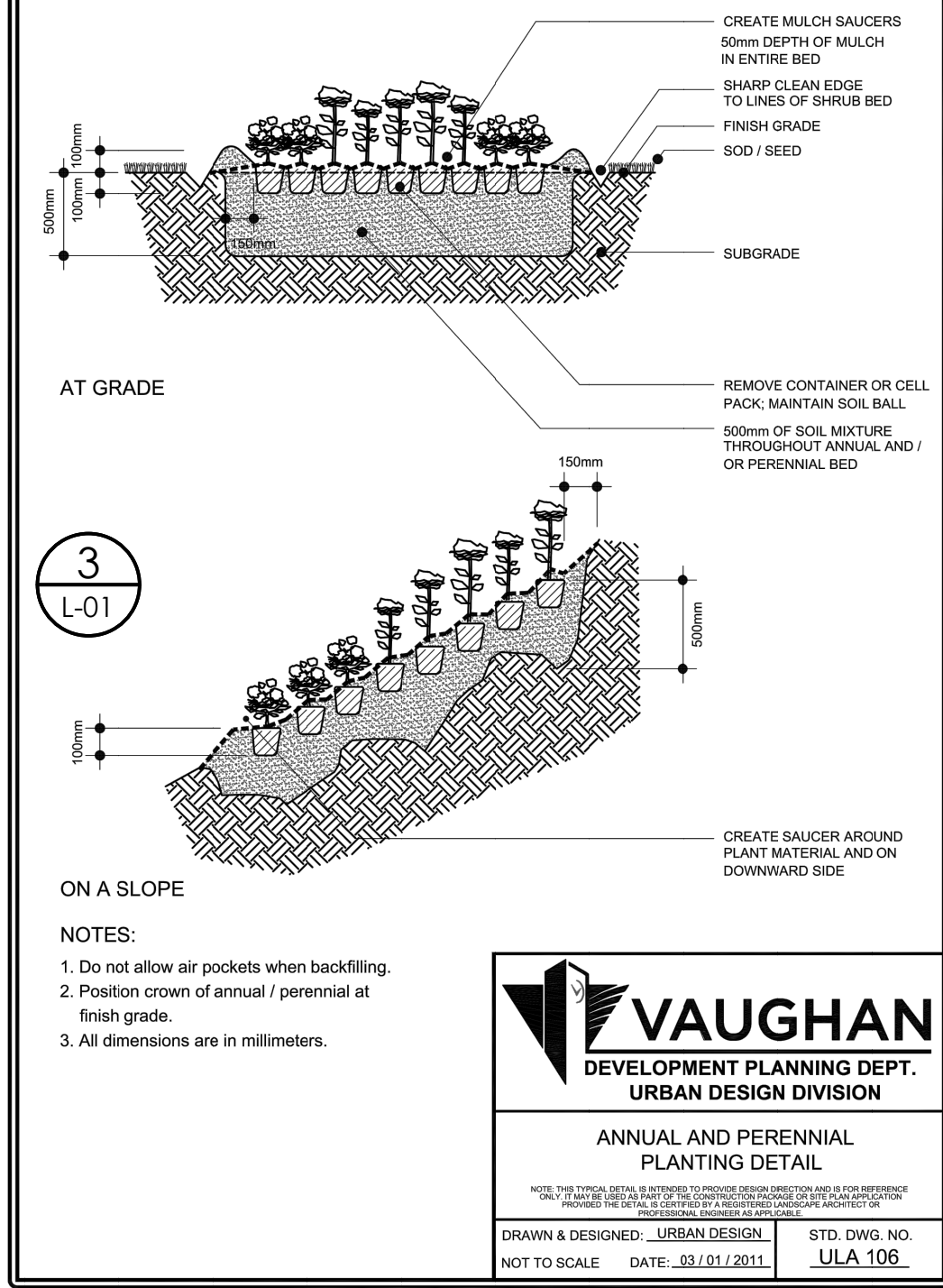
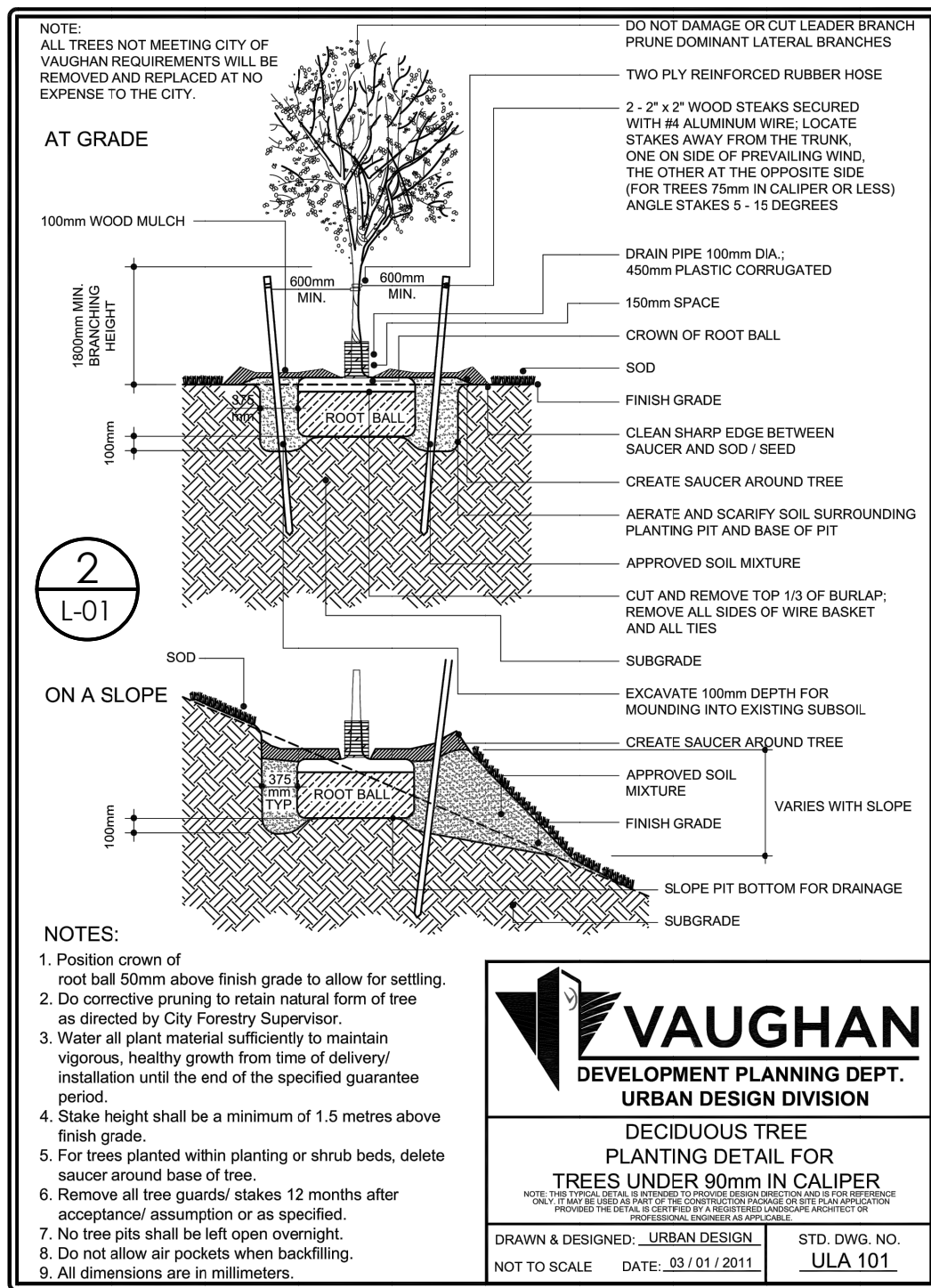
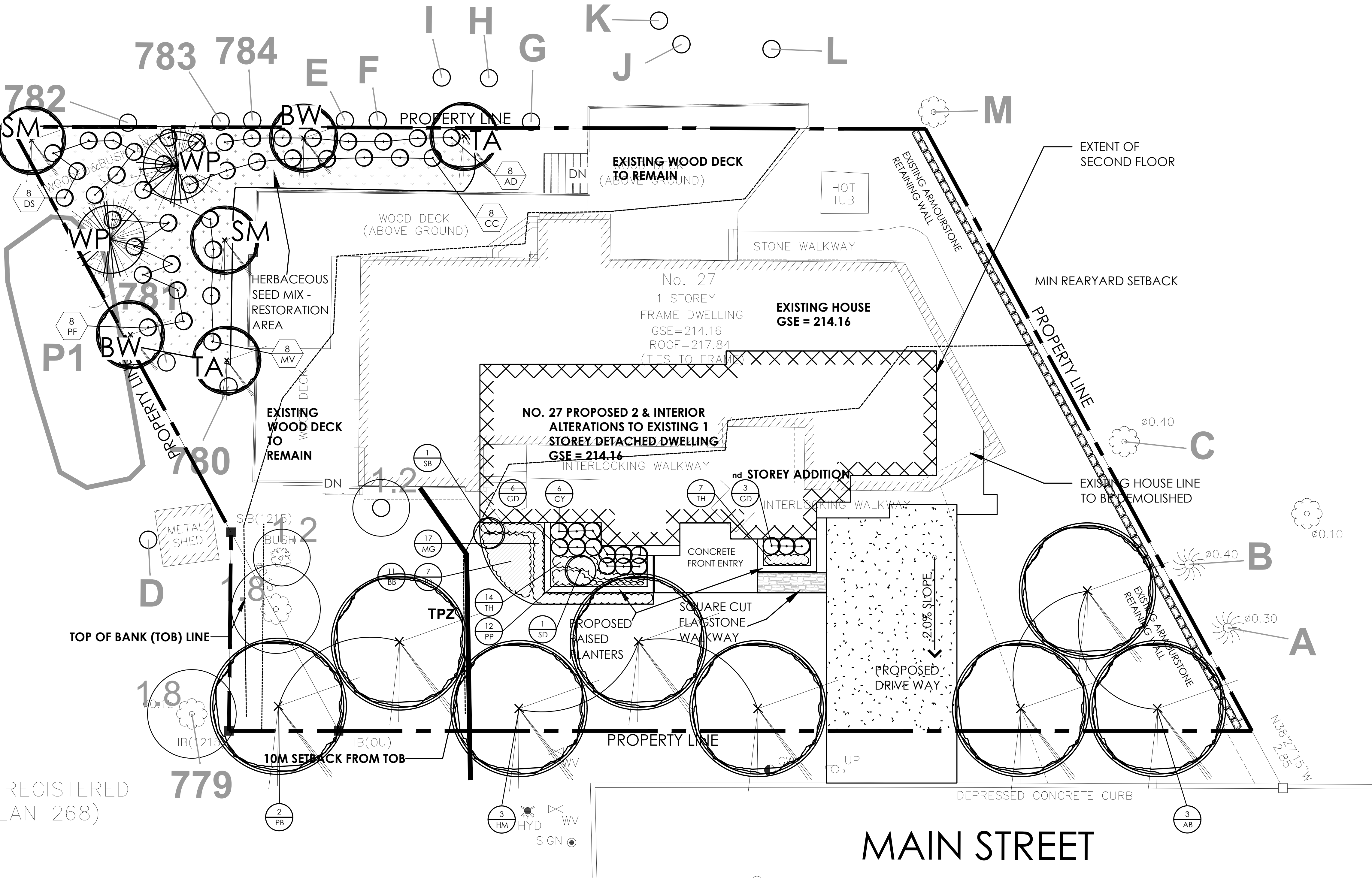
LEGEND



RESTORATION PLAN SCHEDULE - Planting Area (100m2)					
KEY	BOTANICAL NAME	COMMON NAME	SIZE	Condition	QTY
DECIDUOUS AND CONIFEROUS TREES					
BW	JUGLANS NIGRA	BLACK WALNUT	MIN. 80 cm	2 gallon pot	2
TA	POPULUS TREMULOIDES	TREMBLING ASPEN	MIN. 80 cm	2 gallon pot	2
WP	PINUS STROBUS	WHITE PINE	MIN. 80 cm	2 gallon pot	2
SM	ACER SACCHARUM	SUGAR MAPLE	MIN. 80 cm	2 gallon pot	2
DECIDUOUS SHRUBS					
CC	PRUNUS VIRGINIANA SPP. VIRGINIANA	CHOKE CHERRY	MIN. 60 cm.	1 or 2 gallon pot	8
AD	CORNUS ALTERNIFOLIA	ALTERNATE LEAVED DOGWOOD	MIN. 60 cm.	1 or 2 gallon pot	8
MV	VIBURNUM ACERIFOLIUM	MAPLE LEAF VIBURNUM	MIN. 60 cm.	1 or 2 gallon pot	8
PF	RUBUS ODORATUS	PURPLE FLOWERING RASBERRY	MIN. 60 cm.	1 or 2 gallon pot	8
DS	AMELANCHIER ABORE	DOWNY SERVICEBERRY	MIN. 60 cm.	1 or 2 gallon pot	8
NATURAL SEED MIX					
Common Milkweed (Asclepias syriaca) - 10%					
Evening Primrose (Oenothera biennis) - 10%					
Black Eyed Susan (Rudbeckia hirta) - 10%					
Early Goldenrod (Solidago juncea) - 10%					
Gray Goldenrod (Solidago nemoralis) - 10%					
White Heath Aster (Symphyotrichum ericoides) - 10%					
New England Aster (Symphyotrichum novae-angliae) - 10%					
Witch Grass (Panicum capillare) - 25%					
PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND'N	
DECIDUOUS TREES					
HM	ACER X 'FREEMANII'	FREEMAN MAPLE	40 MM CAL.	W.B.	3
PB	BETULA PAPERIFERA	PAPER BIRCH	40 MM CAL.	W.B.	2
AB	TILIA AMERICANA	AMERICAN BASSWOOD	40 MM CAL.	W.B.	3
DECIDUOUS SHRUBS					
GD	CORNUS FOEMINA SPP. RACEMOSA	GRAY DOGWOOD	60 cm.	FP	9
SD	CORNUS AMOMUM	SILKY DOGWOOD	60 cm.	FP	1
SB	COTINUS SP.	SMOKEBUSH	60 cm.	FP	1
CONIFEROUS SHRUBS					
CY	TAXUS CANADENSIS	CANADIAN YEW	60 cm.	FP	6
PERENNIALS AND GRASSES					
TH	DESCHAMPIA CESPITOSA	TUFTED HAIR GRASS	2YR	FP	21
PP	ECHINACEA PALIDA	PALE PURPLE CONEFLOWER	2YR	FP	12
BB	MONARDA 'PINK LACE'	PINK LACE BEE BALM	2YR	FP	11
BS	RUDBECKIA HIRTA	BLACK-EYED SUSAN	2YR	FP	7
MG	SESLERIA CAERULEA	BLUE MOOR GRASS	2YR	FP	17



ATTACHMENT 7
27 MAIN STREET



WILK ASSOCIATES

LANDSCAPE ARCHITECTURE LTD

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MILL GROVE ON L4R 1V0
T: 905-469-5498
E: WILK@WILKASSOCIATES.CO
WWW.WILKASSOCIATES.CO

ALL DRAWINGS ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT AND MUST BE RETURNED UPON REQUEST. THE CONTRACTOR SHALL CHECK ALL PLANTING FIT AND BASE OF PIT AND NOTES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

DO NOT SCALE DRAWINGS

VAUGHAN

DEVELOPMENT PLANNING DEPT.
URBAN DESIGN DIVISION

DECIDUOUS TREE PLANTING DETAIL FOR TREES UNDER 50mm IN CALIPER

DRAWN & DESIGNED: URBAN DESIGN LTD. STD. DWG. NO. ULA.101

VAUGHAN

DEVELOPMENT PLANNING DEPT.
URBAN DESIGN DIVISION

ANNUAL AND PERENNIAL PLANTING DETAIL

DRAWN & DESIGNED: URBAN DESIGN LTD. STD. DWG. NO. ULA.106

VAUGHAN

DEVELOPMENT PLANNING DEPT.
URBAN DESIGN DIVISION

SHRUB PLANTING DETAIL

DRAWN & DESIGNED: URBAN DESIGN LTD. STD. DWG. NO. ULA.105

PROPERTY

27 MAIN STREET

VAUGHAN ONTARIO, L0J 1C0

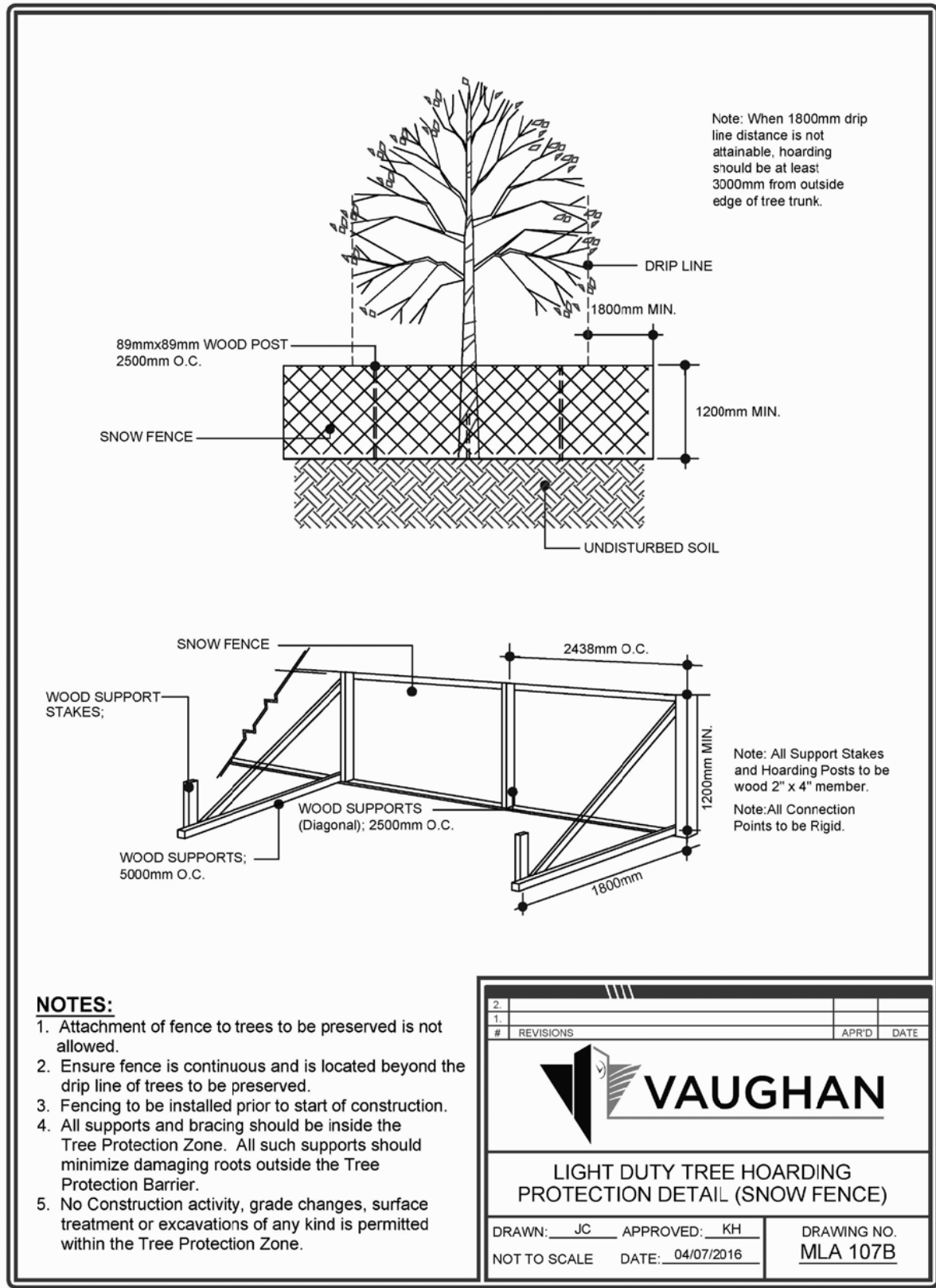
LANDSCAPE CONCEPT

L-01

Scale: 1:100
date: OCT 2021
drawn: AW

210479

project number



TREE PROTECTION PLAN NOTES

Prior to site disturbance the owner must confirm that no migratory birds are making use of the site for nesting. The owner must ensure that the works are in conformance with the Migratory Bird Convention Act and that no migratory bird nests will be impacted by the proposed work. It is the applicants' responsibility to discuss potential tree injury of trees on shared property lines with their neighbours. Should such trees be injured to the point of instability or death the applicant may be held responsible for removal and such issues would be dealt with in civil court or through negotiation. The applicant would be required to replace such trees to the satisfaction of the City of Vaughan.

TREE PROTECTION ZONE: No construction activity including grade changes, surface treatments or excavations of any kind is permitted within the area identified on the Tree Protection Plan or Site Plan as a Tree Protection Zone (TPZ). No root cutting is permitted. No storage of materials or fill is permitted within the TPZ. No movement or storage of vehicles or equipment is permitted within the TPZ. Grade changes are not permitted within established TPZ. The area(s) identified as a TPZ must remain undisturbed at all times.

TREE PROTECTION BARRIERS:

For City-owned Trees:

Tree protection barriers for trees situated on the City road allowance where visibility must be maintained, can be 1.2m (4ft.) high and consist of chain link, or orange plastic web snow fencing on a 2" x 4" wood frame. All supports and bracing used to secure the barrier should be located outside the TPZ. All supports and bracing should minimize damage to roots outside the TPZ. Where some fill or excavate has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the TPZ. If the TPZ needs to be reduced to facilitate construction access, the tree protection barrier must be maintained at a lesser distance and the exposed TPZ protected with plywood and wood chips. This must first be approved by the City of Vaughan.

For trees on private property situated on or adjacent to construction sites:

Tree protection barriers must be installed around trees to be protected using plywood clad hoarding or an equivalent approved by the City of Vaughan. All supports and bracing to safely secure the barrier should be outside the TPZ. All such supports and bracing should minimize damage to roots outside the TPZ.

General Note:

Prior to the commencement of any site activity the tree protection barriers specified on this plan must be installed and written notice provided to the City of Vaughan. Established tree protection zones must not be used as construction access, storage or staging areas. The tree protection barriers must remain in effective condition until all site activities including landscaping are complete. Written notice must be provided to the City of Vaughan prior to the removal of the tree protection barriers.

ARBORICULTURAL WORK:

Any roots or branches which extend beyond the TPZ indicated on this plan which require pruning, must be pruned by a qualified Arborist or other tree professional as approved by the City of Vaughan. All pruning of tree roots and branches must be in accordance with good arboricultural standards. Roots located outside the TPZ that have received approval from the City of Vaughan to be pruned must first be exposed by hand digging or by using a low pressure hydro vac method. This will allow a proper pruning cut and minimize tearing of the roots. The Arborist/tree professional retained to carry out crown or root pruning must contact the City of Vaughan no less than 48 hours prior to conducting any specified work.

LEGEND

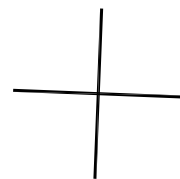
Tree Inventory

Refer to Table 1 of report dated 07 July 2021, revised 18 May 2022 for complete tree inventory information. Tree resources on and within 6 metres of the subject area were included in the inventory.

Tree Preservation

Preservation of all trees will be possible with the use of appropriate tree protection fencing. Trees identified for preservation are indicated with GREEN labels. Minimum Tree Preservation zones and hoarding are indicated with magenta. TPZ circles represent minimum distances for construction and grading near trees.

Tree does not exist



Tree Label (GREEN), preservation recommended



Tree Label (Cyan), tree label per previous Arborist Report, tree has been removed



Tree location estimated by KFCI



Minimum Tree Preservation Zone (MAGENTA CIRCLE), with radius in metres from edge of tree



Property Boundary (BLUE)



Tree protection hoarding (light duty per MLA 107B)



No.	Issue/Revisions	Date	By
1	Report Submission	07 July 2021	SA
2	Report Revisions	18 May 2022	CB

Base Data: Vladimir Dosen Surveying (topo), exp (site plan)



KUNTZ FORESTRY CONSULTING INC.

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e: consult@kuntzforestry.ca
web: www.kuntzforestry.ca

Client
Contempo Studio
1140 The Queensway
Toronto, ON M8Z 1P7

Property
27 Main Street
Vaughan, Ontario

Tree Inventory & Preservation Plan

Project	P2851	Figure 1
Date	07 July 2021	
Scale	1:100	

**Tree Inventory and Preservation Plan Report
27 Main Street
Vaughan, Ontario**

prepared for

**Contempo Studio
1140 The Queensway
Toronto, ON M8Z 1P7**

prepared by



146 Lakeshore Road West
PO Box 1267 Lakeshore W PO
Oakville ON L6K 0B3
t: 289.837.1871
e: consult@kuntzforestry.ca

07 July 2021, revised 18 May 2022

KUNTZ FORESTRY CONSULTING INC Project P2851

1 Introduction

Kuntz Forestry Consulting Inc. was retained by Contempo Studio to complete a Tree Inventory and Preservation Plan in support of a development application for the property located at 27 Main Street in Vaughan. The property is located on the north side of Main Street, west of Islington Avenue and north of Nashville Road, within a residential area.

The work plan for this tree preservation study included the following:

- Prepare inventory of the tree resources on and within six metres of the subject area;
- Evaluate potential tree saving opportunities based on proposed development plans;
- Conduct a review of the adjacent natural heritage feature for the purposes of the restoration plan, and
- Document the findings in a Tree Inventory and Preservation Plan Report.

The results of the evaluation are provided below.

2 Methodology

The tree inventory was conducted on 30 June 2021. The topographic survey and estimations made in-field were used to locate tree resources. Trees that could be tagged were identified with the numbers 779-784. Trees that could not be tagged were identified with the letters A-M. A polygon (group of similar trees) was identified as P1. Tree locations are shown on Figure 1. Refer to Table 1 for the tree inventory.

Tree resources were assessed utilizing the following parameters:

Tree # - number assigned to tree that corresponds to Figure 1.

Species - common and botanical names provided in the inventory table.

DBH - diameter (centimetres) at breast height, measured at 1.4 m above the ground.

Condition - condition of tree considering trunk integrity, crown structure, and crown vigour. Condition ratings include poor (P), fair (F) and good (G).

Comments - additional relevant detail.

3 Existing Site Conditions

The subject property is currently occupied by a single storey residential dwelling. Tree resources exist in the form of landscape trees and naturally occurring trees. Refer to Figure 1 for the existing conditions.

3.1 Individual Tree Resources

The inventory documented 19 trees and one treed polygon on and within six metres of the subject area. Refer to Table 1 for the full tree inventory and Figure 1 for the locations of trees reported in the tree inventory. Refer to Appendix A for photographs of trees.

Tree resources were comprised of Manitoba Maple (*Acer negundo*), Norway Maple 'Deborah' (*Acer platanoides* 'Deborah'), Eastern White Cedar (*Thuja occidentalis*), Blue

Spruce (*Picea pungens*), Horsechestnut (*Aesculus hippocastanum*), Black Walnut (*Juglans nigra*), White Pine (*Pinus strobus*), Hawthorn (*Crataegus spp.*), Green Ash (*Fraxinus pennsylvanica*), and Black Locust (*Robinia pseudoacacia*).

3.2 Natural Heritage Feature

The western and northern portions about a natural heritage system, which is on a steep slope down from the subject property. Trees in the canopy include Siberian Elm (*Ulmus pumila*), Norway Spruce (*Picea abies*), Black Walnut (*Juglans nigra*), Manitoba Maple, Black Locust, Red Maple (*Acer rubrum*), Balsam Fir (*Abies balsamea*), Hawthorne (*Crataegus sp.*), and Horsechesnut (*Aesculus hippocastanum*). The feature is disturbed with Common Buckthorn (*Rhamnus cathartica*), Dog Strangling Vine (*Cynanchum rossicum*), Garlic Mustard (*Alliaria petiolata*), and Tartarian Honeysuckle (*Lonicera tartarica*), in the lower layers.

4 Proposed Development

The proposed work includes the construction of a second storey addition to a portion of the existing dwelling. Refer to Figure 1 for the existing conditions and proposed site plan.

5 Discussion

The following sections provide a discussion and analysis of development impacts, tree removal requirements, and tree preservation relative to the proposed development and existing conditions.

5.1 Development Impacts/Tree Removal

The removal of trees will not be required to accommodate the construction of the addition.

At the request of Urban Design, Figure 1 identifies the locations of trees that we understand were previously located on the subject property, per an Arborist Report prepared Noica Consulting Inc. dated November 25, 2016. These trees were not longer present during KFCI's 2021 site visit. A permit to remove these trees appears to have been granted; refer to Appendix B for the previous Arborist Report and a copy of the permit that was issued for the removal of these trees (Permit No. 2016-123).

5.2 Tree Preservation

The retention of all trees will be possible with the use of appropriate tree protection measures as indicated on Figure 1. Tree protection measures shall be installed prior to construction to ensure designated tree resources are not impacted by construction. Refer to Figure 1 for the location of trees identified for preservation, the preservation fencing details, and the location of tree protection fencing. Light duty hoarding per detail MLA 107B should be used in all areas.

Trees A, B, and C are located on the neighbouring property to the east. Although the minimum tree protection zones (mTPZ) of Trees A, B, and C are located within the existing driveway of the subject property, the trees are situated at the top of an existing

retaining wall. It is not anticipated that significant roots will be found on the subject property.

5.3 Tree Compensation

The City of Vaughan requires the following tree replacement ratios:

DBH of Tree to be Cut or Removed	Number of Replacement Trees Required
20cm to 30cm	1
31cm to 40cm	2
41cm to 50cm	3
51cm or greater	4

Tree compensation will not be required for the proposed construction as trees are not identified for removal. The previous Arborist Report and the subsequent permit issued for the trees previously located on site (Permit No 2016-123) indicates that 18 replacement trees had been required. Outside of the Restoration Area (see section 6 below), eight trees are proposed to be planted (see Drawing L-01 prepared by Wilk Associates, dated 17 May 2022). Remaining compensation will be provided as cash-in-lieu.

6 Restoration Plan

6.1 Planting Plan

The proposed restoration recommendations include the planting of native plant assemblages in order to improve the floristic quality and ecological integrity of the site and enhance the wetland feature. The proposed plantings will incorporate native tree, shrub, and herbaceous species appropriate to the subject area. Restoration plantings in this area will increase the native plant species diversity in this area, as well as increase vertical height diversity and buffering capabilities of the feature.

The restoration area will be a variable size and include the area between the subject property and the existing home. Microsites for trees and shrubs will be selected at the time of planting in the locations generally depicted on Figure 2, to be based on site and species compatibility. Any existing herbaceous vegetation within this area should be removed prior to restoration. Recommended tree, shrub and herbaceous species will help the property to achieve as natural a state as possible. Species selection is based on native nursery stock availability and species adapted to the existing conditions. Mulch should be applied around the proposed tree and shrub plantings to limit vegetative competition and to retain moisture around the plantings. Refer to Figure 2 for the Planting Plan. Herbaceous plantings should be a seed mix in the form of hydro or terra seeding – see Figure 2 for the seed mix.

6.2 Maintenance and Monitoring

Monitoring of the restoration plantings is recommended to track the success of ecological restoration initiatives and guide the short and long-term maintenance of the restored features. The contractor warranty period should be a minimum of two years.

Monitoring should include a two year inspection, whereby the plantings are inspected once upon completion of the installation, once following the first growing season in the fall, and again at the end of the second growing season. Due to the limited size of the feature on the subject area, permanent plots or sample quadrants are not necessary for successful monitoring. Visual analysis incorporating detailed notes to address survivorship of plant species, individual plant health, and potential spread of invasive species is recommended. Mortality of all planted individuals should be determined and the causes of mortality identified (shade intolerance, herbivory, drought, competition, etc.). Removal and control of invasive species may be recommended during monitoring events to prevent invasive species from outcompeting the planted stock. Watering of planted stock should occur for 2 years during dry periods, and weed mats or brush blankets should be installed where there is abundant herbaceous competition expected.

7 Summary

Kuntz Forestry Consulting Inc. was retained by Contempo Studio to complete a Tree Inventory and Preservation Plan for 27 Main Street in Vaughan, Ontario. A tree inventory was conducted and reviewed in the context of the proposed site plan.

The findings of the study indicate a total of 19 trees and one treed polygon on and within six metres of the subject area. All trees can be saved provided appropriate tree protection measures are installed prior to the development.

The following recommendations are suggested to minimize impact to trees identified for preservation. Refer to Figure 1 for the location of required tree preservation fencing, general Tree Protection Plan Notes, and the tree preservation fence detail.

- Tree protection barriers and fencing shall be erected at locations as prescribed on Figure 1. All tree protection measures shall follow the guidelines as set out in the tree preservation plan notes and the tree preservation fencing detail.
- No construction activity including surface treatments, excavations of any kind, storage of materials or vehicles, unless specifically outlined above, is permitted within the area identified on Figure 1 as a tree protection zone (TPZ) at any time during or after construction.
- Branches and roots that extend beyond prescribed tree protection zones that require pruning must be pruned by a qualified Arborist or other tree professional. All pruning of tree roots and branches must be in accordance with Good Arboricultural Standards.
- Site visits, pre, during, and post construction are recommended by either a certified consulting arborist (I.S.A.) or registered professional forester (R.P.F.) to ensure proper utilization of tree protection barriers. Trees should also be inspected for damage incurred during construction to ensure appropriate pruning or other measures are implemented.

Kuntz Forestry Consulting Inc.

Steven Ardron

Steven Ardron, B.Sc., BNA, TRAQ
ISA Certified Arborist #ON1854-A
Email: sardron@kuntzforestry.ca
Phone: 289-837-1871 ext 19

Celine Batterink

Celine Batterink, H.B.Sc. Ecology
Associate Ecologist, ISA Certified Arborist
#ON1546-A
Email: cbatterink@kuntzforestry.ca
Phone: 289-837-1871 ext 18

Limitations of Assessment

Only the tree(s) identified in this report were included in the inventory. The assessment of the trees presented in this report has been made using accepted arboricultural techniques. These may include a visual examination taken from the ground of all the above-ground parts of the tree for structural defects, scars, external indications of decay such as fungal fruiting bodies, evidence of attack by insects, discoloured foliage, the condition of any visible root structures, the degree of lean (if any), the general condition of the trees and the identification of potentially hazardous trees or recommendations for removal (if applicable). Where trees could not be directly accessed (ie. due to obstructions, and/or on neighbouring properties), trees were assessed as accurately as possible from nearby vantage points.

Locations of trees provided in the report are determined as accurately as possible based on the best information available. If official survey information is not provided, tree location in the report may not be exact. In this case, if trees occur on or near property boundaries, an official site survey may be required to determine ownership utilizing specialized survey protocol to gain precise location.

Furthermore, recommendations made in this report are based on the site plans that have been provided at the time of reporting. These recommendations may no longer be applicable should changes be made to the site plan and/or grading, servicing, or landscaping plans following report submission.

Notwithstanding the recommendations and conclusions made in this report, it must be recognized that trees are living organisms, and their health and vigor constantly change over time. They are not immune to changes in site conditions or seasonal variations in the weather conditions. Any tree will fail if the forces applied to the tree exceed the strength of the tree or its parts.

Although every effort has been made to ensure that this assessment is reasonably accurate, the trees should be re-assessed periodically. The assessment presented in this report is valid at the time of inspection.

Table 1. Tree Inventory

Location: 27 Main Street, Kleinburg

Date: 30 June 2021

Surveyors:SA

Tree #	Common Name	Scientific Name	DBH	TI	CS	CV	Y C R	CDB	mTPZ	Comments	Action	Number of Replacement Trees
779	Manitoba Maple	<i>Acer negundo</i>	15.5	F	F	F-G			1.8	Crooked stem (M), Co-dominant at ~2.5m, Vine competition (H), Deadwood (L), Asymmetric crown (M)	Retain	
780	Norway Maple (Deborah)	<i>Acer platanoides</i>	33.5	F-G	F-G	F-G			2.4	Gypsy Moth infestation, Pruning wounds (L), Metal nail inclusions, Asymmetric crown (L), Crook at ~2.0m	Retain	
781	Eastern White Cedar	<i>Thuja occidentalis</i>	22.5	G	F	G			1.8	Pruning wounds (M), Lean (VL), Sweep (VL)	Retain	
782	Manitoba Maple	<i>Acer negundo</i>	24.5	F	F	F-G			1.8	Deadwood (L), Vine competition (M), Lean (L), Coppice growth (M), Asymmetric crown (L)	Retain	
783	Manitoba Maple	<i>Acer negundo</i>	28	P-F	F	F-G			1.8	Lean (M), Exposed roots (M), Crooked stem (M), Gypsy Moth infestation, Vine competition (M), Epicormic branching (M), Deadwood (L)	Retain	
784	Manitoba Maple	<i>Acer negundo</i>	~15, 29	P-F	P-F	F-G			2.4	Lean (H), Cavity (M), Crook at ~1.1m, Deadwood (L), Vine competition (M), Epicormic branching (M)	Retain	
A	Blue Spruce	<i>Picea pungens</i>	~23	F-G	F-G	F		30	1.8	Pruning wounds (L), Deadwood (M), Asymmetric crown (M), Lean (VL), Sweep (VL)	Retain	
B	Blue Spruce	<i>Picea pungens</i>	~34	F-G	F-G	F-G		10	2.4	Deadwood (L), Asymmetric crown (L), Pruning wounds (L), Lean (VL), Sweep (VL)	Retain	

C	Horsechestnut	<i>Aesculus hippocastanum</i>	~37, 40, 45	F-G	G	G			3.6	Co-dominant at base, Deadwood (VL), Bow (L)	Retain	
D	Black Walnut	<i>Juglans nigra</i>	~24	G	F-G	G			1.8	Bow (L), Deadwood (VL), Pruning wounds (L), Asymmetric crown (L)	Retain	
E	Manitoba Maple	<i>Acer negundo</i>	~27	F	F	F			1.8	Co-dominant at ~2.0m with included bark (H), Stem wound @ ~2.8m, Lean (L), Asymmetric crown (L), Deadwood (L), Vine competition (L)	Retain	
F	Manitoba Maple	<i>Acer negundo</i>	~32	F	F	F			2.4	Lean (L), Bow (L) - over deck, Pruning wounds (L), Union at ~2.5m, Deadwood (L), Gypsy Moth infestation, Vine competition (M)	Retain	
G	White Pine	<i>Pinus strobus</i>	20	F	F	F			1.8	Pruning wounds (H), Lean (L), Crook at ~5.0m, Growth deficit (H)	Retain	
H	Manitoba Maple	<i>Acer negundo</i>	~22	F	F	F-G			1.8	Vine competition (H), Lean (L), Crooked stem (M), Deadwood (L)	Retain	
I	Hawthorn	<i>Crataegus spp.</i>	~18	F-G	F-G	F-G			1.8	Lean (L), Vine competition (M), Deadwood (L), Pruning wounds (M), Co-dominant at ~2.0m	Retain	
J	Horsechestnut	<i>Aesculus hippocastanum</i>	~17	F-G	F	F-G			1.8	Deadwood (L), Bow (L), Competition with Trees K and L, Asymmetric crown (M)	Retain	
K	Green Ash	<i>Fraxinus pennsylvanica</i>	~15	F-G	F-G	F-G			1.8	Deadwood (L), Bow (L), Competition with Trees J and L, Asymmetric crown (L)	Retain	
L	Black Walnut	<i>Juglans nigra</i>	~35	F-G	G	G			2.4	Lean (L), Cavity (L) - sealing	Retain	
M	Manitoba Maple	<i>Acer negundo</i>	~30	F-G	F-G	F-G			2.4	Epicormic branching (H), Pruning wounds (M), Co-dominant at ~3.0m with one stem pruned	Retain	

P1	Black Locust	<i>Robinia pseudoacacia</i>	~25-41, Avg. 30	F-G	F-G	F-G			3.0	~10 trees, Deadwood (L), Bow (L), Co-dominance (M), Stem wounds (L)	Retain	
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Codes		
DBH	Diameter at Breast Height	(cm)
TI	Trunk Integrity	[G (Good), F (Fair), P (Poor)]
CS	Crown Structure	[G (Good), F (Fair), P (Poor)]
CV	Crown Vigor	[G (Good), F (Fair), P (Poor)]
CDB	Crown Die Back	(%)
YCR	York Region Condition Rating	G - Good, S - Satisfactory, PT - Potential Trouble, Dc - Declining, DI - Death Imminent, D - Dead
Comp.	Compensation Trees Required	(number of trees)
mTPZ	minimum Tree Protection Zone based on City of Vaughan's standard (for private trees) or York Region standards (for ROW trees)	(m), radius from outside edge of tree base
~ = estimate; (VL) = very light; (L) = light; (M) = moderate; (H) = heavy; (VH) = very heavy		

Appendix A. Photos of Trees



Image 1. Photo of Tree A



Image 2. Photo of Tree B



Image 3. Photo of Tree C



Image 4. Photo of Tree 779



Image 5. Photo of Tree D



Image 6. Photo of Tree 780



Image 7. Photo of Tree 781



Image 8. Photo of Tree 782



Image 9. Photo of Trees 783 and 784



Image 10. Photo of Tree E



Image 11. Photo of Tree F



Image 12. Photo of Tree G



Image 13. Photo of Polygon P1



Image 14. Photo of Tree H (centre of photo)



Image 15. Photo of Tree I (centre of photo)



Image 16. Photo of Trees J and K (centre of photo)



Image 17. Photo of Tree L



Image 17. Photo of Tree M

Appendix B. Previous Arborist Report and Permit



PERMIT TO REMOVE TREE/S ON PRIVATE PROPERTY

PLEASE FORWARD ALL ENQUIRIES TO
PARKS AND FORESTRY OPERATIONS
CITY OF VAUGHAN
2141 Major Mackenzie Drive
Vaughan, Ontario
L6A 1T1
Ph 905-832-8577

PERMIT NO. 2016-123

MUNICIPAL ADDRESS: 27 MAIN ST., VAUGHAN, ONT.

LEGAL DESCRIPTION: REMOVAL OF TWELVE (12) TREES.

**COMMENTS: EIGHTEEN (18) REPLACEMENT TREES ARE TO BE
PLANTED WITHIN ONE YEAR AND ARE TO BE A MINIMUM OF 50 MM
CALIPER SIZE. OWNER TO PAY CASH IN LIEU.**

DATE OF ISSUANCE: DEC. 20TH, 2016.

DATE OF EXPIRY: JUNE 20TH, 2017.

**FOR THE INJURY OR DESTRUCTION OF TWELVE (12) PRIVATE
TREES.**

IMPORTANT NOTE

This permit is issued pursuant to the Private Property Tree Protection By-Law #185-2007. It is effective for six (6) months from the date of issuance noted above. This permit does not constitute authority to injure or destroy any tree other than those identified in this application for this permit. The City accepts no responsibility or liability for any harm or damages caused to any person or property that may result from the injury or destruction of a tree authorized by this permit.

CITY OF VAUGHAN AUTHORIZATION



MANAGER

DATE: DEC. 20TH, 2016

**PERMIT IS TO BE PLACED IN A VISIBLE LOCATION
PRIOR AND DURING THE REMOVAL OF TREE(S)**



Noica Consulting Inc.

ARBORIST REPORT

Residence

**Mr. Robert Di Toro
27 Main Street
Kleinburg, ON
L0G 1C0**

**Prepared By:
Arborist
Richard Burton
MT CU Certification No 1740198**

**Administrative Support
Lisa Piccin**

Project No. 16-502

November 25, 2016



NOICA CONSULTING INC.
o/a AV Lucas Tree Service

ARBORIST REPORT

November 25, 2016

Homeowner: Mr. Robert Di Toro

Location: 26 Main Street, Kleinburg ON L0G 1C0

Removal:

(1) Honey Locust	<i>gleditsia triacanthos</i>	32 cm DBH
(2) White Spruce	<i>picea glauca</i>	45 cm DBH
(3) White Spruce	<i>picea glauca</i>	38 cm DBH
(4) Honey Locust	<i>gleditsia triacanthos</i>	32 cm DBH
(5) Apple	<i>malus</i>	21 cm DBH
(6) Apple	<i>malus</i>	22 cm DBH
(7) Apple	<i>malus</i>	21 cm DBH
(8) Apple	<i>malus</i>	21 cm DBH
(9) White Oak	<i>quercus alba</i>	44 cm DBH
(10) White Oak	<i>quercus alba</i>	30 cm DBH
(11) White Oak	<i>quercus alba</i>	21 cm DBH
(12) Honey Locust	<i>gleditsia triacanthos</i>	43 cm DBH

Tree No. 1

Condition:

This Honey Locust is in poor condition and in decline. This tree may have been a victim to the 2013 Ice Storm. Buds are very sparse and weak. The canopy contains over 30% deadwood.

This tree requires a **PERMIT for removal**. The removal of this tree will require a **2 to 1 replacement ratio**.

.....2



Tree No. 2
Condition:

This White Spruce is in fair to poor condition. It has a serious lean and damage to the base just above grade. *Basal Decay* is possible but not confirmed. This tree is also afflicted with the initial stages of *Cytospora Fungal Infection* as well as *Yellow Saw Fly Infestation*.

This tree requires a **PERMIT for removal**.

The removal of this tree **will require a 3 to1 replacement ratio**.

Tree No. 3
Condition:

This White Spruce is in fair condition. This tree is also afflicted with the initial stages of *Cytospora Fungal Infection* as well as *Yellow Saw Fly Infestation*.

This tree requires a **PERMIT for removal**.

The removal of this tree **will require a 2 to1 replacement ratio**.

Tree No. 4
Condition:

This Honey Locust is dead. This tree qualifies for an exemption under the City of Vaughan Private Tree Protection Act. The tree is exempted from all permit fees and replacement obligations.

Tree No. 5
Condition:

This Apple tree is in fair condition. This tree demonstrates 10 to 15% deadwood.

This tree requires a **PERMIT for removal**.

The removal of this tree **will require a 1 to1 replacement ratio**.

.....3



Tree No. 6
Condition:

This Apple tree is in fair condition. This tree demonstrates 10 to 15% deadwood. This tree requires a **PERMIT for removal**. The removal of this tree **will require a 1 to1 replacement ratio**.

Tree No. 7
Condition:

This Apple tree is in fair condition. This tree demonstrates 10 to 15% deadwood. This tree requires a **PERMIT for removal**. The removal of this tree **will require a 1 to1 replacement ratio**.

Tree No. 8
Condition:

This Apple tree is in fair condition. This tree demonstrates 10 to 15% deadwood. This tree requires a **PERMIT for removal**. The removal of this tree **will require a 1 to1 replacement ratio**.

Tree No. 9
Condition:

This White Oak is in fair condition botanically but fair to poor structurally. This tree has a poor main union with over 60 cm of included bark. There is large number of branch unions within close proximity of each other. There is a frost crack starting at ground level up to 3m in height. This tree is within close proximity of the dwelling and secondary power stack. The possibility of large limbs failing is high.

This tree requires a **PERMIT for removal**. The removal of this tree **will require a 3 to1 replacement ratio**.



Tree No. 10

Condition:

This White Oak is dead. This tree qualifies for an exemption under the City of Vaughan Private Tree Protection Act. The tree is exempted from all permit fees and replacement obligations.

Tree No. 11

Condition:

This White Oak is in fair to poor condition. It has been growing in very crowded conditions and has a very limited crown. The main stem displays over 2m of included bark.

This tree requires a **PERMIT for removal**.

The removal of this tree **will require a 1 to1 replacement ratio.**

Tree No. 12

Condition:

This Honey Locust is in fair to poor condition. This tree is a victim of the 2013 Ice Storm with broken branches still visible in the canopy. This tree demonstrates approximately 30% deadwood. The buds are very sparse and weak. This tree is in decline.

This tree requires a **PERMIT for removal**.

The removal of this tree **will require a 3 to1 replacement ratio.**

.....5



Arborist Recommendations:

The homeowner would like to remove these (12) trees as indicated on the application. 10 trees will require permits for removal. 2 trees will qualify for exemption.

The homeowner has recently purchased this property and would like to remove these (12) trees as the majority of them are in decline/ dead or have other structural issues. The removal of these (12) trees represents approximately 80% of the property's canopy.

The homeowner is requesting to **cash out in lieu** of replanting as per the guidelines of the City of Vaughan Private Tree Protection Act.

As per the above stated replanting ratio's, the removal of these (12) trees would require 18 trees replaced by cash out in lieu of option.

$18 \times \$550.00 = \$9,900.00$...payable to City of Vaughan.

The homeowner respectfully requests special consideration is granted in regards to Tree No. 1, 2 & 12 as these trees are in serious decline. Therefore in lieu of 6 replacements trees, kindly reduced to 3 replacement trees, subsequently reducing the **cash out in lieu** to \$8,250.00. Please notify *NOICA Consulting* with your decision.

Kindly contact the *NOICA CONSULTING* with written permission for these removals.
Lisa Piccin 416-254-9419.

Sincerely,

NOICA CONSULTING INC.

Richard Burton
MT CU Certification No 1740198

METRIC
DISTANCES SHOWN ON THIS
PLAN ARE IN METRES AND
CAN BE CONVERTED TO
FEET BY DIVIDING BY 0.3048

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1994452



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
IN ACCORDANCE WITH
REGULATION 1026, SECTION 29(3).

SURVEYOR'S REAL PROPERTY REPORT
PART 1) PLAN AND TOPOGRAPHIC DETAIL OF
LOTS 14 AND 15 AND
PART OF LOT 16
REGISTERED PLAN 268
CITY OF VAUGHAN

REGIONAL MUNICIPALITY OF YORK
SCALE 1:250

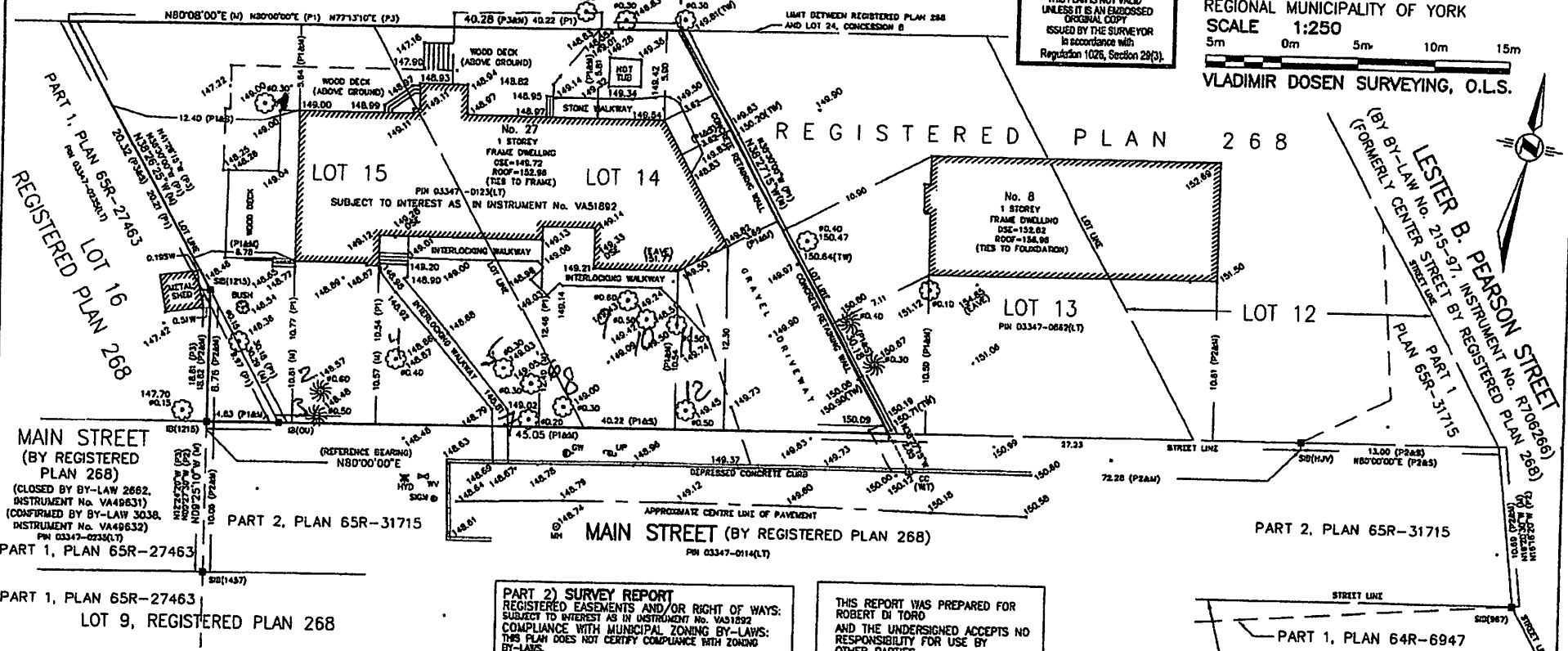
5m 0m 5m 10m 15m

VLADIMIR DOSEN SURVEYING, O.L.S.

LOT 24, CONCESSION 8

PART 1, PLAN 65R-27463
PIN 03347-0235(LT)

PIN 03347-0382(LT)



PART 2) SURVEY REPORT
REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:
SUBJECT TO INTEREST AS IN INSTRUMENT NO. VA31892
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING
BY-LAWS.

THIS REPORT WAS PREPARED FOR
ROBERT DI TORO
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY
OTHER PARTIES

- LEGEND**
- DENOTES SURVEY MONUMENT PLANTED
 - DENOTES SURVEY MONUMENT FOUND
 - IB DENOTES IRON BAR
 - SIB DENOTES STANDARD IRON BAR
 - S DENOTES SET
 - M DENOTES MEASURED
 - OU DENOTES ORIGIN UNKNOWN
 - 987 DENOTES W.N. WILDMAN, O.L.S.
 - 1215 DENOTES OTTO BURL, O.L.S.
 - 1457 DENOTES RONALD JAMES STEWARD, O.L.S.
 - M/V DENOTES HOLDING JONES VANDERVEEN INC., O.L.S.
 - P1 DENOTES SKETCH BY HAROLD WHEELER ASSOCIATES, O.L.S., DATED OCTOBER 6, 1959, REVISED DECEMBER 3, 1959

- P2 DENOTES PLAN 65R-31715
- P3 DENOTES PLAN 65R-27463
- DSE DENOTES DOOR SILL ELEVATION
- GSE DENOTES GARAGE SILL ELEVATION
- GW DENOTES GUY WIRE
- PH DENOTES FIRE HYDRANT
- HYD DENOTES MANHOLE
- TW DENOTES TOP OF WALL ELEVATION
- UP DENOTES UTILITY POST
- WV DENOTES WATER VALVE
- CT DENOTES CONIFEROUS TREE
- CD DENOTES DECIDUOUS TREE

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS
PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION
OF VLADIMIR DOSEN, O.L.S.

BEARING NOTE:
BEARINGS ARE ASTRONOMIC AND ARE DERIVED
FROM THE NORTHERLY LIMIT OF MAIN STREET
AS SHOWN ON PLAN 268
HAVING A BEARING OF N80°00'00"E.

BENCHMARK NOTE:
ELEVATIONS ARE LOCAL.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEY ACT, THE SURVEYORS ACT AND
THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE
7th DAY OF OCTOBER, 2018

OCTOBER 28th, 2018
DATE
VLADIMIR DOSEN, B.Sc.
ONTARIO LAND SURVEYOR

VLADIMIR DOSEN SURVEYING
ONTARIO LAND SURVEYORS

555 DAVISVILLE AVENUE
TORONTO, ONTARIO M4S 1J2
PHONE: (416) 466-0440 EMAIL: vldosen@rogers.com

FIELD: RK	CAD FILE: 27 MAIN STREET
DRAWN BY: CL	FILE: 15-097
CHECKED BY: VD	JOB No: 18421

METRIC
DISTANCES SHOWN ON THIS
PLAN ARE IN METRES AND
CAN BE CONVERTED TO
FEET BY DIVIDING BY 0.3048

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1994452



THIS PLAN IS NOT VALID
UNLESS IT IS AN ENCLOSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
IN ACCORDANCE WITH
REGULATION 1028, SECTION 29(1).

SURVEYOR'S REAL PROPERTY REPORT
PART 1) PLAN AND TOPOGRAPHIC DETAIL OF
LOTS 14 AND 15 AND
PART OF LOT 16
REGISTERED PLAN 268
CITY OF VAUGHAN

REGIONAL MUNICIPALITY OF YORK
SCALE 1:250

5m 0m 5m 10m 15m

VLADIMIR DOSEN SURVEYING, O.L.S.

LOT 24, CONCESSION 8

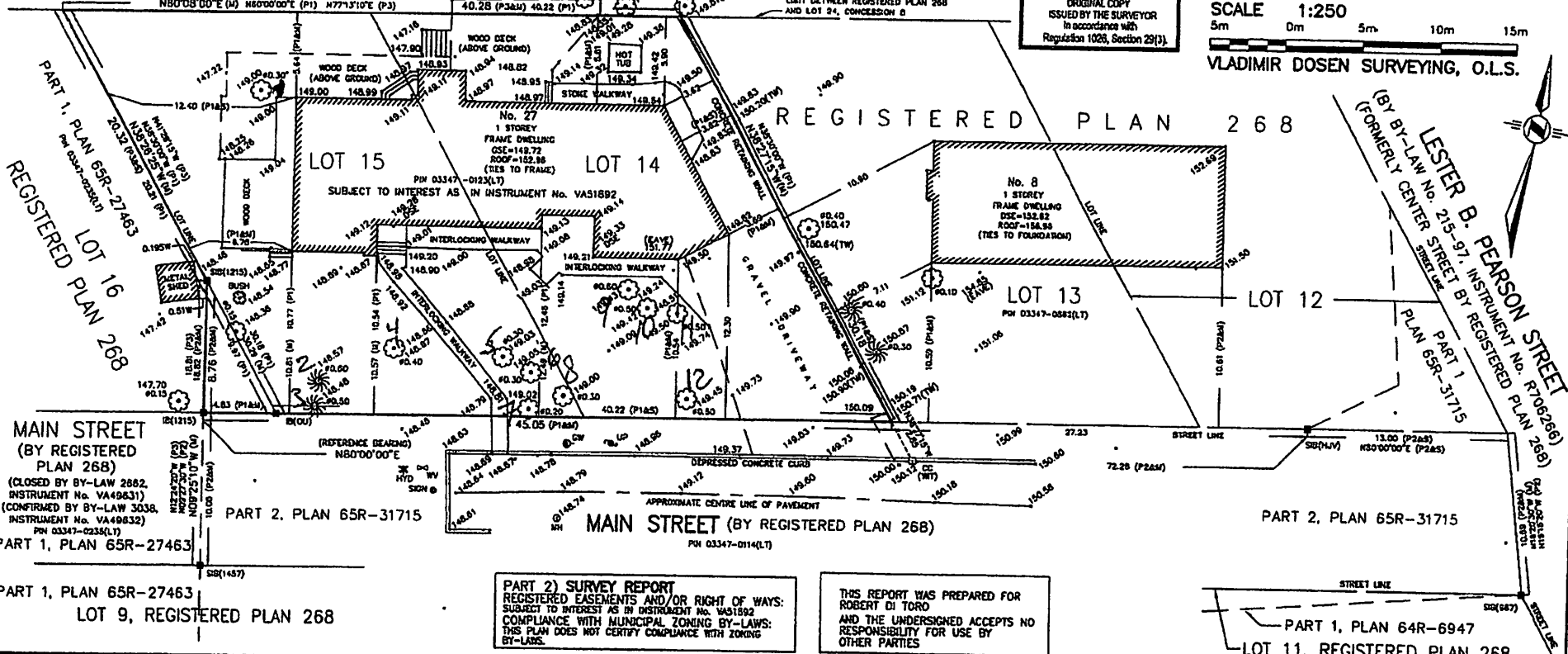
PART 1, PLAN 65R-27463
PIN 03347-0235(LT)

PIN 03347-0882(LT)

LIMIT BETWEEN REGISTERED PLAN 268
AND LOT 24, CONCESSION 8

REGISTERED PLAN 268

LESTER B. PEARSON STREET
(BY BY-LAW No. 215-97, INSTRUMENT No. R06266)
(FORMERLY CENTER STREET BY REGISTERED PLAN 268)
PART 1
PLAN 65R-31715



PART 2) SURVEY REPORT
REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:
SUBJECT TO INTEREST AS IN INSTRUMENT No. VAS1892
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING
BY-LAWS.

THIS REPORT WAS PREPARED FOR
ROBERT DI TORO
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY
OTHER PARTIES

- LEGEND**
- DENOTES SURVEY MONUMENT PLANTED
 - DENOTES SURVEY MONUMENT FOUND
 - IS DENOTES IRON BAR
 - SIS DENOTES STANDARD IRON BAR
 - S DENOTES SET
 - M DENOTES MEASURED
 - OU DENOTES ORIGIN UNKNOWN
 - 987 DENOTES W.N. WALSHMAN, O.L.S.
 - 1215 DENOTES OTTO ERTL, O.L.S.
 - 1457 DENOTES RONALD JAMES STEWARD, O.L.S.
 - HV DENOTES HOLDON JONES VANDERVEEN INC., O.L.S.
 - P1 DENOTES SKETCH BY HAROLD WHEELER ASSOCIATES, O.L.S.
 - DATED OCTOBER 8, 1958, REVISED DECEMBER 3, 1959

- P2 DENOTES PLAN 65R-31715
- P3 DENOTES PLAN 65R-27463
- DSE DENOTES DOOR SILL ELEVATION
- GSE DENOTES GARAGE SILL ELEVATION
- GW DENOTES GUY WIRE
- HYD DENOTES FIRE HYDRANT
- MH DENOTES MANHOLE
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- WV DENOTES WATER VALVE
- ☼ DENOTES CONIFEROUS TREE
- ☼ DENOTES DECIDUOUS TREE

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS
PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION
OF VLADIMIR DOSEN, O.L.S.

BEARING NOTE:
BEARINGS ARE ASTRONOMIC AND ARE DERIVED
FROM THE NORTHERLY LIMIT OF MAIN STREET
AS SHOWN ON PLAN 268
HAVING A BEARING OF N80°00'00"E.

BENCHMARK NOTE:
ELEVATIONS ARE LOCAL

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:

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- THE SURVEY WAS COMPLETED ON THE
7th DAY OF OCTOBER, 2018

OCTOBER 28th, 2018
DATE

VLADIMIR DOSEN, B.Sc.
ONTARIO LAND SURVEYOR

VLADIMIR DOSEN SURVEYING
ONTARIO LAND SURVEYORS
555 DAVISVILLE AVENUE
TORONTO, ONTARIO M4S 1J2
PHONE: (416) 466-0440 EMAIL: vlad@vadosen.com

FIELD: RK	CAD FILE: 27 MAIN STREET
DRAWN BY: CL	FILE: 15-097
CHECKED BY: VO	JOB No: 16421

Street Address. 27 MAIN STREET
 CTS No. KLEINBURG

**CITY OF VAUGHAN
 PRIVATE PROPERTY TREE PROTECTION BY-LAW (185-2007)
 APPLICATION FORM**

OFFICE USE ONLY

(To be completed after the application has been reviewed by Parks & Forestry Operations)

Permit No.:	_____	Process. Receipt No.	_____
		Permit Receipt No.	_____
Processing Fee:	\$ 58.00	Received By:	_____ Date: _____
Permit Fee:	\$ _____	Received By:	_____ Date: _____
Approved:	_____	Denied:	_____
Method of Payment:	_____		

CHECK LIST

1. Application (incl. \$58.00 non-refundable processing fee) ☒
2. Arborist Report ☒
 - (a) For dead or hazardous trees (and/or) ☒
 - (b) For replacement plan ☐ *CASH OUT IN LIEU OF REPLANTING*
3. Copies of Landscape Plan (2) ☒
 On a separate 8 1/2 x 11 paper sketched or to scale
4. Pictures ☒
 (2) pictures required per tree:
 - Close up of the tree
 - Overview of the tree in proportion to the lot.
5. Written Consent from Neighbour ☐ *N/A*
6. Not a woodlot or part of a woodlot ☐ *N/A*

APPLICATION # _____

The personal information on this form is collected under By-law #185-2007 and will be used for the purposes of this application only. This application may contain personal information as defined under the Municipal Freedom of Information and Protection of Privacy Act. This information is collected under By-law #185-2007. This information will be used to process this application and for administrative purposes related to this by-law. Questions related to the collection of this information should be directed to the Municipal Freedom of Information and Protection of Privacy Act Coordinator, 2141 Major Mackenzie Drive, Vaughan, Ontario, L6A 1T1, (905) 832-8504 Extension 6142.

Instructions for Completion of Application:

1. This application is applicable to the injury or destruction of any one (1) or more trees having a tree diameter of twenty (20) centimetres or more measured at the trunk base or 1.4m above the ground or any multi-stemmed tree(s) having a combined trunk diameter of twenty (20) centimetres or more or having a base diameter of twenty (20) centimeters or more unless authorised by permit to do so pursuant to By-law 185-2007.
2. Application form to be completed by applicant. Print **CLEARLY**. Incomplete applications will not be processed resulting in delays. A non-refundable processing fee of \$58.00 to be included at time of submission.
3. Application process is a minimum of 60 days. Applications involving multiple trees or requiring additional site visits may require longer.
4. Municipal address must include street name and number. (911 numbers for rural location)
5. Provide 2 copies of plans or drawings of the property showing locations of all trees, including trees(s) to be removed and tree(s) being preserved.
6. Provide photographs of the tree(s) being removed. Photos are to include a close up and a photo taken at a distance providing context on the site.
7. Tree protection plans must be submitted for tree(s) being preserved in or adjacent to construction zones/areas.
8. Provide an Arborist Report for all trees including dead or hazardous tree(s).
9. Provide 2 copies of the replanting plan or landscape plan, if replanting is required. All tree removals which are not for dead or dying trees will require replanting. The number of trees to be replanted will be determined by the Parks Manager and will be determined by the number, size and condition of tree(s) being removed.
10. If applicant does not wish to re-plant the required replacement trees, they may opt to pay for trees to be planted on City lands within the community. A fee of \$425.00 EA will be added to the permit cost in addition to a 15% administration fee. Replacement trees will be planted by the City within 12 months of permit date.
11. See table in Section 18 for fee requirements. If paying by cheque, make cheque payable to: The City of Vaughan, Tree Permit Section.
12. Provide written consent from an adjacent property owner where the base of a tree straddles a property line.
13. Provide written authorization from the owner if this application is signed by an applicant other than the owner, or by an agent.
14. Submit this application and supporting documentation to Parks & Forestry Operations, Joint Operations Centre located at 2800 Rutherford Road, Vaughan ON L4K 2N9.
15. Arborist Report is to include the following:
 - Percentage of total property canopy cover being removed
 - Species of trees being removed
 - Health/Condition of trees being removed
 - Reason for removal
 - Replacement recommendations to remove non-hazard tree(s)
 - Formula used for replacement
 - Arborist certification number
 - If tree(s) is determined to be hazardous, rationale must be included

APPLICANT INFORMATION

1. Municipal address of subject property:
#27 MAIN STREET KENNEDY ONT L0K 1C0
2. Name of Applicant/Agent:
NOICA CONSULTING ON BEHALF OF MR ROBERT D. TORO
3. Mailing Address of applicant:
102 ANSELINA AVE WOODBRIDGE ONT L4L-8N9
4. Telephone: _____ Work No.: 416-254-9419 (Lisa Piccin)
Fax: _____ Email address: _____
5. Name of Registered Owner (if different from above):
MR ROBERT D. TORO.
6. Mailing address of Owner (if different from above)
SAME AS LINE #1
7. Existing Land Use: RESIDENTIAL
8. Please provide the file number of any types of current development applications that have been submitted:
- | | | | |
|-------------------------|----------|-------------------------|-------|
| No Current Applications | <u>✓</u> | Subdivision | _____ |
| Official Plan/Rezoning | _____ | Site Plan | _____ |
| Building Permit | _____ | Committee of Adjustment | _____ |
| Pool Permit | _____ | Topsoil Removal Permit | _____ |
| Land Division | _____ | | |
9. Are the tree(s) located on any neighbouring property line resulting in the joint ownership of the tree/s.
☐ Yes ☒ No ☐ Private
☐ Yes ☐ No ☐ Public
10. If Yes, do you have authorization from the neighbouring property owner to act as their representative in this application to injure or remove tree(s). ☐ Yes ☐ No NIA
11. Letter of authorization from neighbouring property owner to injure or remove tree(s) is provided (if applicable).
☐ Yes ☐ No NIA
12. Have you removed any trees within the last calendar year? ☐ Yes ☒ No
If YES, how many trees were removed? 0
How many of these trees were larger than 20 cm? 0
13. Number of trees being injured or removed 12 (10 PERMITTED 2 EXEMPTIONS)
14. Reason why trees are being injured or removed. (Please circle letter):
A. trees interfere with proposed developments
B. all trees are dead, dying or hazardous
C. trees are interfering with utilities/dwelling/foundation
D. Addition/Pool/Deck
E. other (please specify): _____

15. Please specify species and diameter of trees subject to injury or removal below. If more than five trees, please specify the five largest trees and reference the remainder in the Arborist report (if required).

	Species	Tree Diameter (cm)
1.	<u>Please Refer to ATTACHED</u>	<u>ARBORIST REPORT</u>
2.		
3.		
4.		
5.		

16. Are replacement trees required?

☐ YES (non-hazard tree removal)

☐ NO (dead/dying tree or sufficient canopy coverage)

17. If YES, is a copy of replanting plan attached?

☐ YES ☐ NO

CASH OUT IN LIEU OF PLANTING.

18. A site plan or drawing of the subject property is required and must include the following information:

- The location of the tree(s) you wish to injure or remove and the distance of the trees to the property lines and/or buildings.
- The location of any buildings on the property.
- The dimensions of the property and location of the streets.
- The location and size of trees being protected.
- The proposed location for replacement tree(s).
- Other natural features on the property such as slopes and creeks.

19. Fee Requirements:

Non Refundable processing fee.....	<u>\$ 58.00</u>
1 tree	\$116.00
2 trees	\$153.00
3 trees	\$204.00
4 trees	\$255.00
5 trees	\$306.00
6 trees	<u>\$357.00</u> +200.

Note:

\$50.00 for each additional tree up to a maximum of 20 trees (\$1,050.00)

A \$40.00 fee will be charged for all secondary site inspections, if required.

\$ 615.00.

This information must be supported by an arborist report and/or approved by Manager.

Declaration

I hereby declare that the statements made by me upon this application are, to the best of my belief and knowledge, a true and complete representation of the purpose and intent of this application and authorize City of Vaughan staff to enter the property for inspection purposes for processing this application.

Signed at the City of Vaughan this 25th day of NOVEMBER, 2016

Signature of Applicant: [Signature]

Please print name: LISA ACCIARI



TREE NO. 1

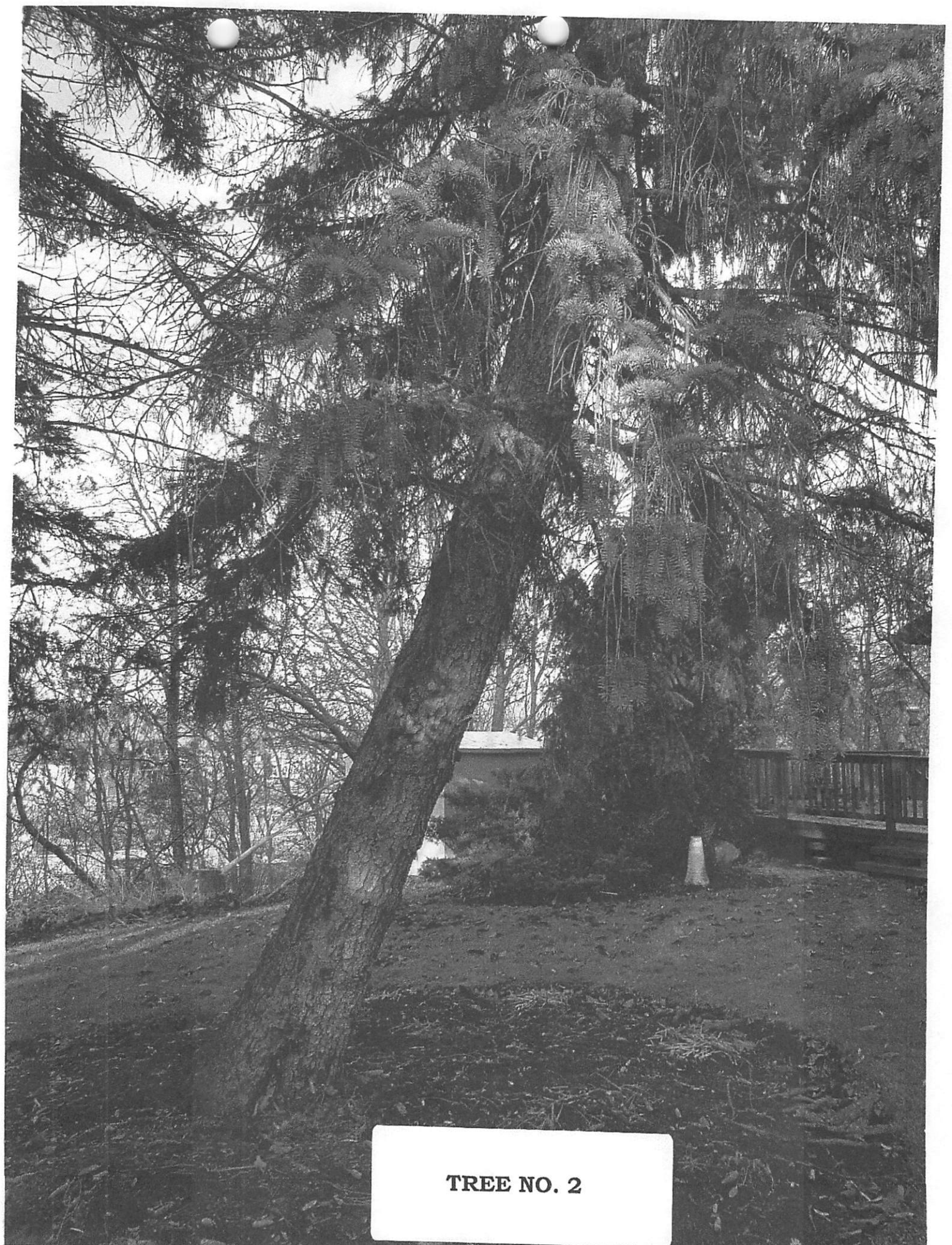
TREE NO. 1



TREE NO. 1

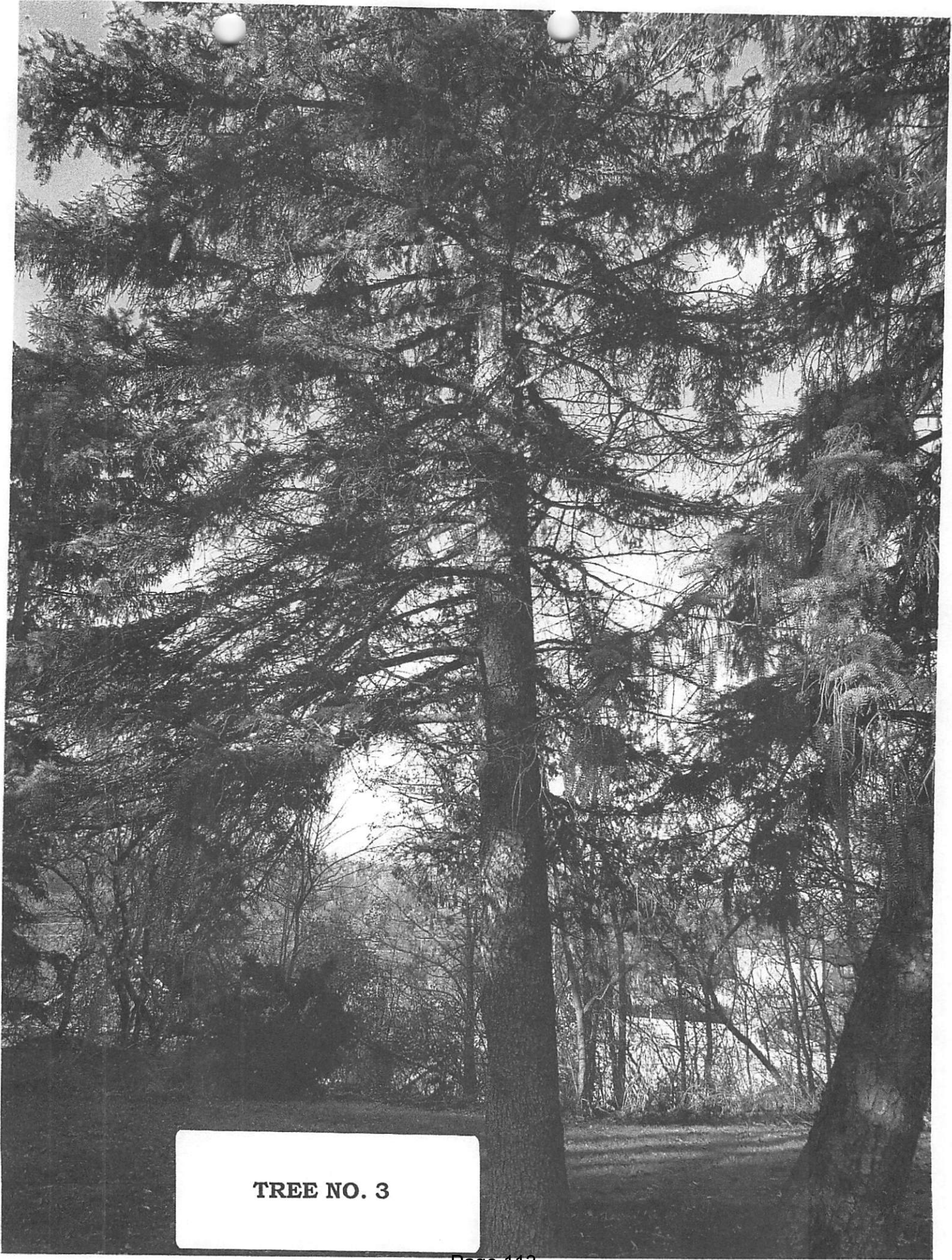


TREE NO. 2



TREE NO. 2

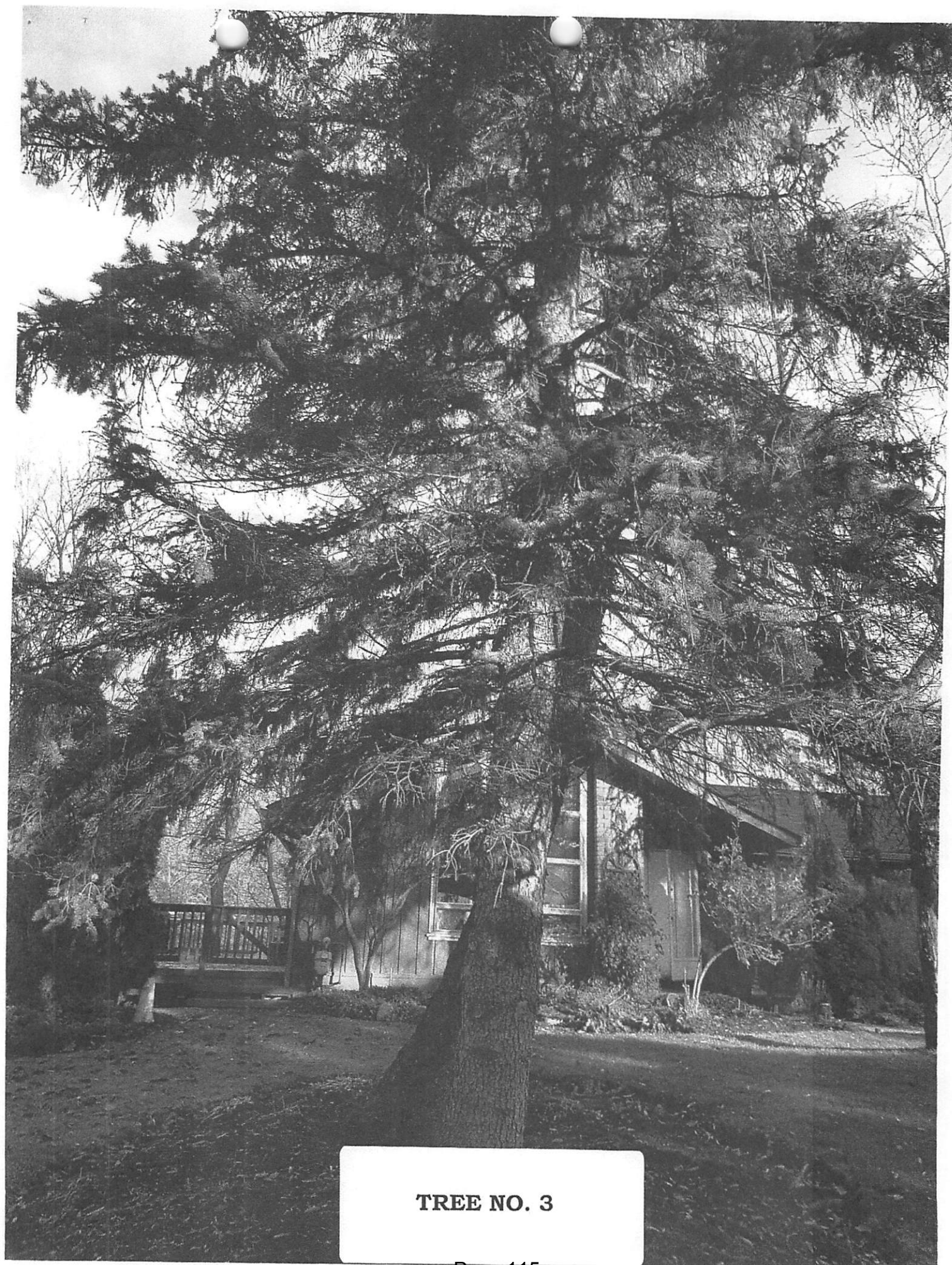
TREE NO. 2



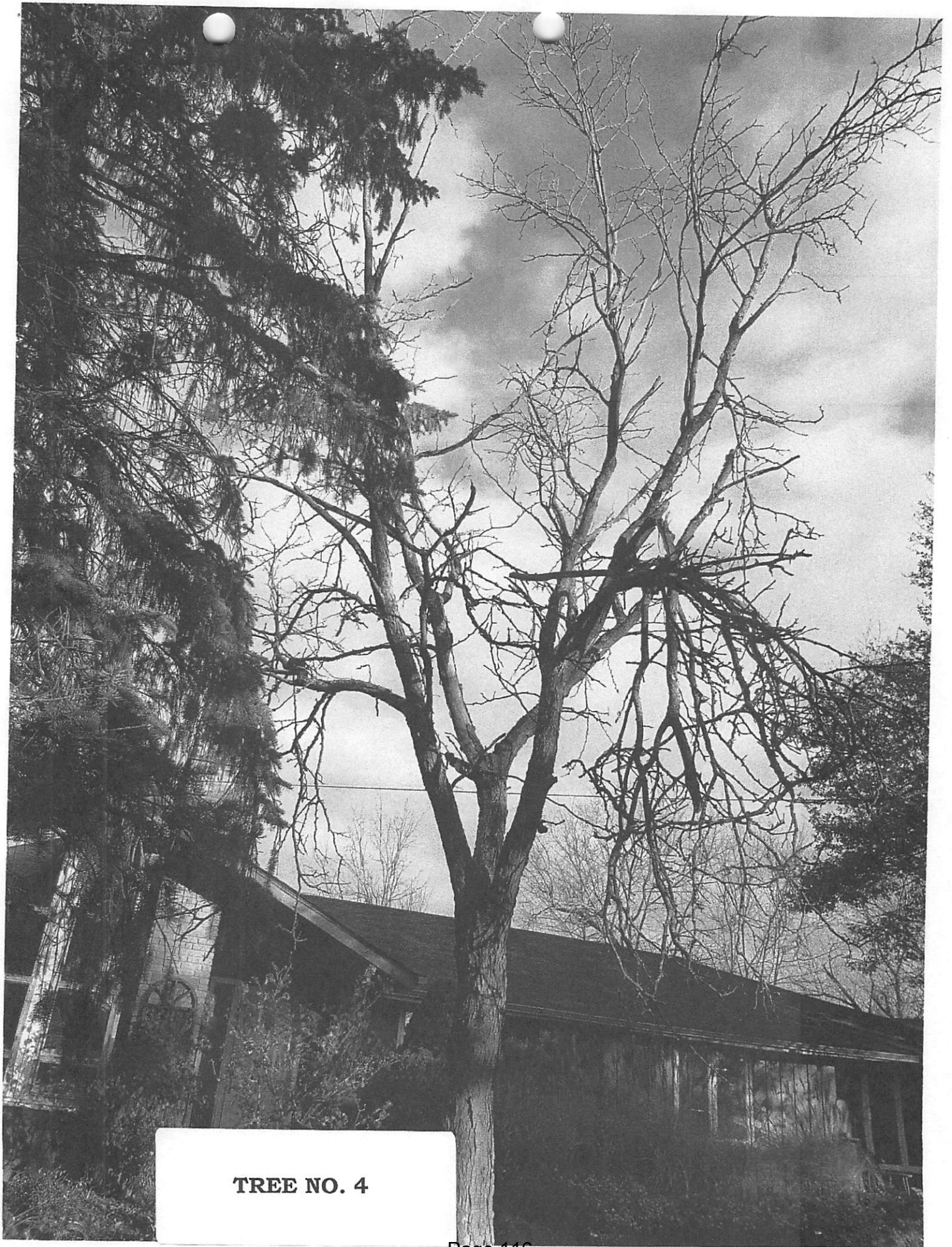
TREE NO. 3



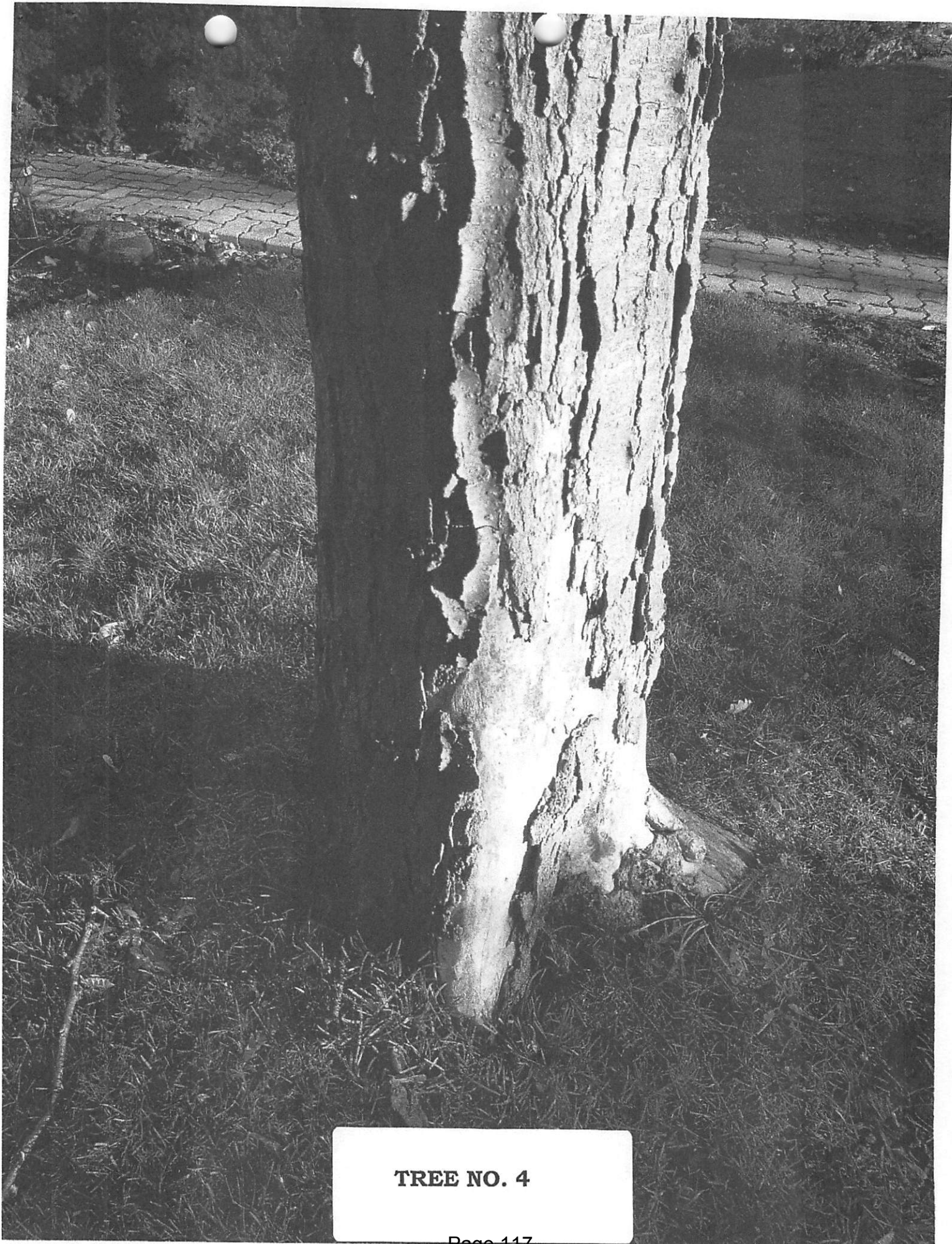
TREE NO. 3



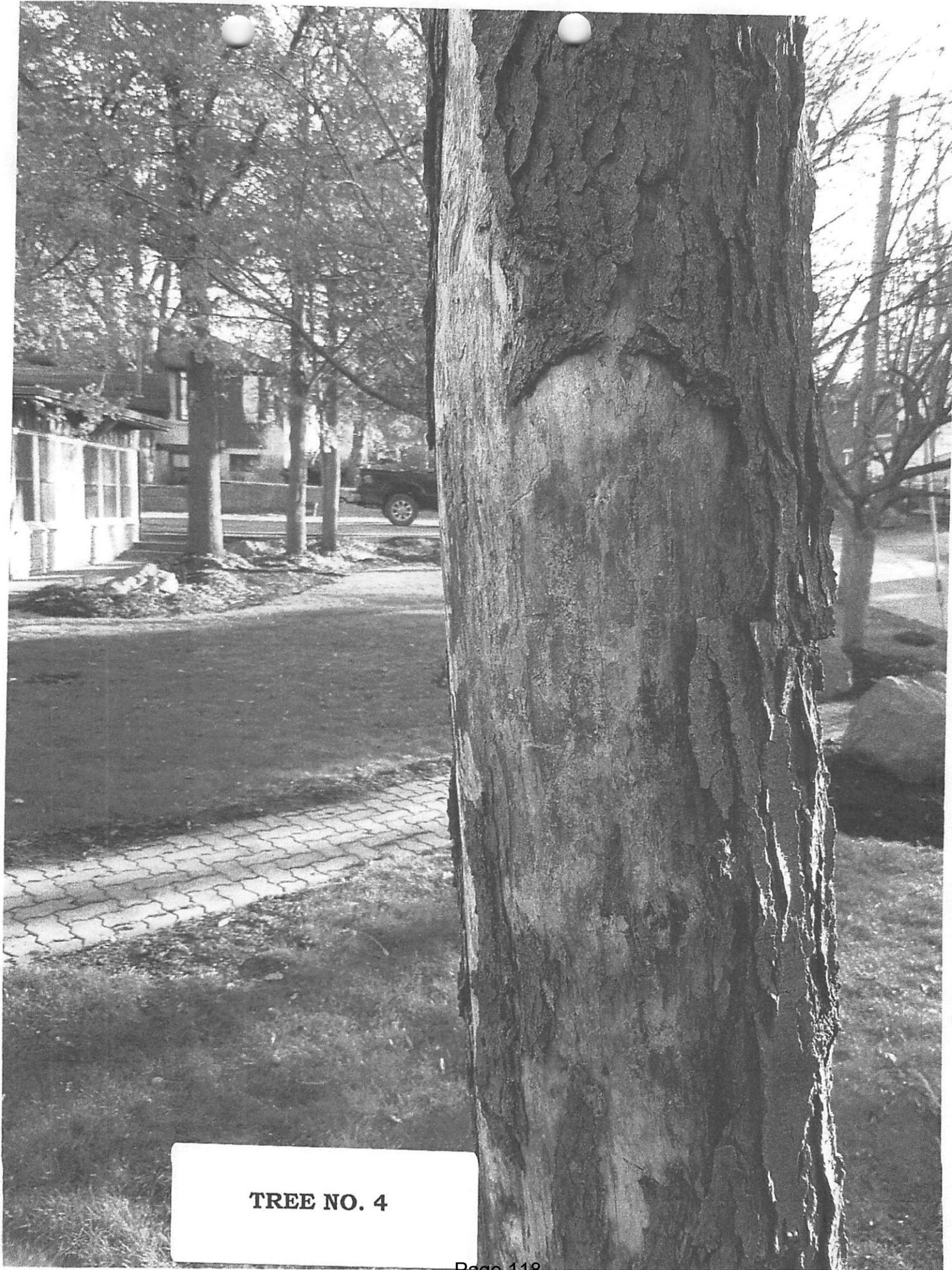
TREE NO. 3



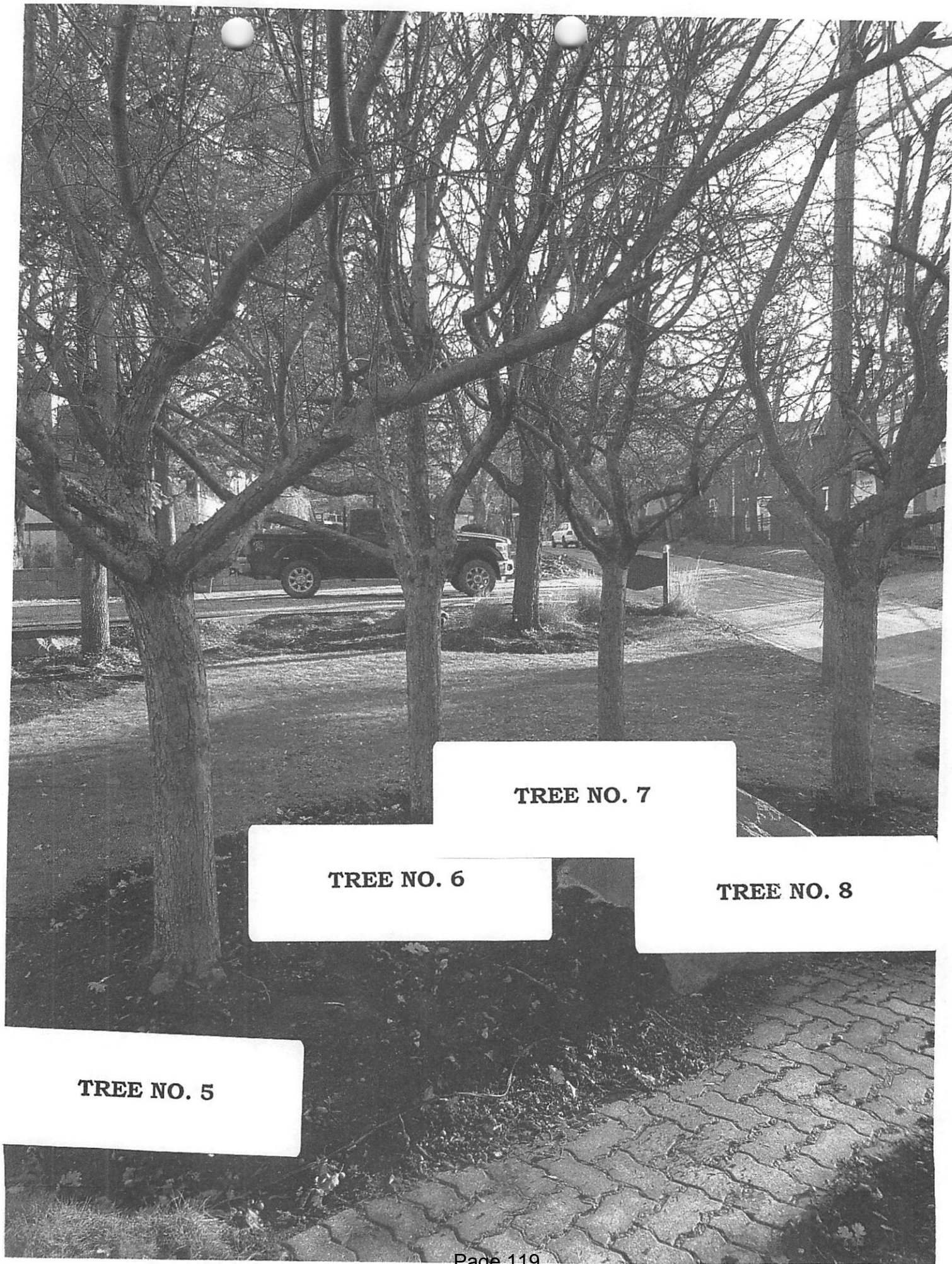
TREE NO. 4



TREE NO. 4



TREE NO. 4

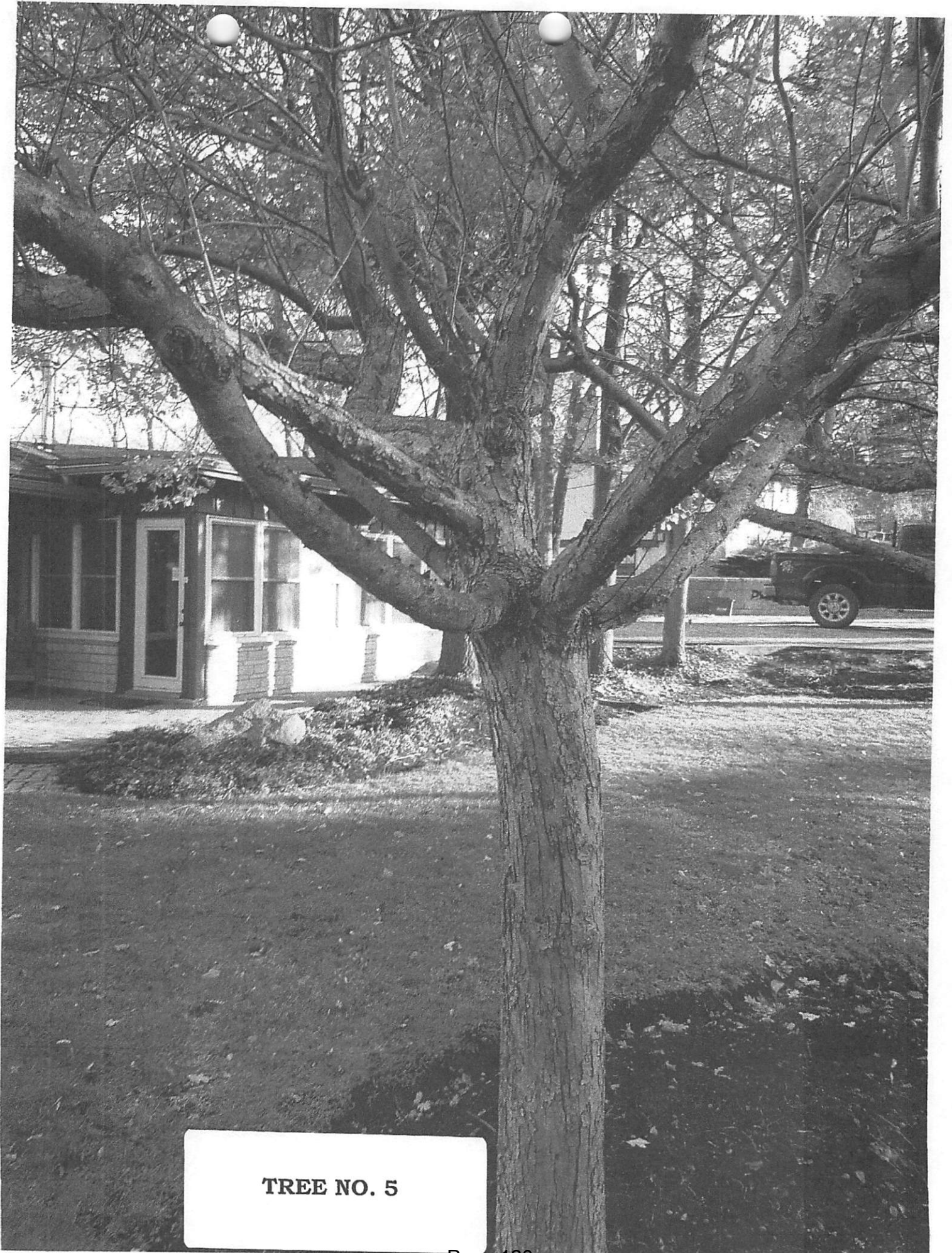


TREE NO. 5

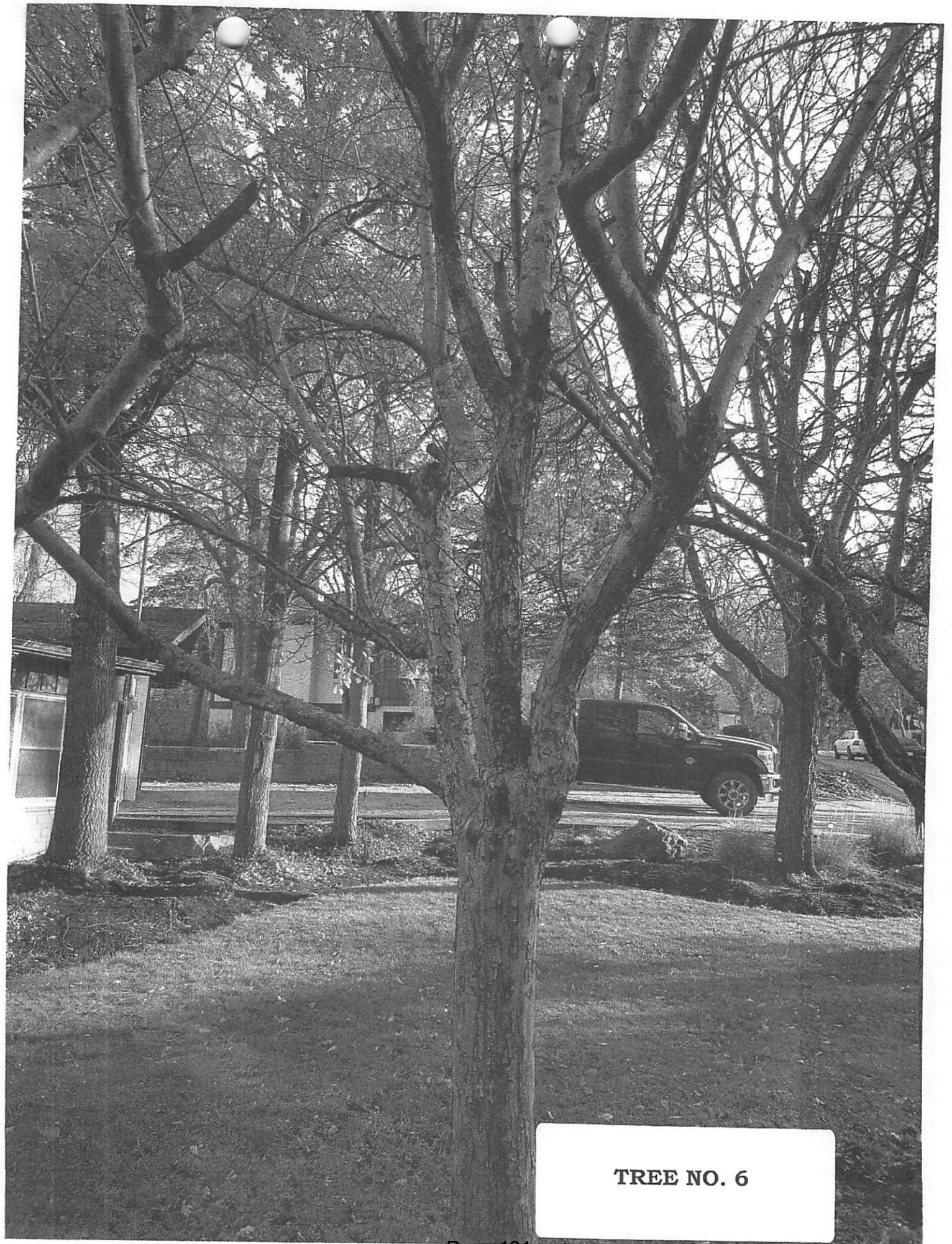
TREE NO. 6

TREE NO. 7

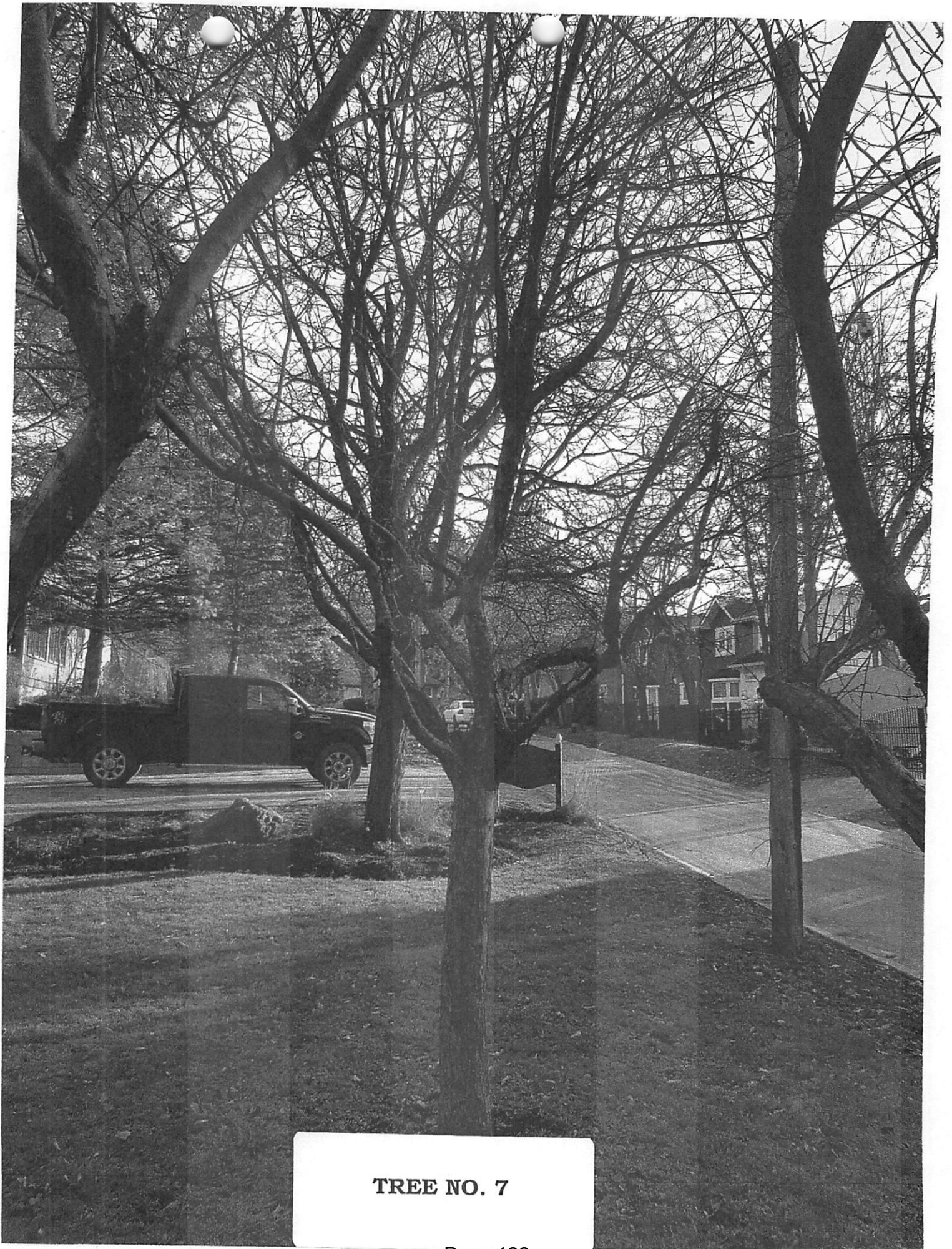
TREE NO. 8



TREE NO. 5



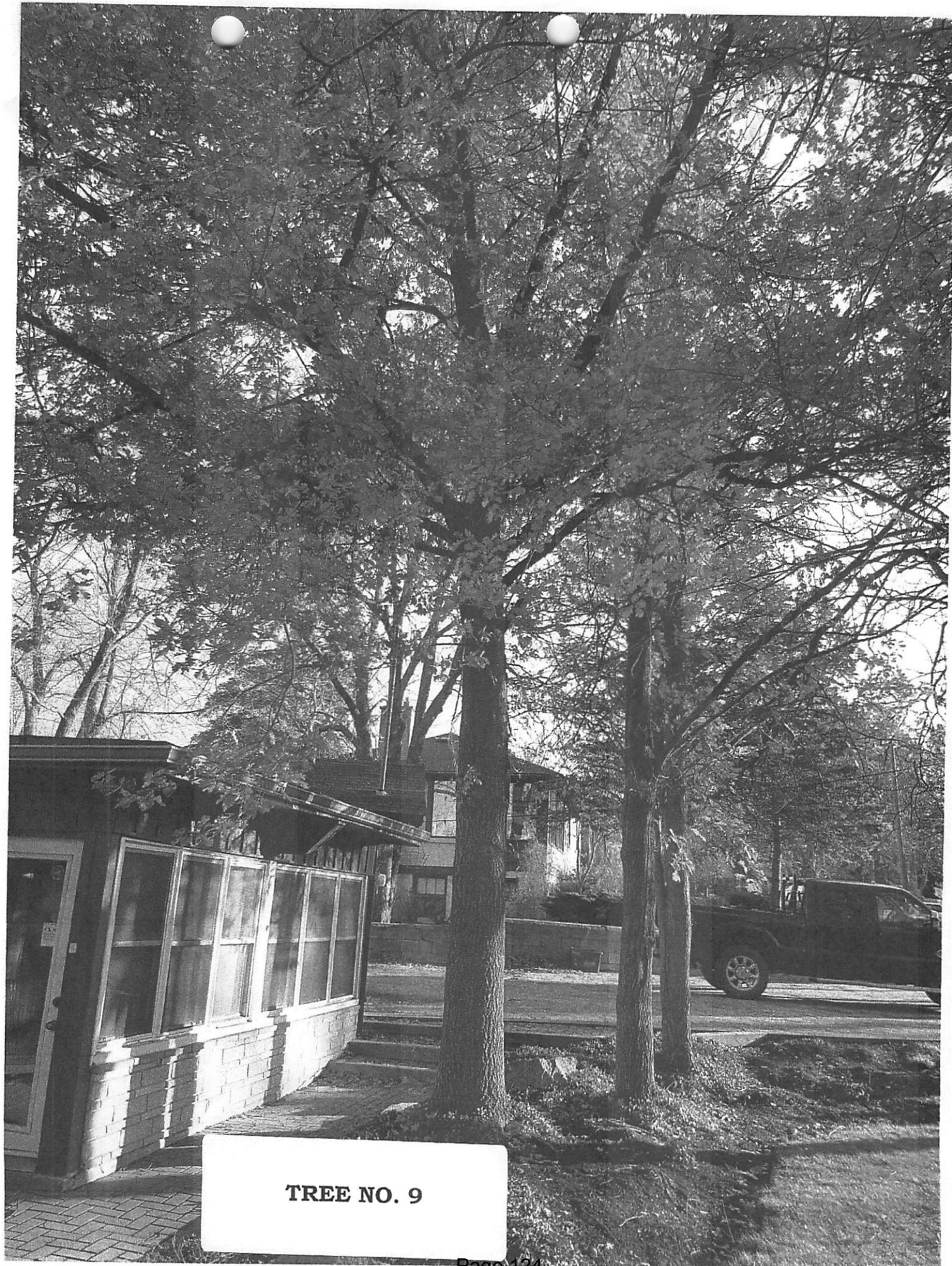
TREE NO. 6



TREE NO. 7



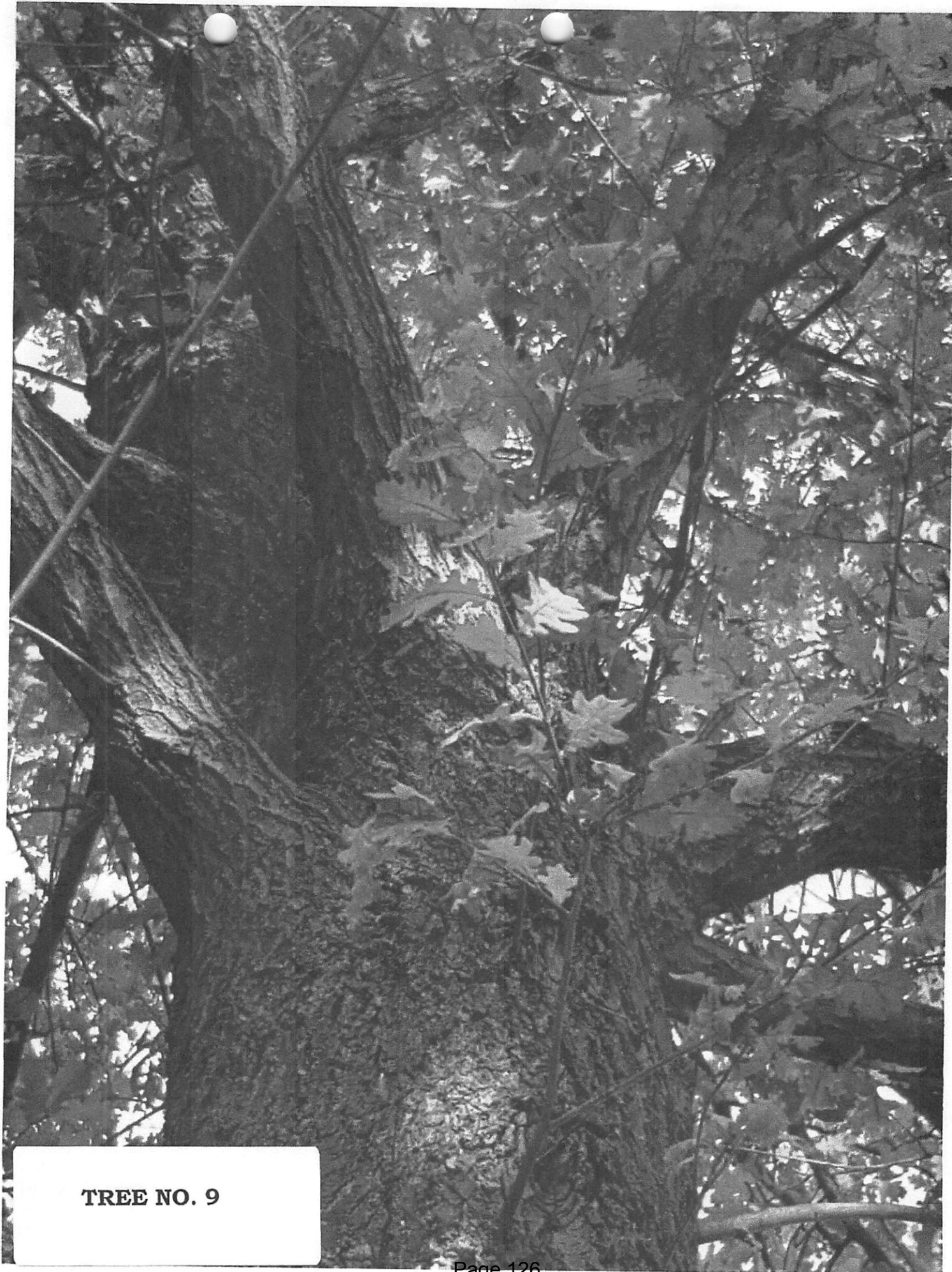
TREE NO. 8



TREE NO. 9

A black and white photograph of a tree trunk with rough, textured bark. A bright light source, possibly a flashlight, illuminates a section of the trunk, creating a strong highlight. In the upper left, a fallen log and some foliage are visible. Two white circular marks are present at the top of the page. A white rectangular label is positioned in the lower-left corner of the image.

TREE NO. 9

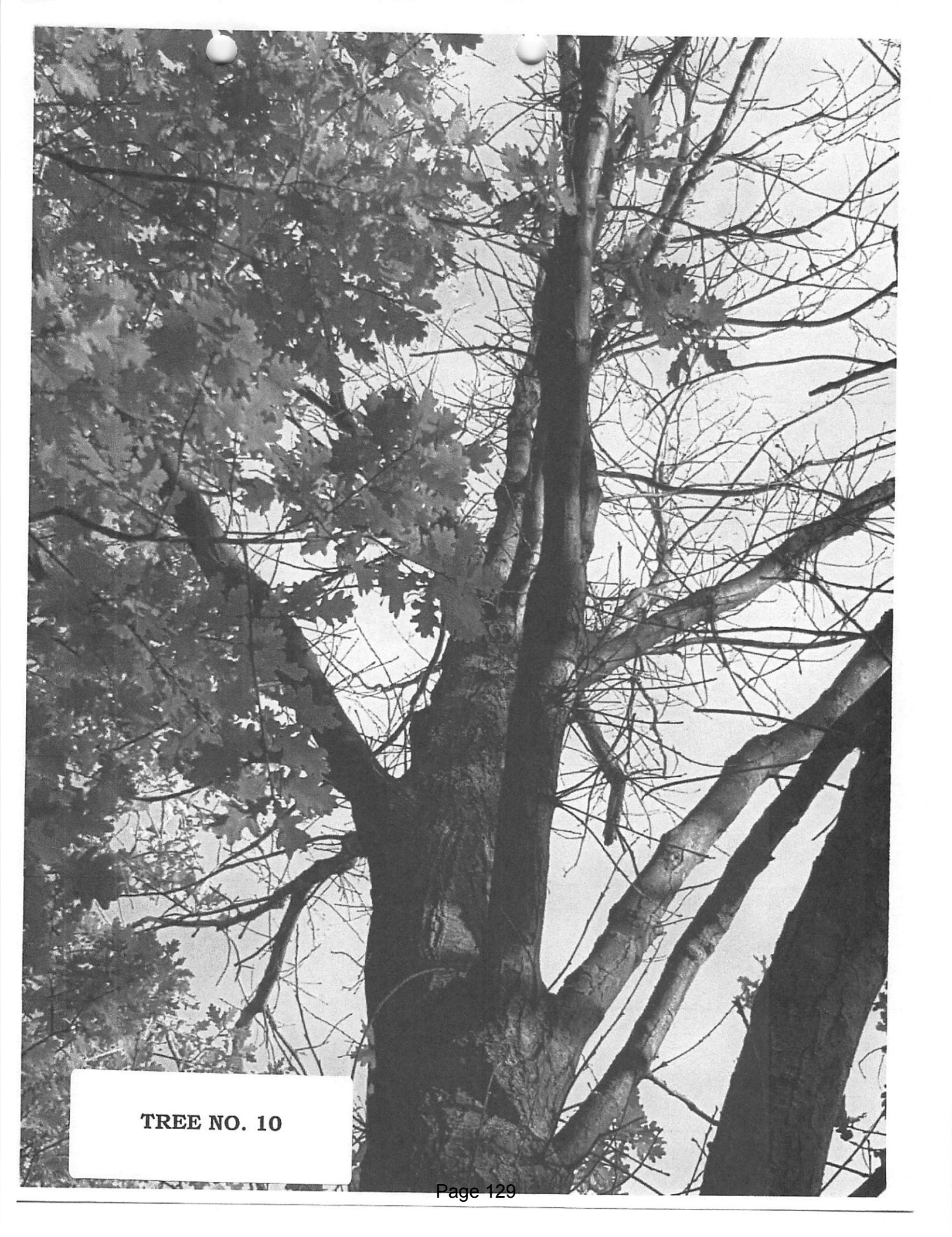


TREE NO. 9

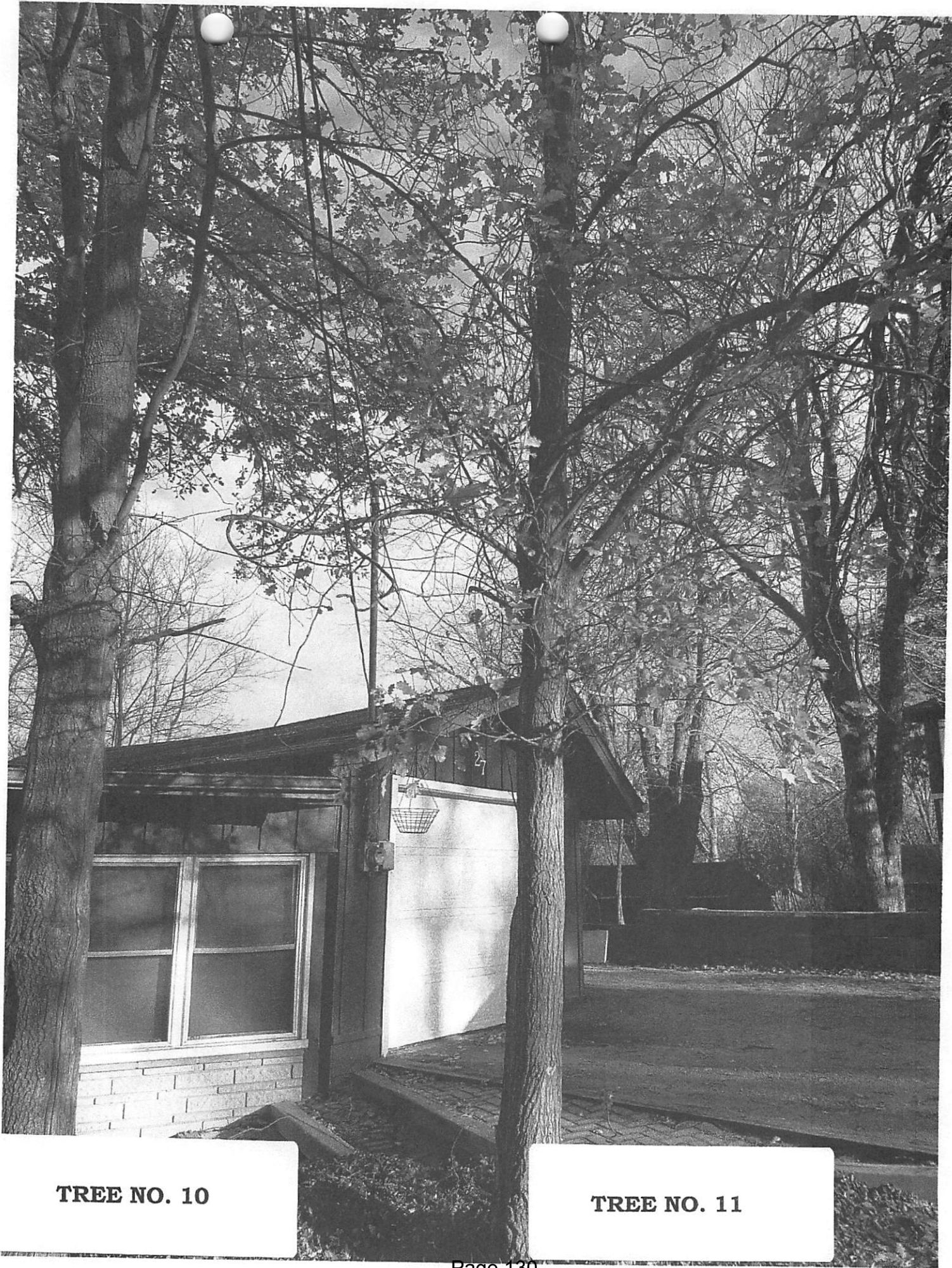


A black and white photograph showing a close-up of a tree trunk. The tree has a thick, textured bark. A large, dark, vertical wound or cavity is visible on the right side of the trunk. To the left of the tree, a portion of a house is visible, including a window with a brick base and a small porch area. The ground is covered with leaves and debris.

TREE NO. 10



TREE NO. 10

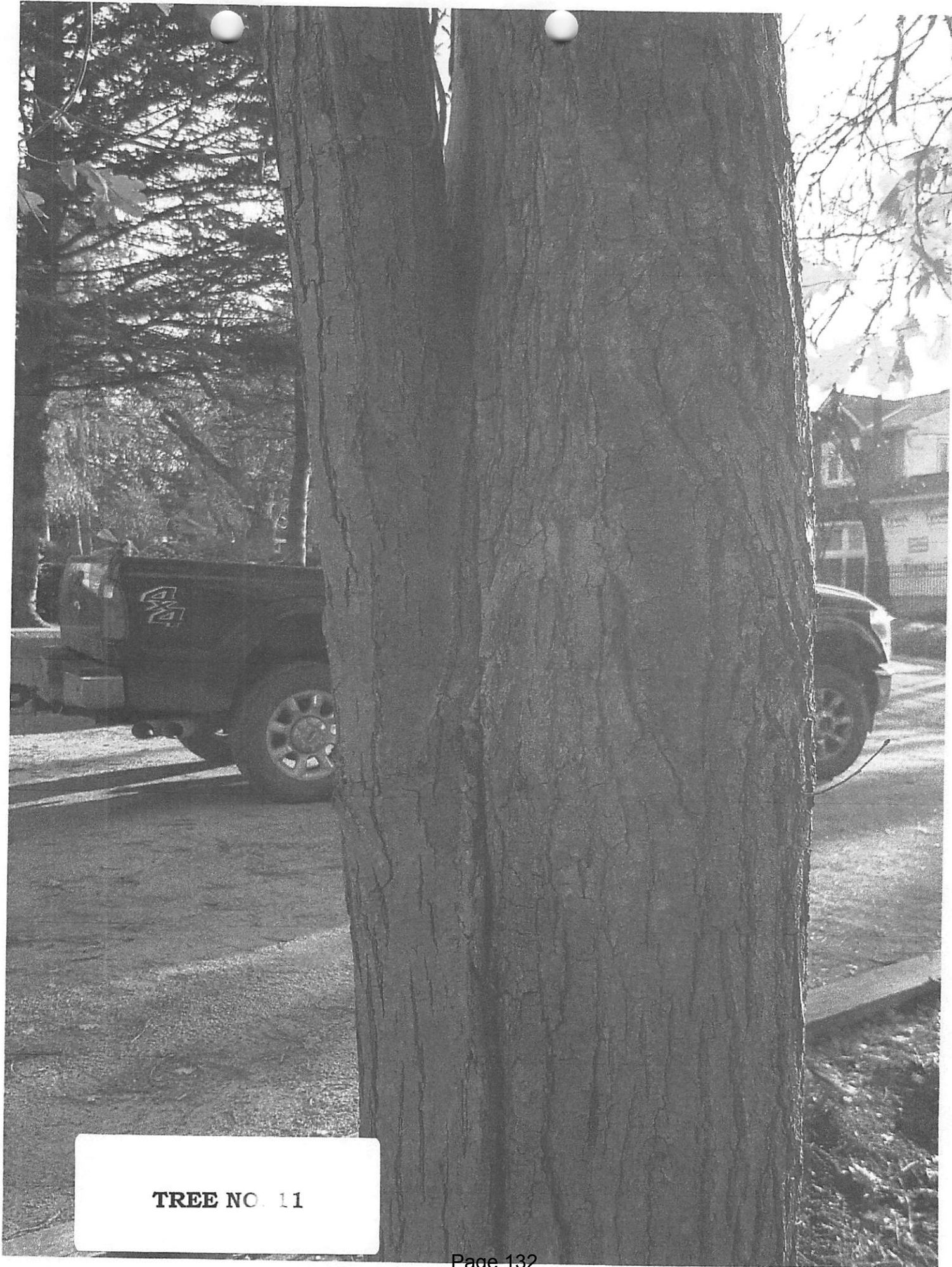


TREE NO. 10

TREE NO. 11



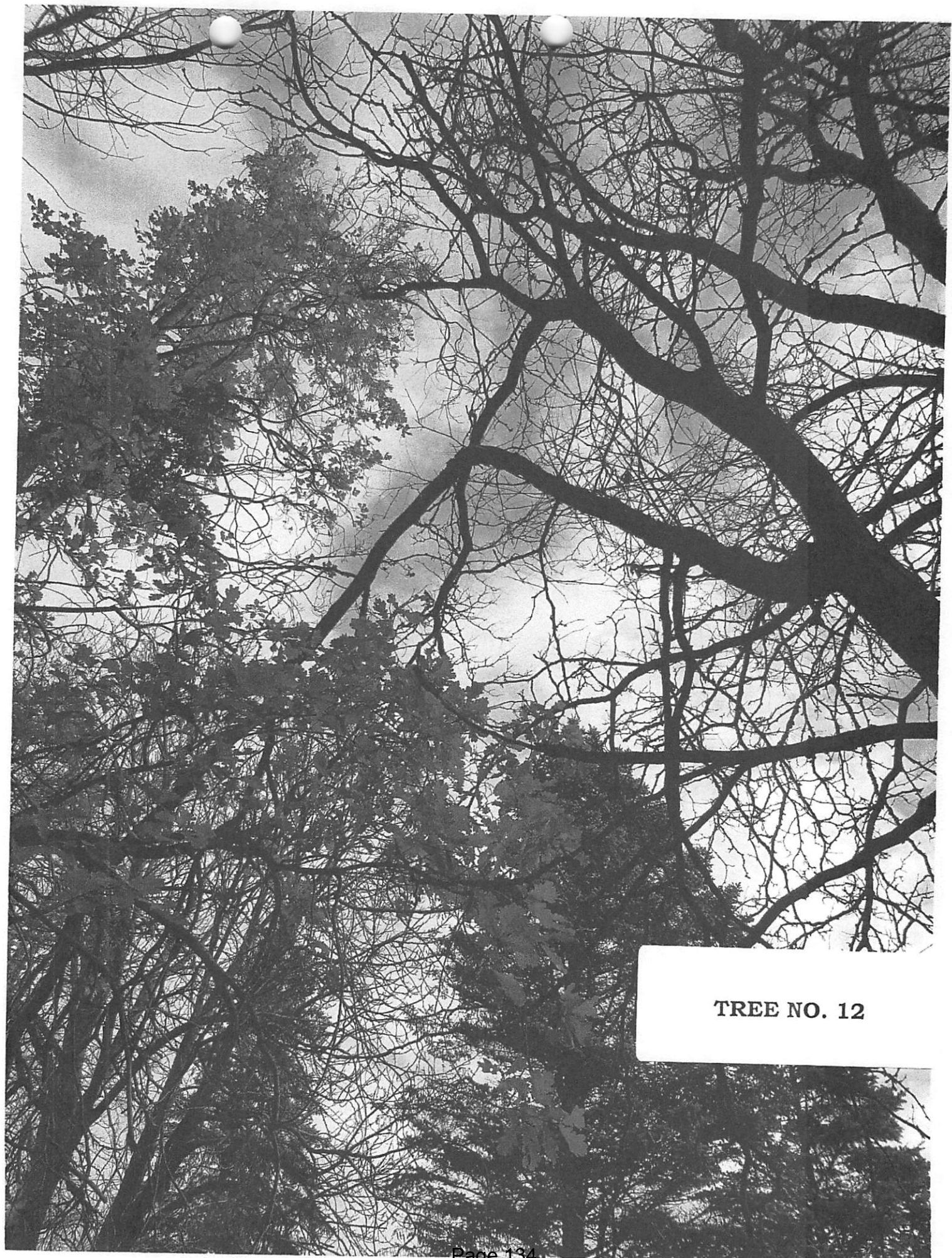
TREE NO. 11



TREE NO. 11



TREE NO. 12



TREE NO. 12



TREE NO. 12

Heritage Vaughan Committee Report

DATE: Wednesday, November 30, 2022

WARD(S): 1

TITLE: KLEINBURG VILLAGE IMPROVEMENTS: STREETSCAPE
DESIGN PROJECT

FROM:

Haiqing Xu, Deputy City Manager, Planning and Growth Management

ACTION: FOR INFORMATION

Purpose

To provide information to Heritage Vaughan Committee regarding the proposed streetscape improvements in Kleinburg Village, part of the Kleinburg-Nashville Heritage Conservation District designated under Part V of the *Ontario Heritage Act*.

Report Highlights

- Current Streetscape Detailed Design Plan is based on the Village of Kleinburg Islington Streetscape Master Plan completed in 2011. The current plan is at 60% design review, with the project anticipated completion in early 2023.
- The project consists of above-grade and below-grade streetscape and infrastructure improvements.
- Construction will begin in 2023 and will conclude in 2024

Recommendations

THAT the information outlined in this report and the consultant presentation on the Kleinburg Streetscape Improvements project be RECEIVED.

Background

The Kleinburg Village Improvements and Streetscaping Project includes the design of the area as outlined in the Village of Kleinburg, which is defined in the Village of Kleinburg: Islington Avenue Streetscape Master Plan. The study area extends along Islington

Avenue, in the public right-of-way, from Major Mackenzie Drive, north to Highway 27, and also along Nashville Road from Highway 27 to Islington Avenue. Islington Avenue is a significant route as it serves as the main entrance to Kleinburg Village and expands through the village core.

The Village of Kleinburg Islington Streetscape Master Plan was completed in 2011. It adopts a comprehensive and integrated approach toward the design of public space. The study was a coordinated effort combining recommendations from the public with existing and potential site conditions. It is based on the principle that urban spaces play an important role in the strengthening of community's social and economic life.

The City has retained the services of Stantec Consulting to carry out the Streetscape Detailed Design work building on the vision, goals and objectives developed in the Streetscape Master Plan. The scope of the project includes the following proposed improvements:

- Streetscape & Infrastructure Improvements (enhanced paving & landscaping)
- Active Transportation (pedestrians & cyclists)
- New On-Street Parking
- Watermain Replacement
- Roadway Pavement Replacement
- Streetlighting Upgrades
- Gateway features

The planned construction start is in Q2 2021, with anticipated completion in 2024. Once the improvements are complete, the changes made through the streetscape design will support existing and future residents and businesses in Kleinburg Village for years to come.

In addition, where possible, various underground infrastructure enhancements – road rehabilitation, watermain replacements – will be completed at the same time to maintain a state of good repair with a focus on minimizing future disruptions.

Previous Reports/Authority

[Village of Kleinburg: Islington Avenue Streetscape Master Plan Study](#) (PDF)

Analysis and Options

The proposed works are geared towards aesthetic as well as functional improvements of the major arteries within Kleinburg Village. The consultant team has consulted with staff from Urban Design and Cultural Heritage during the design process. Staff finds that the proposal is in keeping with the requirements and the policies set out within the KNHCD Plan.

This report is intended for information to the Heritage Vaughan Committee, and to solicit feedback as applicable. The presentation will be made by the consultant team (see Attachment 1).

Financial Impact

The City has approved budget to cost the new enhanced streetscape elements.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The Development Planning Department is satisfied the proposed streetscape improvements project conforms to and respects the requirements and policies of the KNHCD Plan. The proposed works will not detrimentally impact the existing and identified attributes of the Kleinburg-Nashville Heritage Conservation District. Accordingly, staff supports the presentation, for information only, to Heritage Vaughan Committee under the *Ontario Heritage Act*.

For more information, please contact: Nick Borcescu, Senior Heritage Planner, Development Planning, ext. 8191

Attachments

Attachment 1 – Kleinburg Streetscape - Presentation by Stantec

Prepared by

Nick R. Borcescu, Senior Heritage Planner, Development Planning, ext 8191
Shahrazad Davoudi-Strike, Manager Urban Design and Cultural Services, ext. 8653

Kleinburg Village Improvements

Islington Avenue, Nashville Road and Stegman's Mill Road

Heritage Vaughan
November 30, 2022

Agenda



Introduction

Scope of Project

Project Background & Considerations

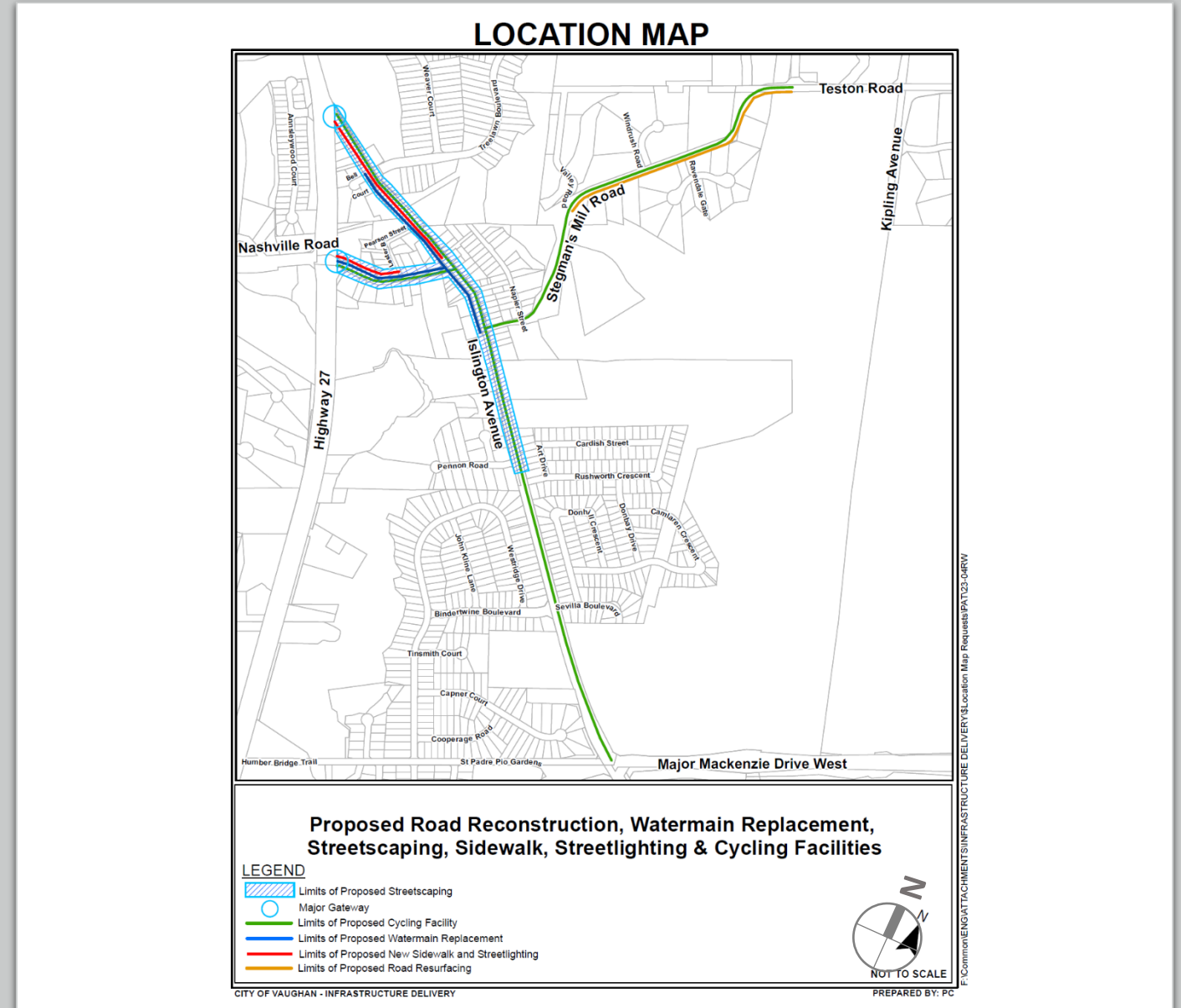
Infrastructure Improvements

Streetscape Design

Questions & Comments

Scope of Project

- Streetscape & Infrastructure Improvements
- Active Transportation (pedestrians & cyclists)
- New On Street Parking
- Watermain Replacement
- Roadway Pavement Replacement
- Streetlighting Upgrades
- Planned Construction Start 2023
- Anticipated Completion 2024



Key Stakeholders

Region of York

TRCA

Utility Companies

Heritage Vaughan Committee

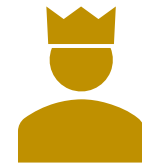
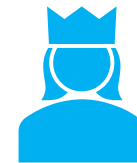
Kleinburg BIA

McMichael Art Gallery

Area Schools

Ratepayers & Residents

City Design Review Panel (DRP)



Consultation & Public Engagement

- Dedicated study webpage
- Study notifications:
 - Project webpage
 - Public service announcements
 - Social media & Local newspaper
- Stakeholder Group Engagement - BIA, McMichael, Ratepayers Association, residents, property owners, businesses
- Virtual Public Information Centres – introduce the project, receive comments / feedback, listen to issues and concerns



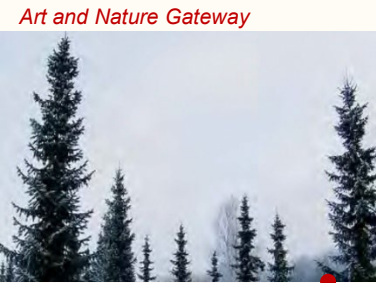


Source: Village of Kleinburg – Islington Avenue Streetscape Master Plan
Study Final Draft Report – June 2011

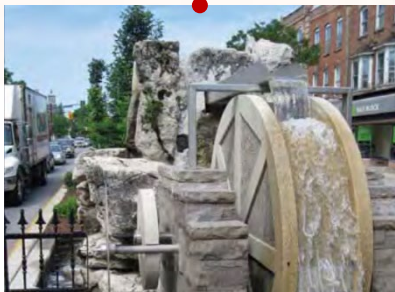


Goals and Objectives

- Create a unique and memorable streetscape
- Integrate Sustainable Principles and Ideals
- Increase safety and accessibility along the streetscape
- Advocate place-making
- Enhance connectivity
- Balance unity and diversity along the streetscape

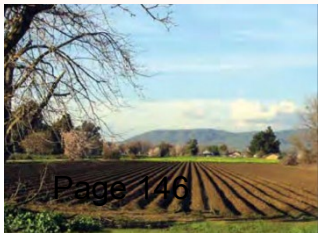


A



Water Power Energy Gateway

B



C Agriculture Gateway
Phase 1 - Islington Avenue and Major Mackenzie Dr.

Phase 1 Gateway – Islington Rd. and Major Mackenzie Dr. Intersection

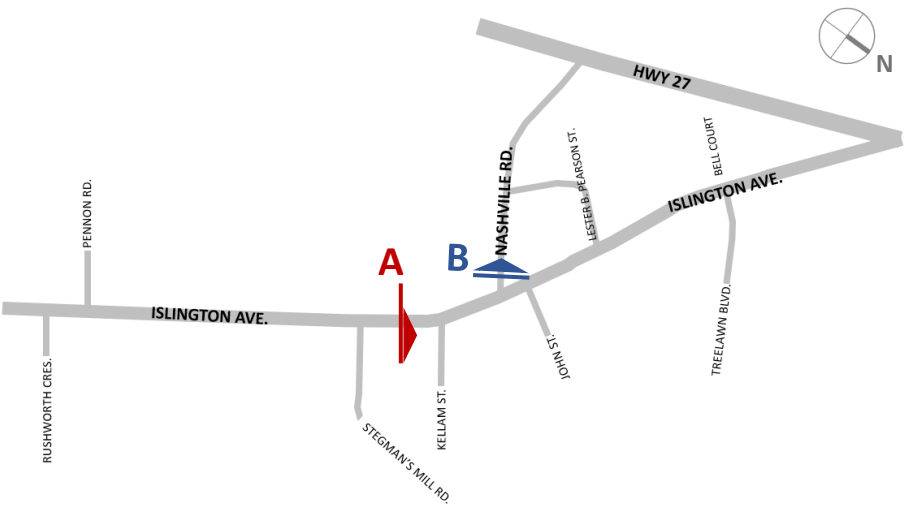


Existing Conditions – Typical Sections



Islington Ave.

- ✓ Streetscape Improvements
- ✓ Active Transportation (pedestrians & cyclists)
- ✓ Watermain Replacement
- ✓ Changes to Streetlighting
- ✓ Road Rehabilitation Work



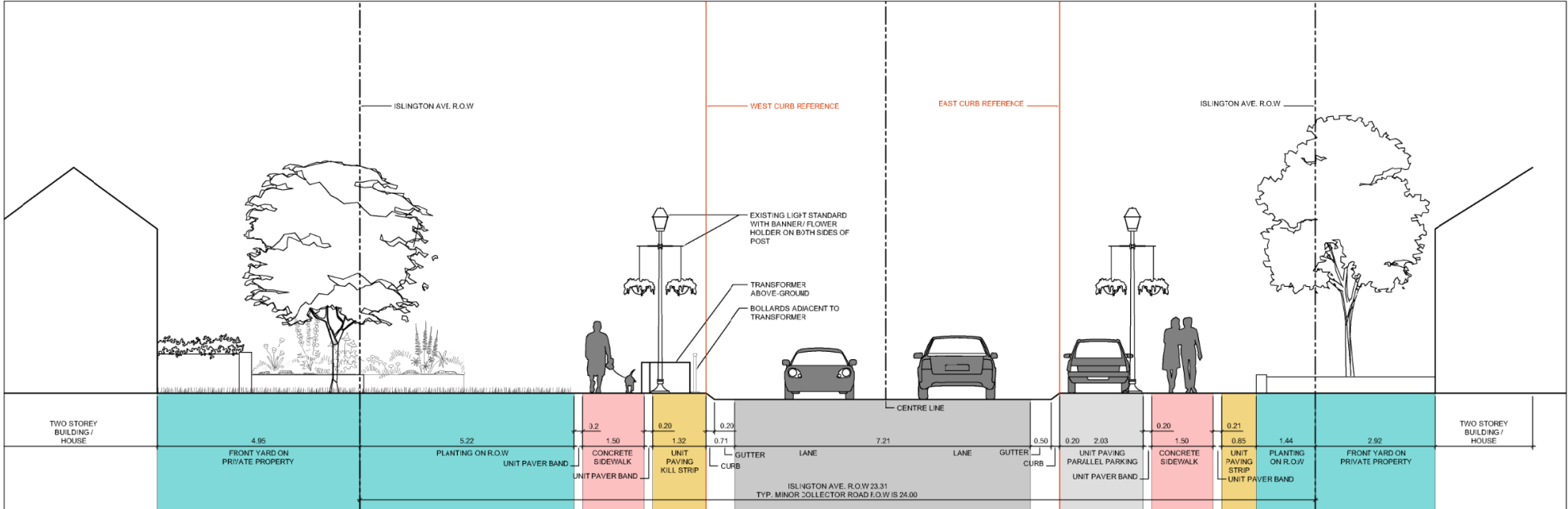
Nashville Rd.

- ✓ Streetscape Improvements
- ✓ Active Transportation (pedestrians & cyclists)
- ✓ Watermain Replacement
- ✓ Changes to Streetlighting
- ✓ Gateway
- ✓ Road Rehabilitation Work

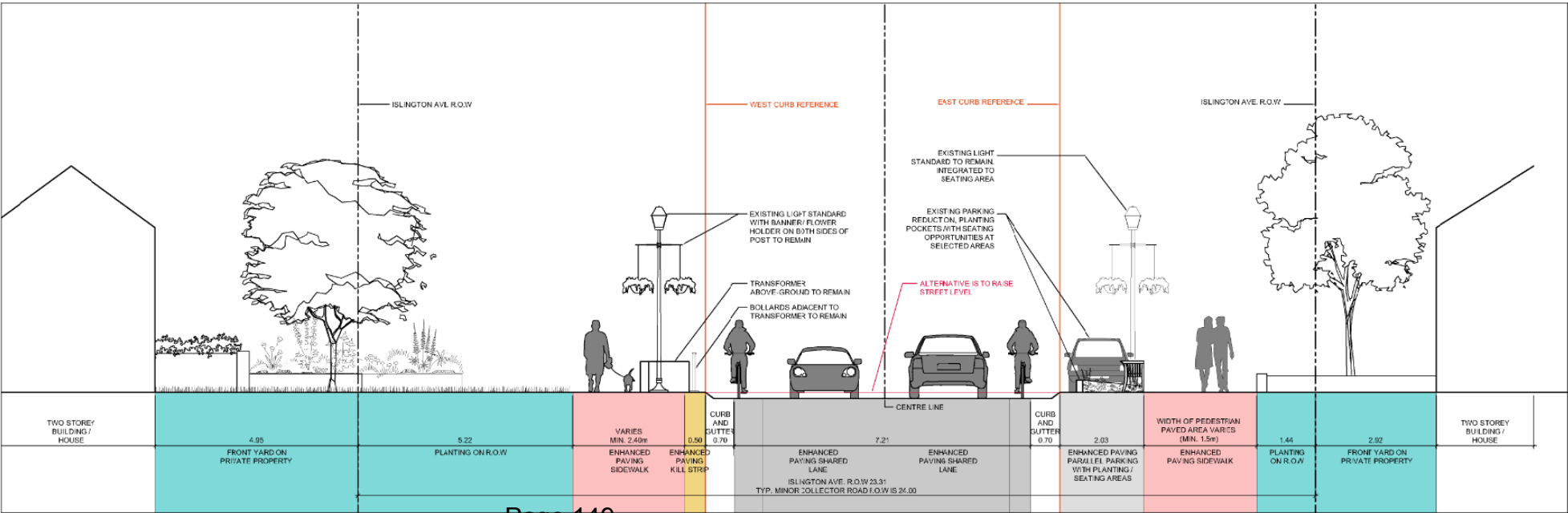
Sections

Islington Ave. from
Stegman's Mill to Kellam St.

Existing Section **A**



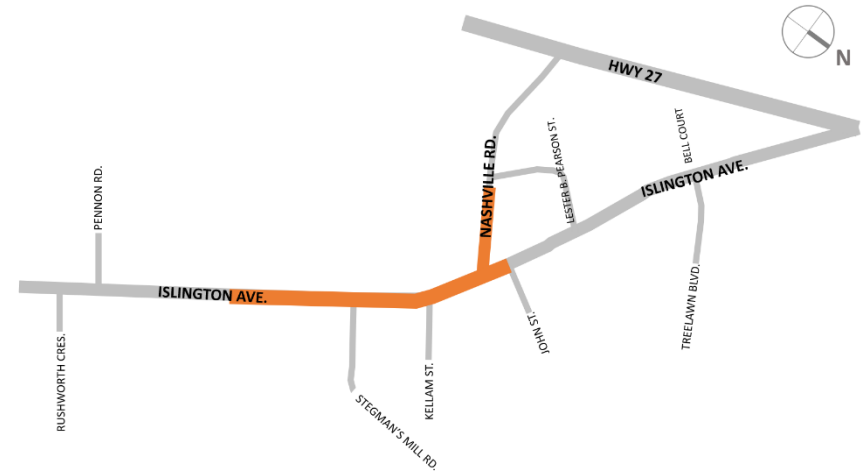
Proposed Conceptual Section **A**



Nashville Rd. from Islington Ave. to Lester B. Pearson St.



Village Core Area – Design Strategy



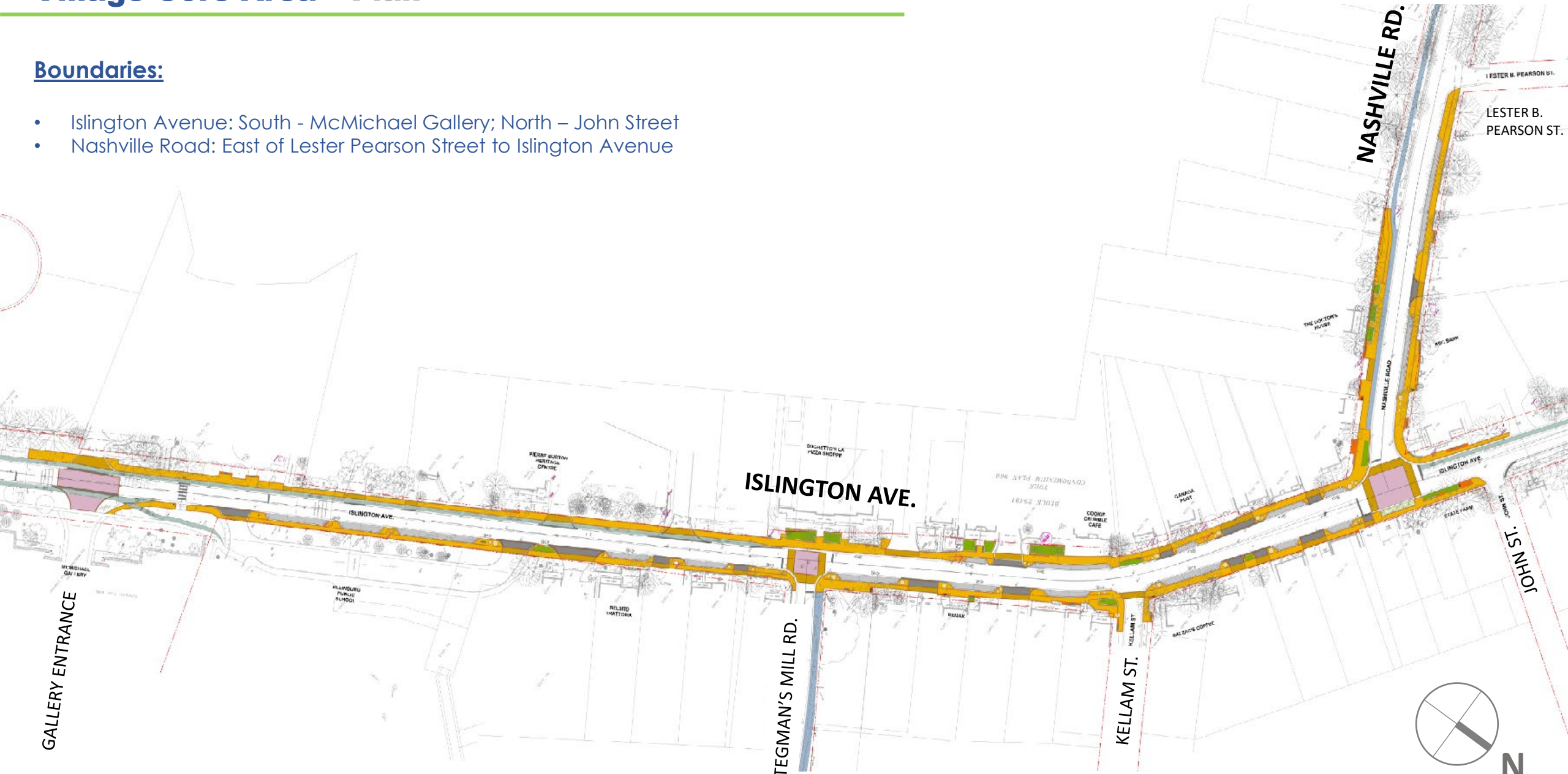
The Objectives

- Preserve unique Village character
- Unify and enhance Public Realm
- Seek planting opportunities
- Provide additional pedestrian resting areas
- Provide lay-by parking with enhanced surface treatment

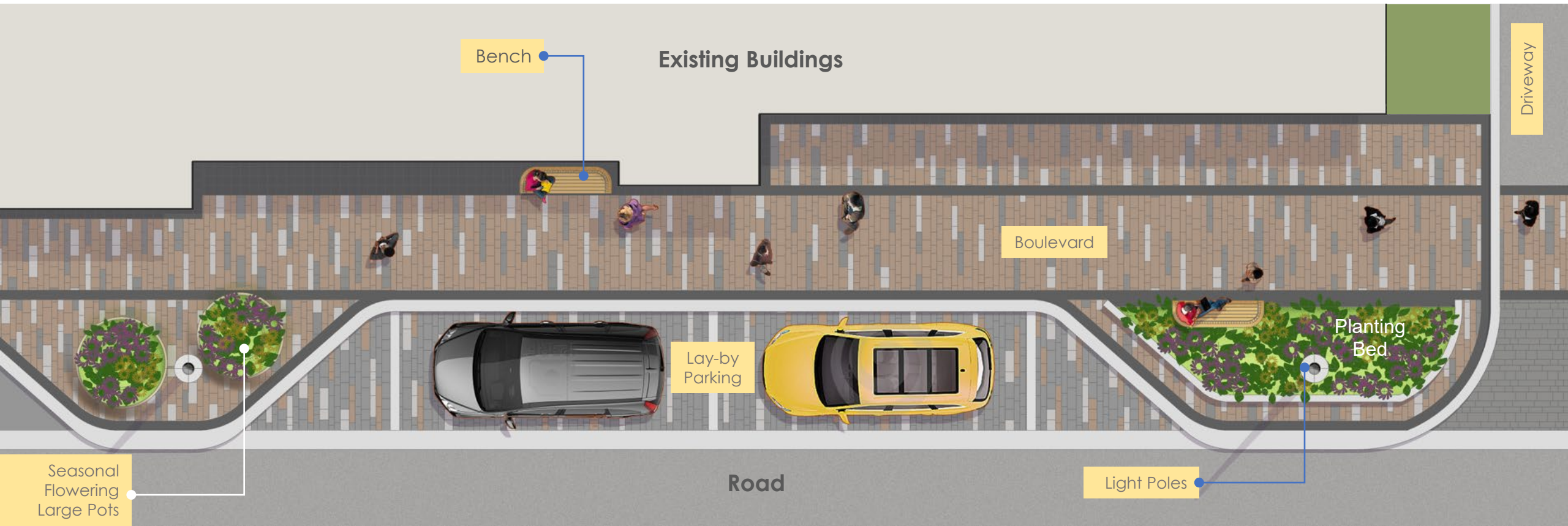
Village Core Area – Plan

Boundaries:

- Islington Avenue: South - McMichael Gallery; North – John Street
- Nashville Road: East of Lester Pearson Street to Islington Avenue



Demonstration Plan (Core Area)



Enhanced Pedestrian Realm:

- Unit paved pedestrian zone with defined edging
- Seasonal Flowering Pots
- Year-round Planting Beds
- Seating areas and site furniture
- Light standards with hanging baskets and banners

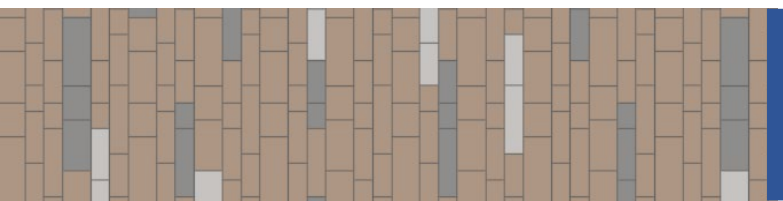
Lay-by Parking:

- Pavement enhancement to differentiate and harmonize with pedestrian zone
- Barrier curbs for safety

Driveway:

- Clear delineation of pedestrian route
- Potential paving enhancement within vehicular zone

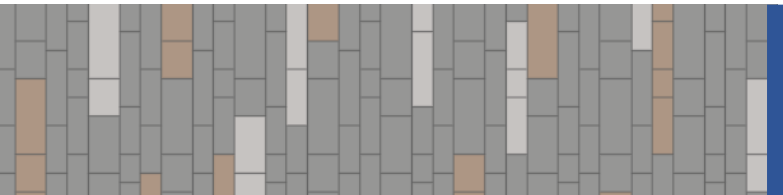
Paving Strategy – Core Area Boulevard



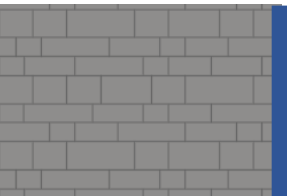
Boulevard



DESCRIPTION: ARTLINE
MANUFACTURER: UNILOCK



Layby Parking



Driveway Edge



DESCRIPTION: ARTLINE
MANUFACTURER: UNILOCK



Edge



DESCRIPTION: SERIES
MANUFACTURER: UNILOCK
COLOUR: BLACK GRANITE

PHASE 1 MATERIAL
DESIGN LINK TO MASTER PLAN
DESIGN SCALE



DESCRIPTION: MELVILLE BACKED BENCH, 72IN, WOOD

MANUFACTURER: LANDSCAPE FORMS

COLOUR: GLOSS BLACK FRAME, IPE WOOD SEAT



DESCRIPTION: TONYO RECEPTACLE, 60 AND 30 GAL, W/RAINHAT

MANUFACTURER: FORMS+SURFACES

COLOUR: GLOSS BLACK WITH IPE WOOD



DESCRIPTION: DS-32 PLANTER AND DS-29 PLANTER

MANUFACTURER: KORNEGAY DESIGN

COLOUR: SANDSTONE



DESCRIPTION: 100 SERIES BIKE RACK

MANUFACTURER: : MAGLIN

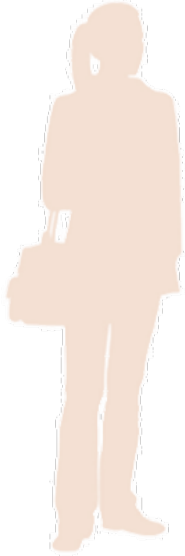
COLOUR: GLOSS BLACK



DESCRIPTION: NYSSA BOLLARD

MANUFACTURER: NERI

COLOUR: GLOSS BLACK



COLOUR: MAGLIN IPE WOOD SEAT WITH STONE WALL BASE



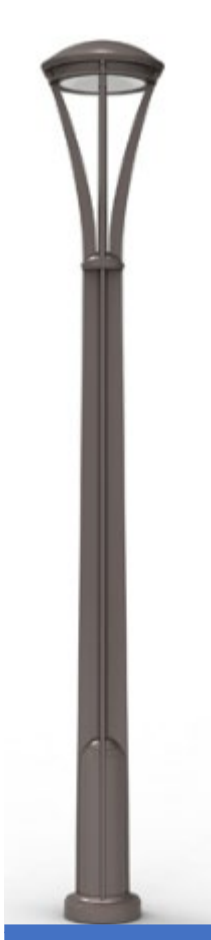
COLOUR: MAGLIN IPE WOOD SEAT WITH STONE WALL BASE

PHASE 1 FURNITURE
DESIGN LINK TO MASTER
PLAN DESIGN SCALE



DESCRIPTION: EXISTING

MATCH EXISTING LIGHT
POLES IN VILLAGE
CORE AREA



DESCRIPTION: ALCOTT
AREA LIGHT

MANUFACTURER:
LANDSCAPE FORMS

COLOUR: GLOSS BLACK
Page 157



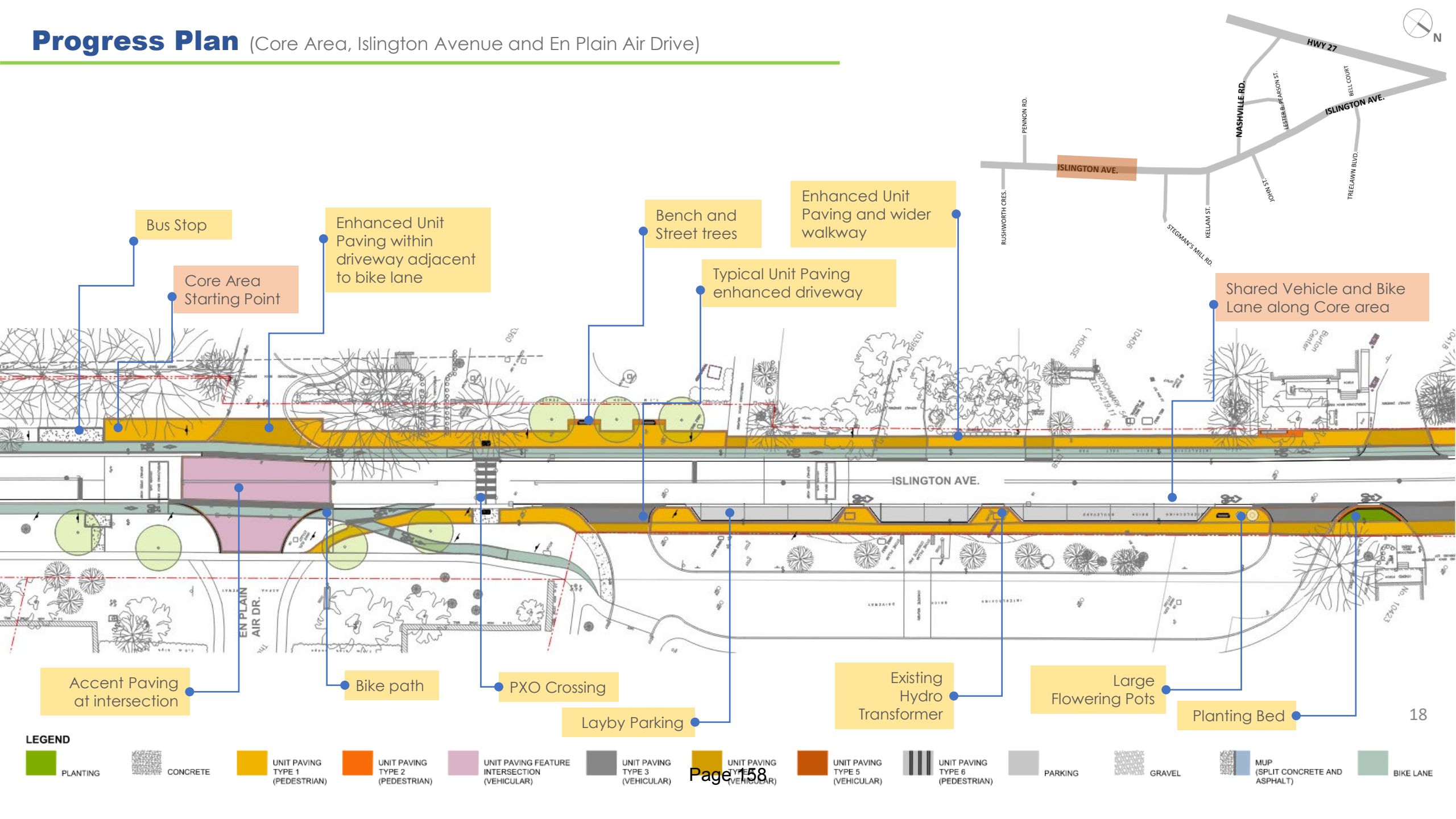
DESCRIPTION: ASHBEY
AREA LIGHT

MANUFACTURER:
LANDSCAPE FORMS

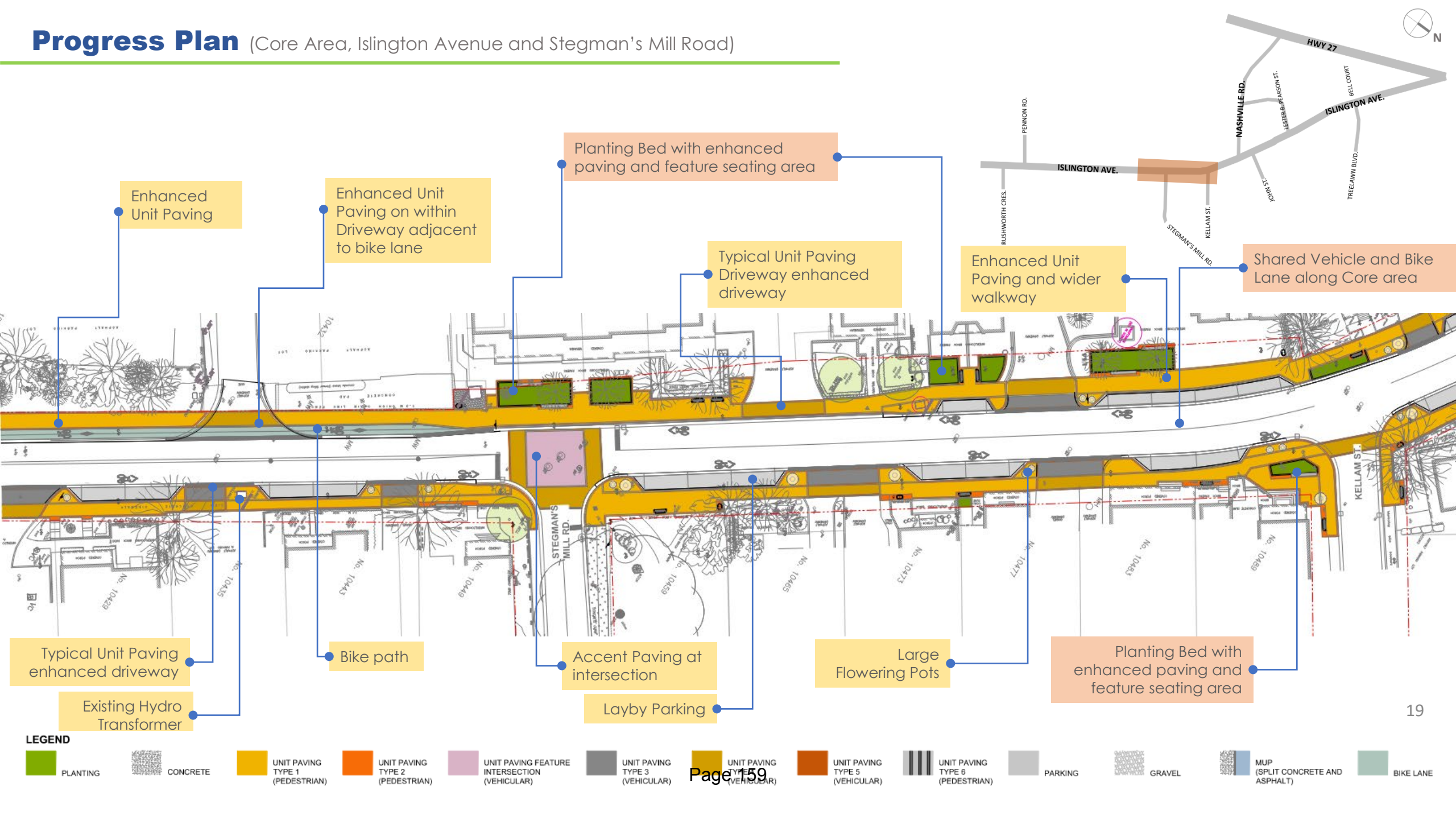
COLOUR: GLOSS BLACK

**OPTIONAL LIGHTING
UNDER CONSIERATION**

Progress Plan (Core Area, Islington Avenue and En Plain Air Drive)



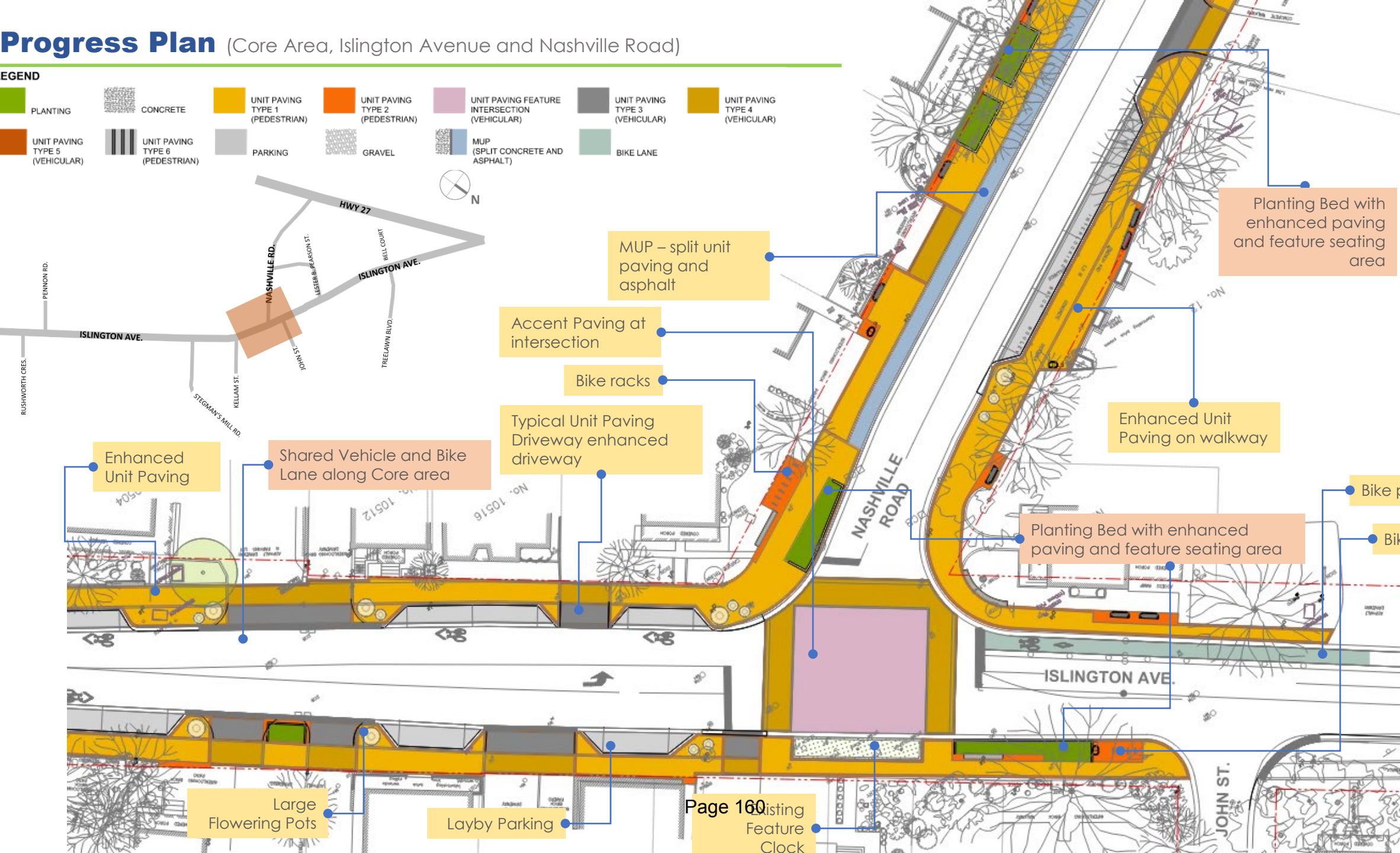
Progress Plan (Core Area, Islington Avenue and Stegman's Mill Road)



Progress Plan (Core Area, Islington Avenue and Nashville Road)

LEGEND

 PLANTING	 CONCRETE	 UNIT PAVING TYPE 1 (PEDESTRIAN)	 UNIT PAVING TYPE 2 (PEDESTRIAN)	 UNIT PAVING FEATURE INTERSECTION (VEHICULAR)	 UNIT PAVING TYPE 3 (VEHICULAR)	 UNIT PAVING TYPE 4 (VEHICULAR)
 UNIT PAVING TYPE 5 (VEHICULAR)	 UNIT PAVING TYPE 6 (PEDESTRIAN)	 PARKING	 GRAVEL	 MUP (SPLIT CONCRETE AND ASPHALT)	 BIKE LANE	

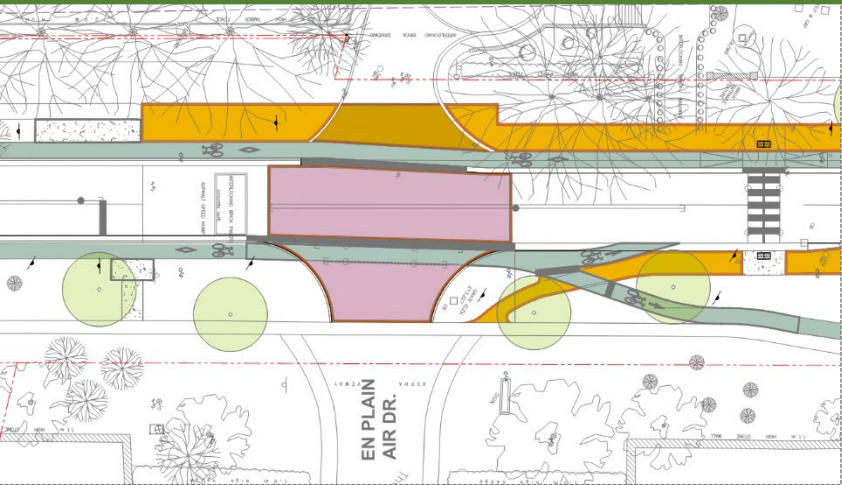


Progress Plan – Core Area Intersections

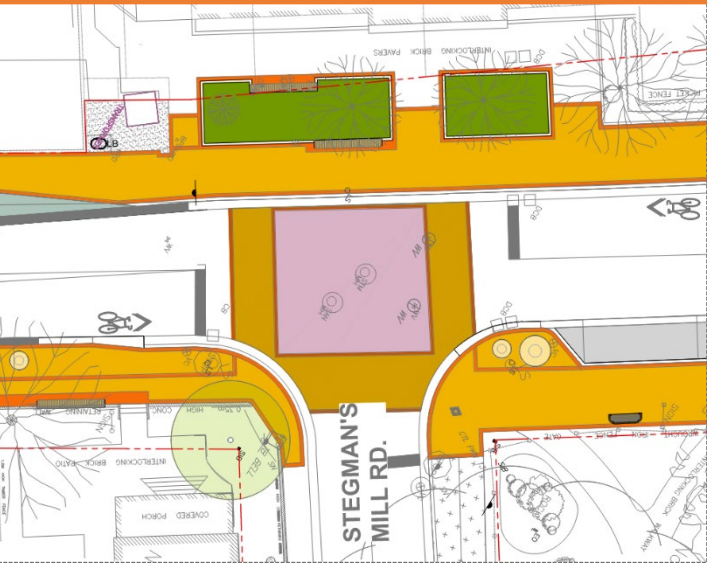
Approach 1

- Unified material palette
- Single solution for all 3 locations

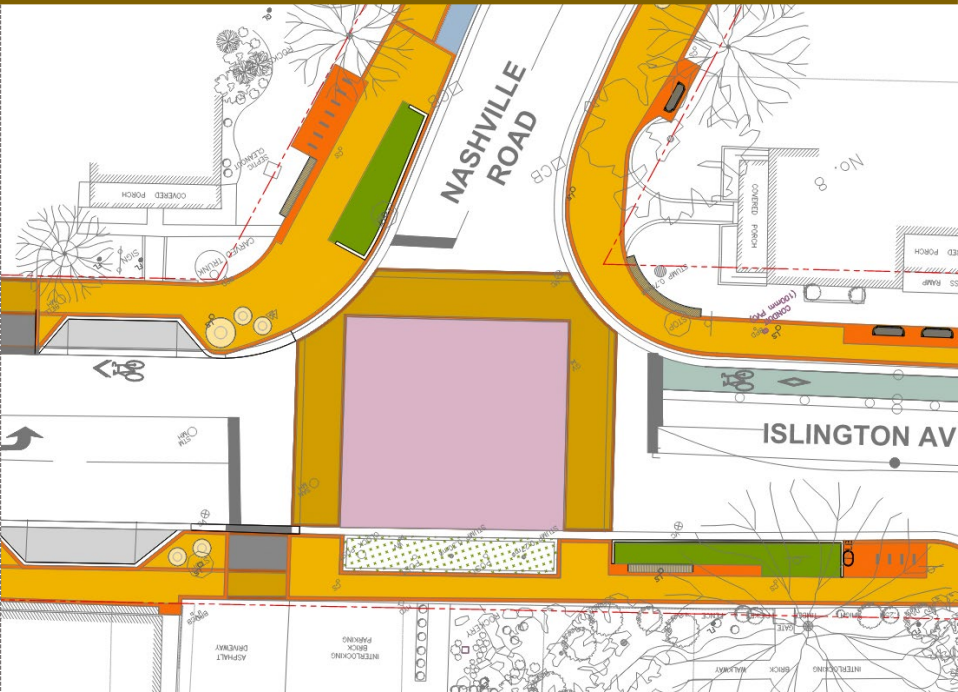
McMichael Gallery



Stegman's Mill Road



Nashville Road



Progress Plan – Core Area Intersections

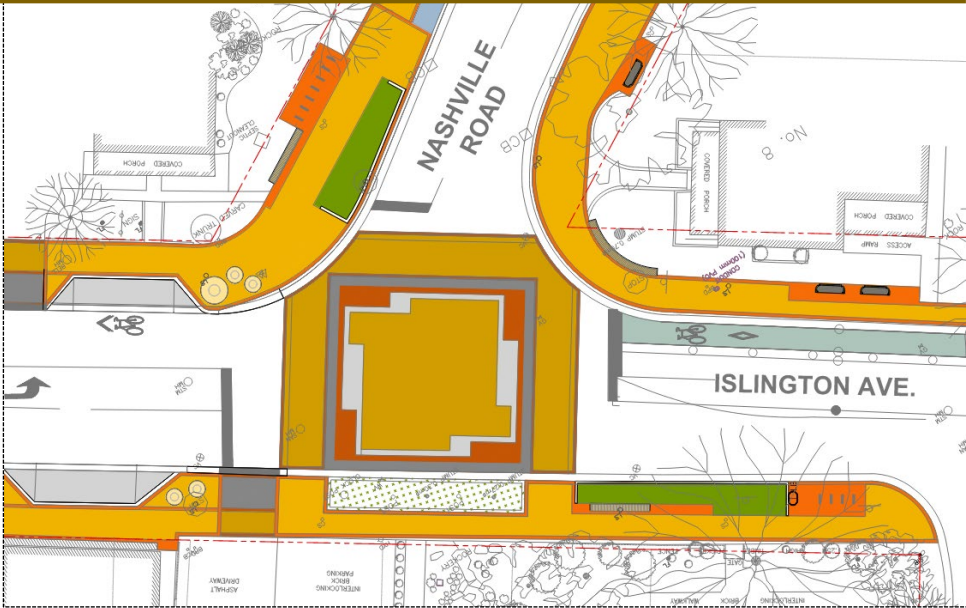
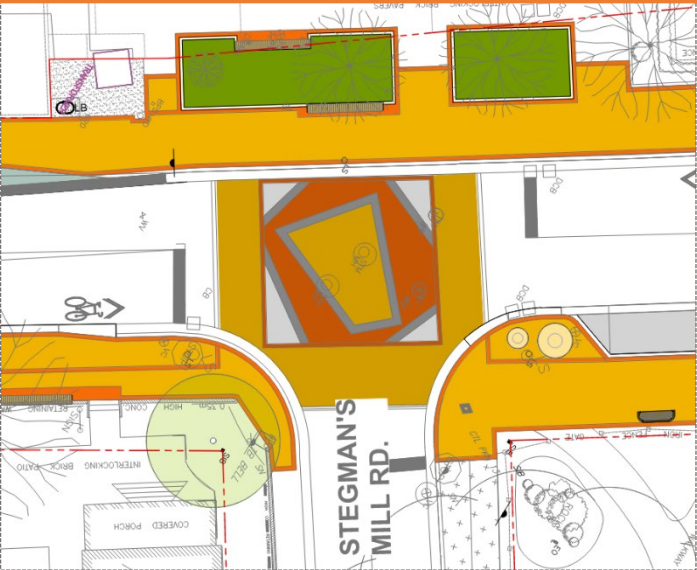
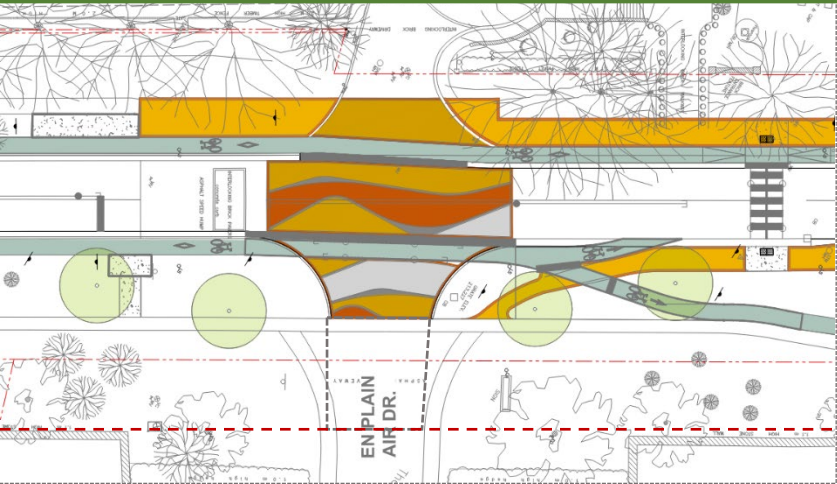
Potential Approach 2

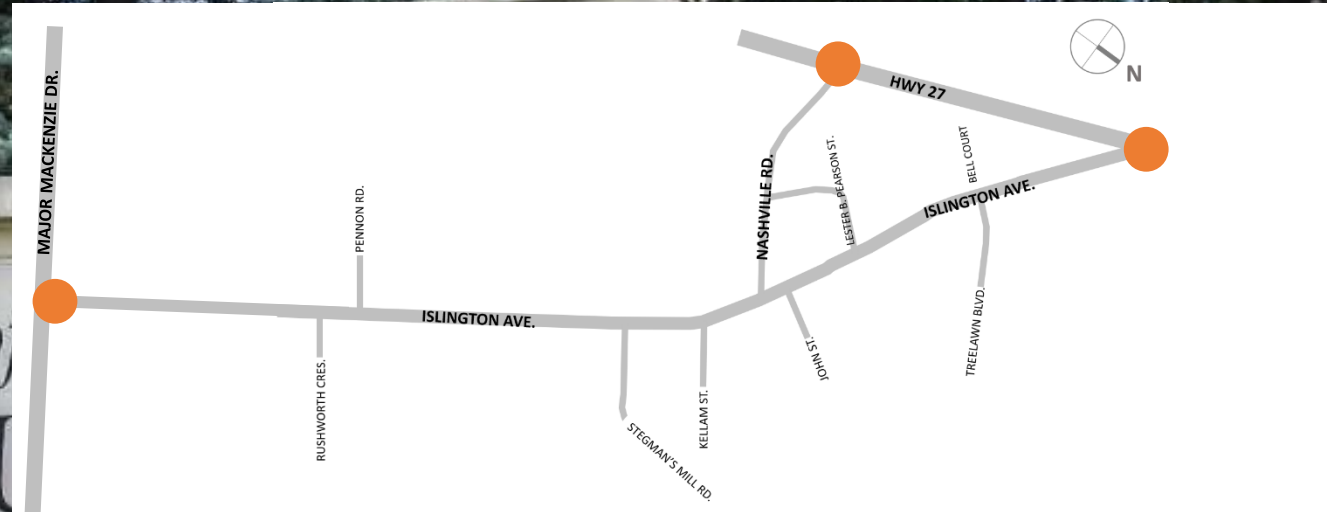
- Unified material palette with pattern reflecting specific site character

McMichael Gallery

Stegman's Mill Road

Nashville Road





The Objectives

- Preserve unique Village character
- Follow Master Plan Theme selection
- Continue with paving design strategy in Phase 1

Gateways



Art and Nature

✓ Nashville Rd. and Highway 27



Water Power

✓ Islington Ave. and Highway 27

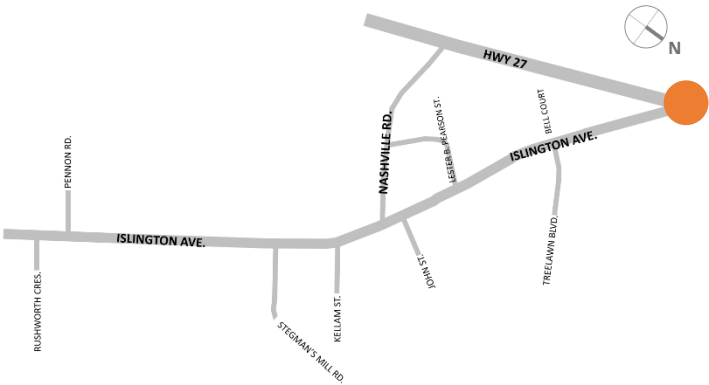


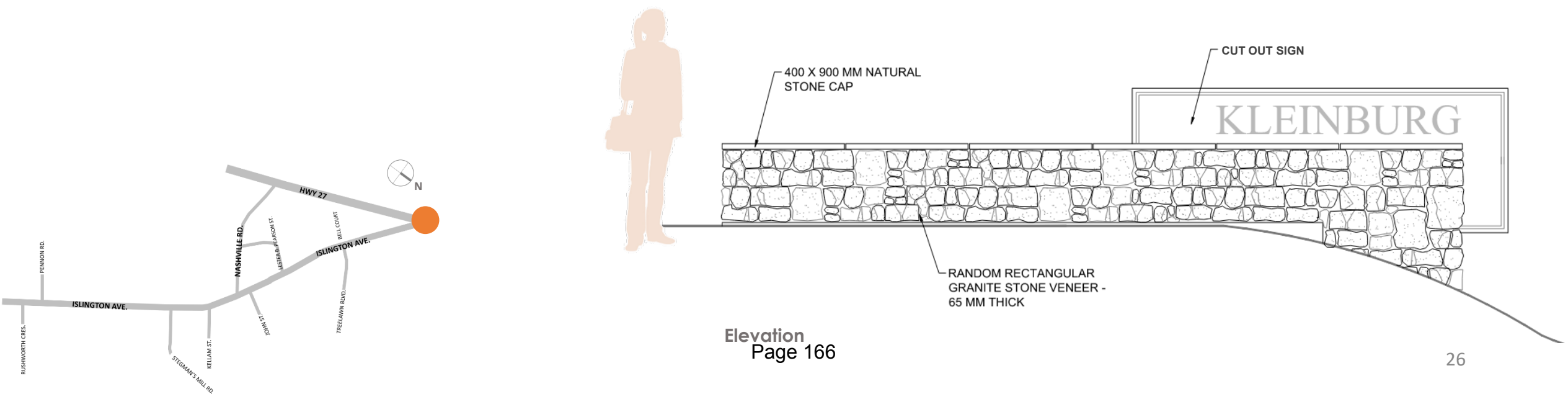
Agricultural

✓ Phase 1: Islington Ave. and Major Mackenzie Dr.

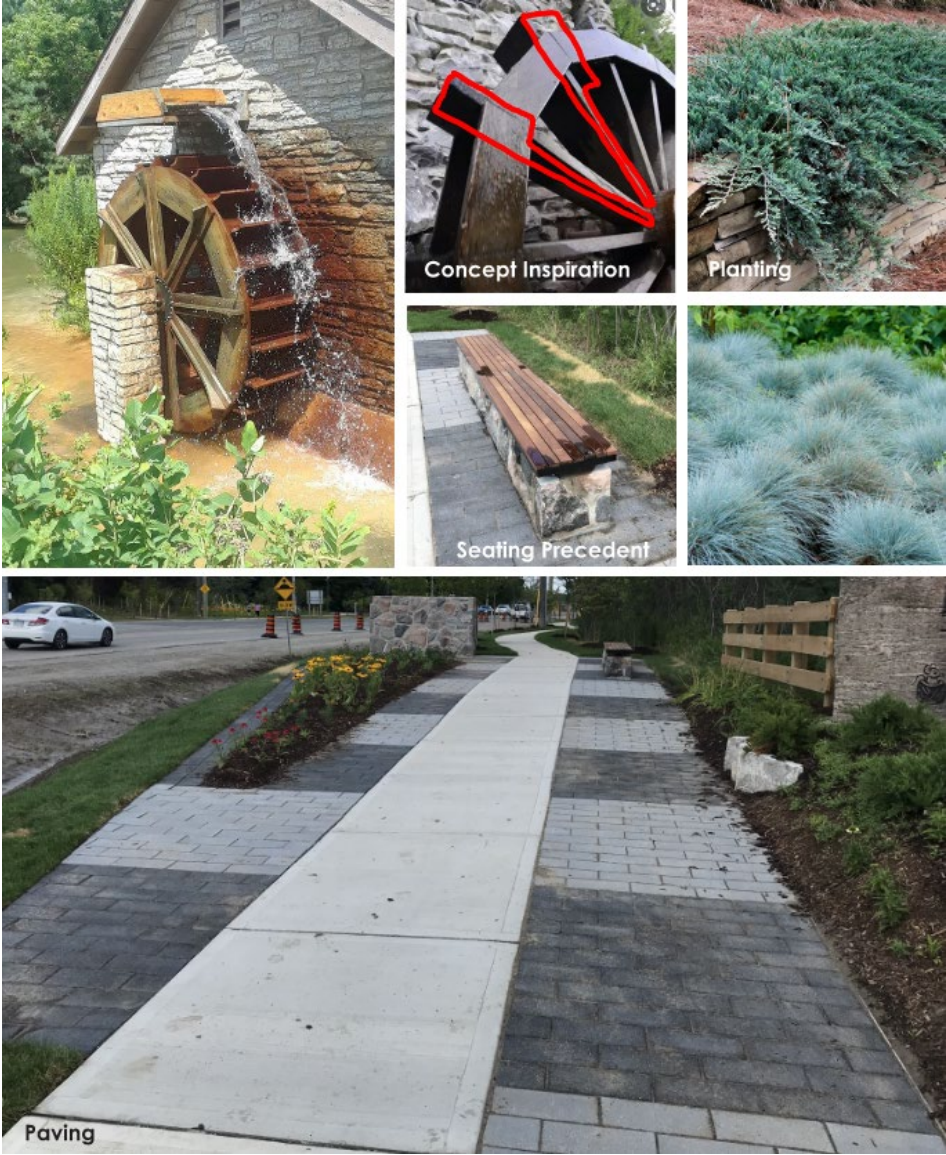
Gateways (Natural Landscape - Art) – at Islington Avenue and Highway 27

Proposed Plan Design





Proposed Plan Design





North Gateway

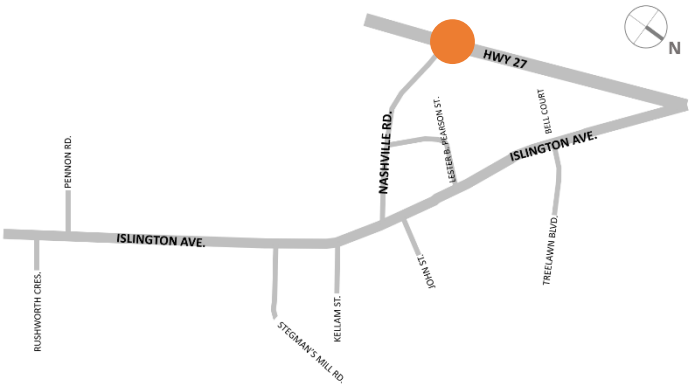
Planting

Paved Sidewalk Pattern

South Gateway

Planting

Paved Sidewalk Pattern





Questions and Open Discussion

