

**CITY OF VAUGHAN
HERITAGE VAUGHAN COMMITTEE
AGENDA**

**This is an Electronic Meeting. Public comments can be submitted by email to
clerks@vaughan.ca**

Wednesday, May 18, 2022

7:00 p.m.

Electronic Meeting

Vaughan City Hall

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1. CONFIRMATION OF AGENDA	
2. DISCLOSURE OF INTEREST	
3. COMMUNICATIONS	
4. DETERMINATION OF ITEMS REQUIRING SEPARATE DISCUSSION	
1. INTERIOR RENOVATION AND 2-STOREY REAR ADDITION TO EXISTING HOUSE AT 8251 KIPLING AVENUE, IN THE WOODBRIDGE HERITAGE CONSERVATION DISTRICT Report of the Deputy City Manager, Planning and Growth Management with respect to the above.	3
2. PROPOSED FRONT AND REAR ADDITION AND INTERIOR RENOVATIONS TO EXISTING BUILDING AT 17 NAPIER STREET IN THE KLEINBURG-NASHVILLE HERITAGE CONSERVATION DISTRICT Report of the Deputy City Manager, Planning and Growth Management with respect to the above.	55
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4. UPDATE OF MAPLE STREETSCAPE MASTERPLAN STATUS AT 75%
COMPLETION, IN THE MAPLE HERITAGE CONSERVATION
DISTRICT
Report of the Deputy City Manager, Planning and Growth Management
with respect to the above.

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5. ADOPTION OF ITEMS NOT REQUIRING SEPARATE DISCUSSION
6. CONSIDERATION OF ITEMS REQUIRING SEPARATE DISCUSSION
7. NEW BUSINESS
8. ADJOURNMENT

Heritage Vaughan Committee Report

DATE: Wednesday, May 18, 2022

WARD(S): 1

TITLE: INTERIOR RENOVATION AND 2-STOREY REAR ADDITION TO
EXISTING HOUSE AT 8251 KIPLING AVENUE, IN THE
WOODBIDGE HERITAGE CONSERVATION DISTRICT

FROM:

Haiqing Xu, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To seek a recommendation from the Heritage Vaughan Committee for the proposed interior renovation and construction of a rear addition to the existing non-contributing house located at 8251 Kipling Avenue in the Woodbridge Heritage Conservation District (as shown on Attachment 1) designated under Part V of the *Ontario Heritage Act*.

Report Highlights

- The proposed rear addition is not visible from the street
- The existing building is considered 'non-contributing'
- The proposed construction is in keeping with the Objectives, Policies and Guidelines of the Woodbridge Heritage Conservation District Plan

Recommendations

THAT Heritage Vaughan recommend the approval of the proposed development as presented, subject to following conditions:

- a) further minor refinements to building design including material specifications shall be approved to the satisfaction of the Vaughan Development Planning Department, Urban Design and Cultural Heritage Division;
- b) any significant changes to the proposal may require reconsideration by Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning;

- c) that Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits or requirements currently under review or to be submitted in the future by the applicant as it relates to the subject application.

Background

This property contains an existing 20th century residence. The present structure is a two-storey single family residence within a row of single family residences along Kipling Avenue which back onto the fairground to the east. There is an existing two car garage at the ground level, facing Kipling Avenue and a paved driveway with an adjacent landscape strip leading to the sidewalk along Kipling Avenue. The owner of the property is planning to add a rear addition to the residence, at the corner to “complete a square floor plan”.

Previous Reports/Authority

Not applicable.

Analysis and Options

All new development must conform to the policies, objectives and supporting guidelines within the Woodbridge Heritage Conservation District Plan.

The following is an analysis of the proposed interior renovations and rear 2-storey addition to the existing building located at 8251 Kipling Avenue according to the Woodbridge Heritage Conservation District Plan (‘WHCD’) guidelines.

6.1.2 KIPLING AVENUE NORTH AND SOUTH

Heritage Attributes:

1. *Kipling Avenue has a unique character that has established its identity within Vaughan, over the years. This character emerges from:*
 - a) *a significant tree canopy;*
 - b) *buildings that front directly onto Kipling with active at-grade uses and are setback, offering a landscaped front yard;*
 - c) *the weaving together of a wide range of building types and uses, within a strong green streetscape that enhances the public realm and creates walkable streets;*
 - d) *safe and well-connected boulevards and pathways;*
 - e) *a variety of intimately scaled open spaces and gathering spaces;*
 - f) *appropriately scaled buildings (average 2-3 floors) that frame public spaces and*
2. *Includes a variety of building types, and building styles.*

3. *Uses of existing buildings have evolved from mostly residential to include commercial activities and live-work units.*
4. *Is considered throughout history as one of the major points of entry and gateway to Woodbridge.*
5. *The north part of Kipling Avenue has changed drastically in the last few years, given several large development sites. Any new development in this area should be thoroughly considered in terms of sensitivity to conservation of the existing contributing buildings and landscapes in order to preserve the village character of the street.*

Guidelines

1. *Kipling Avenue should regain and retain its heritage character.*
2. *New and renovated buildings and landscapes must:*
 - a) *conserve and enhance the tree canopy;*
 - b) *front directly onto Kipling Avenue, and provide a landscaped front yard that contributes to the overall streetscape;*
 - c) *contribute to the quality and connectivity of the pedestrian environment;*
 - d) *serve to enhance the overall system of trails, pathways and pedestrian walkways;*
 - e) *maintain the intimate scale of the street, through the building mass, the length of façades, and the detailing of architecture and landscape architecture;*
 - f) *be no taller than 3 floors (11 m); and*
 - g) *conserve and enhance views to the valleys east and west, as identified on Schedule 19, page 94.*
 - h) *provide a design that is sympathetic with the character of adjacent properties.*
3. *New buildings must have a residential character and should be conducive to a mix of uses, including small-scaled commercial uses.*
4. *All interventions within Kipling Avenue should contribute through structures and /or landscape to the design of significant points of entry and gateways.*
5. *Generally, new buildings should be built to a minimum 3m setback from the front property line or street line, and transition back to the setback line of existing contributing buildings, to maintain the character of the deep front yards.*
6. *Refer to Section 6.4.1.3 for further details on setback guidelines.*

The proposed rear 2-storey addition is not visible from the street and does not impose any noticeable visual effect onto the existing structure. However, its design aims to complete the interior floor plan layout in a more functional way and can be seen almost as a necessary architectural intervention. The rest of the proposed interior renovations are invisible and non-altering in nature to the rest of the existing building's exterior.

6.2.5 APPROACH TO NON-CONTRIBUTING BUILDINGS

Non-contributing buildings are not to be demolished until such time as a demolition permit has been issued. Additions and alterations to non-contributing buildings can have an impact on contributing buildings and the overall character of Woodbridge. As non-contributing buildings are modified, and as new buildings are built, these should contribute to the heritage character of Woodbridge as a whole, and specifically to the heritage character of adjacent contributing properties.

The City of Vaughan may require a Heritage Impact Assessment when it considers that cultural heritage value may exist, or be impacted by any new construction.

The applicant is proposing to retain the existing non-contributing building, and only construct a rear 2-storey addition (as shown in Attachment 4 and 5) to accommodate a more functional interior floor plan on all levels. The existing structure is complemented with materials and form that contribute to the architecture of the building and are well suited for the WHCD neighbourhood.

6.2.8 APPROPRIATE MATERIALS

Exterior Finish: *Smooth red clay face brick, with smooth buff clay face brick as accent, or in some instances brick to match existing conditions.*

Exterior Detail: *Cut stone or reconstituted stone for trim in brick buildings.*

Roofs: *Hipped or gable roof as appropriate to the architectural style. Cedar, slate, simulated slate, or asphalt shingles of an appropriate colour. Standing seam metal roofing, if appropriate to the architectural style. Skylights in the form of cupolas or monitors are acceptable, if appropriate to the style.*

Doors: *Wood doors and frames, panel construction, may be glazed; transom windows and paired sidelights with real glazing bars; wood french doors for porch entrances; single-bay, wood panelled garage doors.*

Windows: *Wood frames; single or double hung; lights as appropriate to the architectural style; real glazing bars, or high-quality simulated glazing bars; vertical proportion, ranging from 3:5 to 3:7.*

Flashings: *Visible step flashings should be painted the colour of the wall.*

The proposed rear addition uses matching (similar) brick at ground floor, and Hardie panels at the upper floor to complete the architectural composition of the house and make the rear addition seamless. The rest of the interior renovations are not affecting the exterior. The proposed new windows maintain the WHCD Plan intent and vision by employing a double-hung window style appearance. The front door, although contemporary in look, is a well-balanced replacement for the existing door.

6.4.1.3 KIPLING AVENUE NORTH AND SOUTH (CA)

Heritage Attributes

1. *Existing contributing buildings respond to the character of a heritage village avenue, built with mostly detached residential homes, setback from the street, as described in section 6.1.2.*

Guidelines

1. *New development should be set back a minimum of three metres from the property line and a maximum of 4.5 metres to maintain the deep setback character of contributing buildings, and allow for landscaped front yards.*
2. *Where heritage contributing buildings are located on either side of a new development site, and are set further back from the 3.0m minimum building setback line; the setback for development site will be the average of the front yard setbacks of the two properties on either side. (See Diagram A).*
3. *Where heritage contributing buildings are set further back from the recommended 3.0m minimum building setback line, any new development adjacent to the heritage contributing building must be set back, at a minimum, to a line measured at 45 degrees from the front corner of the existing heritage contributing building.*

Overall, the proposed rear addition and interior renovations renew and maintain the heritage attributes of this otherwise non-contributing building. The replacement of the existing windows with a more contemporary and cleaner look of double-hung frames strengthens this building's composition and style, making it more in-keeping with the WHCD Plan's vision and intent.

Financial Impact

There are no Financial Impacts associated with this report.

Broader Regional Impacts/Considerations

There are no Regional impacts or considerations for this application.

Conclusion

The Development Planning Department is satisfied the proposed interior renovations and rear 2-storey addition conform to the policies and guidelines within the WHCD Plan. Accordingly, staff can support Council approval of the proposed development located at 8251 Kipling Avenue under the *Ontario Heritage Act*.

For more information, please contact: Nick Borcescu, Senior Heritage Planner, ext. 8191

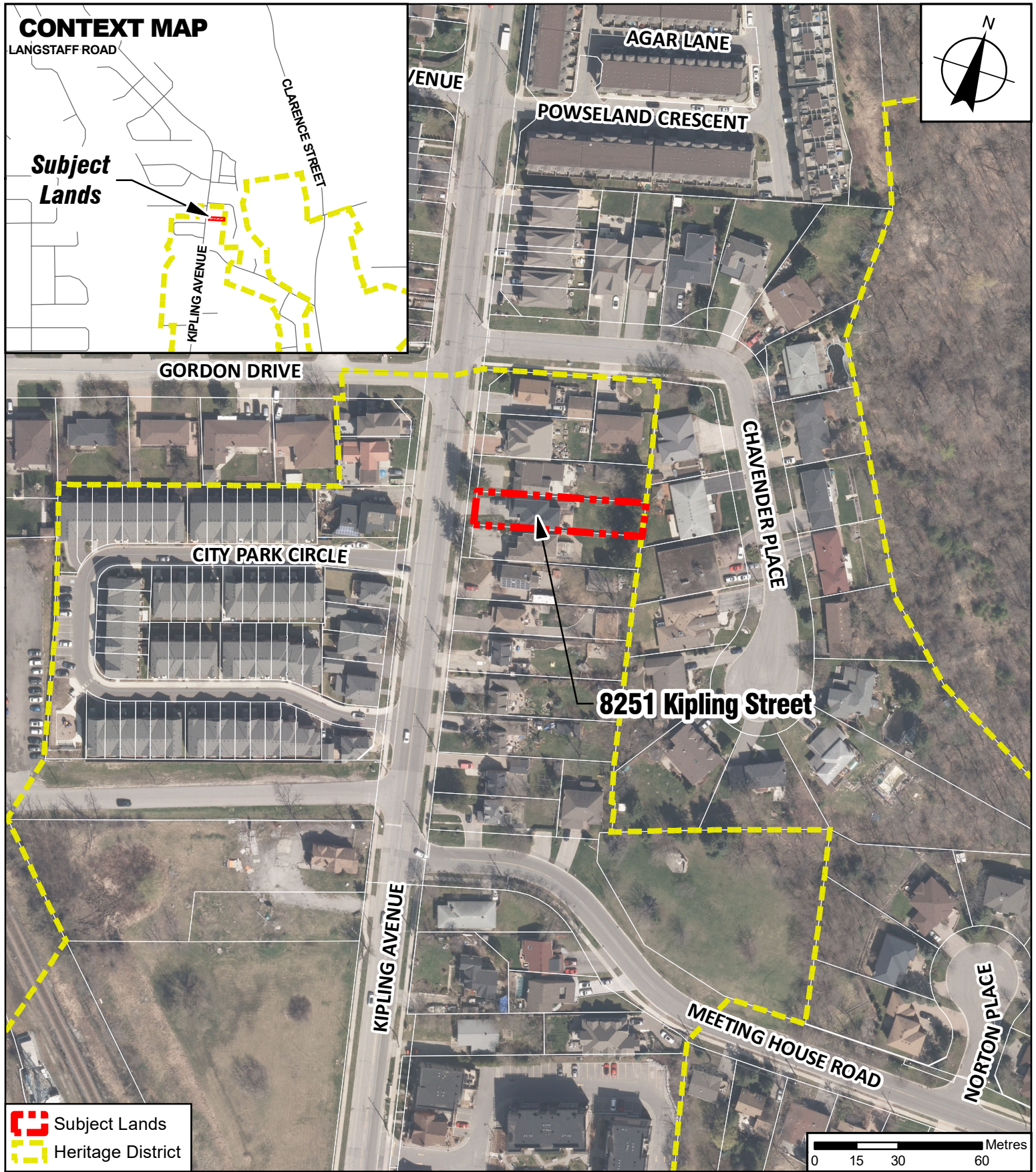
Attachments

- Attachment 1 – 8251Kipling – Location Map
- Attachment 2 – 8251Kipling – Cultural Heritage Impact Assessment
- Attachment 3 – 8251Kipling – Site Plan
- Attachment 4 – 8251Kipling – Floor Plans & Elevations
- Attachment 5 – 8251Kipling – 3D rendering
- Attachment 6 – 8251Kipling – Materials Board
- Attachment 7 – 8251Kipling – Windows order
- Attachment 8 – 8251Kipling – Door specifications

Prepared by

Nick Borcescu, Senior Heritage Planner, ext. 8191

Shahrzad Davoudi-Strike, Manager Urban Design and Cultural Services, ext. 8653



Location Map

LOCATION:
8251 Kipling Avenue
Part of Lot 9, Concession 7



Attachment

1

DATE:
April 14, 2022

**MW HALL
CORPORATION**

ATTACHMENT 2 - 8251 KIPLING - CULTURAL HERITAGE IMPACT ASSESSMENT



CULTURAL HERITAGE IMPACT ASSESSMENT

**8251 KIPLING AVENUE
WOODBIDGE DISTRICT,
VAUGHAN, ON**

MARCH 28, 2022



CANADA: 21 SCOLLARD ST., #103, TORONTO, ON M5R 1G1 416 920 8105

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CULTURAL HERITAGE IMPACT ASSESSMENT

8251 Kipling Avenue
Woodbridge District, Vaughan, Ontario
28 March 2022
Prepared by: MW HALL CORPORATION

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- 2.0 BACKGROUND RESEARCH AND ANALYSIS
- 3.0 HISTORICAL ANALYSIS
- 4.0 STATEMENT OF SIGNIFICANCE
- 5.0 ASSESSMENT OF EXISTING CONDITION
- 6.0 DESCRIPTION OF THE PROPOSED DEVELOPMENT OR SITE ALTERATION
- 7.0 IMPACT OF DEVELOPMENT OR SITE ALTERATION
- 8.0 ALTERNATIVES AND MITIGATION STRATEGIES
- 9.0 CONSERVATION STRATEGY

APPENDICES

REFERENCES

CULTURAL HERITAGE IMPACT ASSESSMENT

8251 Kipling Avenue
Woodbridge District, Vaughan, Ontario
28 March 2022
Prepared by: MW HALL CORPORATION

EXECUTIVE SUMMARY

This property contains an existing 20th century residence. The property is located within the Woodbridge Heritage District at the northern end of the Woodbridge Heritage District, City of Vaughan, Ontario. The present structure is a two storey single family residence within a row of single family residences along Kipling Avenue which back onto the fairground to the east. There is an existing two car garage at the ground level, facing Kipling Avenue and a paved driveway with an adjacent landscape leading to the sidewalk along Kipling Avenue. The owner of the property is planning to add a rear addition to the residence.

1.0 INTRODUCTION TO THE PROPERTY

Woodbridge is a Designated Heritage District with City of Vaughan. Kipling Avenue is a significant roadway that is oriented north-south, parallel to and on the east side of the Humber River. Many of the structures along Kipling Avenue in this area are non-heritage, but there are existing heritage structures interspersed with the earlier heritage buildings.

Kipling Avenue is a north-south street. East of the Humber River, this area was a major north-south travel route known as 'the Carrying Place' for travel northward from Lake Ontario to Lake Simcoe for many hundreds of years that predated European settlement of this region of the Great Lakes. The urbanized area of Woodbridge developed around an east-west roadway, Woodridge Avenue, that developed as a commercial/residential area along this crossing. Much of the present day village of Woodbridge is within the present day designated heritage district under the Ontario Heritage Act. The subject property is part of a later infill development along Kipling Avenue.

CULTURAL HERITAGE IMPACT ASSESSMENT

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The subject lot is a narrow lot and is basically flat and backs on to the earlier established fairground.

Adjacent lots to the subject property generally contain single family houses, but newer multi-storey apartment buildings are also located along Kipling Avenue. The lot to the north contains another older single family framed residence. To the south is an existing similar vintage brick faced single family residence. Kipling Avenue is also a major thoroughfare with public bus transit service for the area.

Present owner contact Information is as follows:

Joseph and Lisa Monaco

8251 Kipling Avenue, Vaughan, ON L4L 2A5

416-881-3033

monacojoe@hotmail.com

2.0 BACKGROUND RESEARCH AND ANALYSIS

The subject property was viewed from Google Earth imagery from Kipling Avenue. Review of the Woodbridge Heritage District Guidelines was conducted relative to the planned redevelopment of this property, but they do not really reflect the situation in this area.

While Kipling Avenue presently has a range of residences, the architectural character of buildings along the street are a mixture of styles, sizes and materials, with some heritage structures interspersed. The planned renovation/additions, in our consideration, seem to be appropriate for this residential building within the Heritage District.

CULTURAL HERITAGE IMPACT ASSESSMENT

8251 Kipling Avenue
Woodbridge District, Vaughan, Ontario
28 March 2022
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3.0 HISTORICAL ANALYSIS

Woodbridge was established in the 19th century and began with residential and commercial structures, some with pitched roofs of varying degrees of incline on the pitches which was typical of this era given the climate in Ontario. Structures were Georgian and early Victorian, but tended to not be the more elaborately decorated Victorian style. Built forms tended to be rectangular boxes with pitched and flat roofs, some with front porches for protection from the weather. This residence was constructed much later than the early structures that formed Woodbridge, and were not required to be constructed as part of the heritage district.

Woodbridge has in recent years become a favourite destination for visitors and remains so today. In recent times the area around the village has become a favoured location for development and redevelopment given its services and architectural character which appeals to people seeking a residence in the area. Kipling Avenue has been considered a favoured location in recent years, and today there is substantial pressure to redevelop in this area. I believe that part of the draw is the fact that the heritage district has been established. Plans for an addition to 8251 Kipling seems to be unrelated to any new demand for residential construction in this area, but solely related to present owner needs only.

4.0 STATEMENT OF SIGNIFICANCE

The subject residential building within the Designated Heritage District and the proposed renovations and additions must, of course comply with the Heritage District Guidelines, but in this instance, because it is a rear addition, unrelated to the street, it seem like an insignificant impact on the heritage district.

CULTURAL HERITAGE IMPACT ASSESSMENT

8251 Kipling Avenue
Woodbridge District, Vaughan, Ontario
28 March 2022
Prepared by: MW HALL CORPORATION

5.0 ASSESSMENT OF EXISTING CONDITION

The existing residential building on the property at 8251 Kipling Avenue is presently in sound condition and likely to remain so as an evolution of development within the Woodbridge Heritage District.

6.0 DESCRIPTION OF THE PROPOSED DEVELOPMENT OR SITE ALTERATION

The planned renovation and additions to the existing single family residence include additions to the rear of the existing house and the interior. Front and rear of the house have planned additions which will comply with the era of the heritage district reflecting early Victorian style.

Evaluation Criteria of existing and planned revision to 51 Napier Street per Ontario Regulation 9/06

Criteria	Description Criteria	Assessment
1. Design or Physical Value	i. Is a rare, unique, representative or early example of a style, type, expression, material or construction method	This is not unique in style but is similar to other newer development within this area.
	ii. Displays a high degree of craftsmanship or artistic value	The existing building does not represent an unusual high degree of craftsmanship or artistic value.
	iii. Displays a high degree of technical or scientific achievement	Does not display a high degree of technical or scientific achievement.

CULTURAL HERITAGE IMPACT ASSESSMENT

8251 Kipling Avenue
Woodbridge District, Vaughan, Ontario
28 March 2022
Prepared by: MW HALL CORPORATION

2. Historical or Associative Value	i. Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	The house does not have direct associations with any thing or event of significance to the community.
	ii. Yields or has the potential to yield information that contributes to the understanding of a community or culture	The building does have information that confirms transition to a new 20 th century style of architectural character that was occurring in the village and may contribute to the understanding of a community or culture.
	iii. Demonstrates or reflects the work or ideas of an architect, builder, artist, designer or theorist who is significant to a community	The original building is not of significance to the community but the planned additions are compatible. Architectural character of the existing building is basically 20 th century suburban character.
3. Contextual Value	i. Is important in defining, maintaining or supporting the character of an area	The existing house and planned additions do not comply with the spirit of the guidelines, but the guidelines were developed after this house was constructed.
	ii. Is physically, functionally, visually or historically linked to its surroundings	Not uniquely linked to its surroundings.
	iii. Is a landmark	Not a landmark, just a typical residence of this later era.

CULTURAL HERITAGE IMPACT ASSESSMENT

8251 Kipling Avenue
Woodbridge District, Vaughan, Ontario
28 March 2022
Prepared by: MW HALL CORPORATION

7.0 IMPACT OF DEVELOPMENT OR SITE ALTERATION

Implementation of the present owner development plans would of necessity conform with the Heritage District .

8.0 ALTERNATIVES AND MITIGATION STRATEGIES

There are no alternatives to the planned development and no mitigation strategies planned.

9.0 CONSERVATION STRATEGY

At this time there are no plans for conservation of the existing building.

This Cultural Heritage Impact Assessment is respectfully submitted by:

MW HALL CORPORATION



per: Mark Hall, OAA, MRAIC, FAIA, RPP, CAHP
President

CULTURAL HERITAGE IMPACT ASSESSMENT

8251 Kipling Avenue
Woodbridge District, Vaughan, Ontario
28 March 2022
Prepared by: MW HALL CORPORATION

APPENDICE

- A1. Vicinity Map: 8251 Kipling Avenue, Woodbridge
- A2. Aerial Photograph: 8251 Kipling Avenue, Woodbridge
- A3. Photographs of existing structures
- A4. Site Plan of the property at 8251 Kipling Avenue, Woodbridge
- A5. Curriculum Vitae, Mark Hall

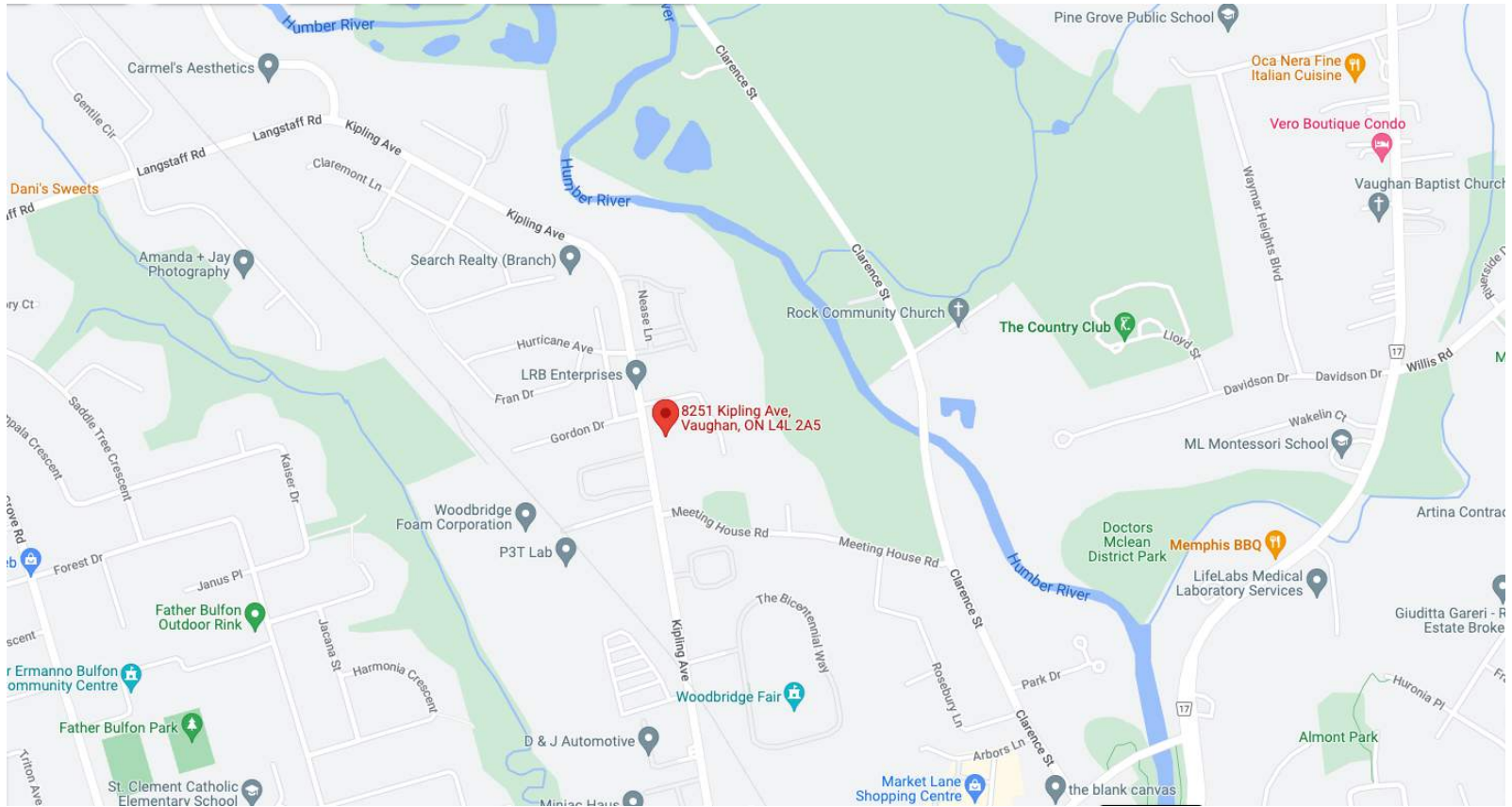
REFERENCES

- 1. Ontario Heritage Act
- 2. Kleinberg Heritage District Guidelines

APPENDIX A1

8251 KIPLING AVENUE, WOODBRIDGE DISTRICT
VAUGHAN, ONTARIO

VICINITY MAP



APPENDIX A 2

8251 KIPLING AVENUE, WOODBRIDGE DISTRICT VAUGHAN, ONTARIO

AERIAL MAP



APPENDIX A3
PHOTOGRAPHS OF EXISTING STRUCTURE
8251 KIPLING AVENUE, WOODBRIDGE DISTRICT, VAUGHAN, ONTARIO

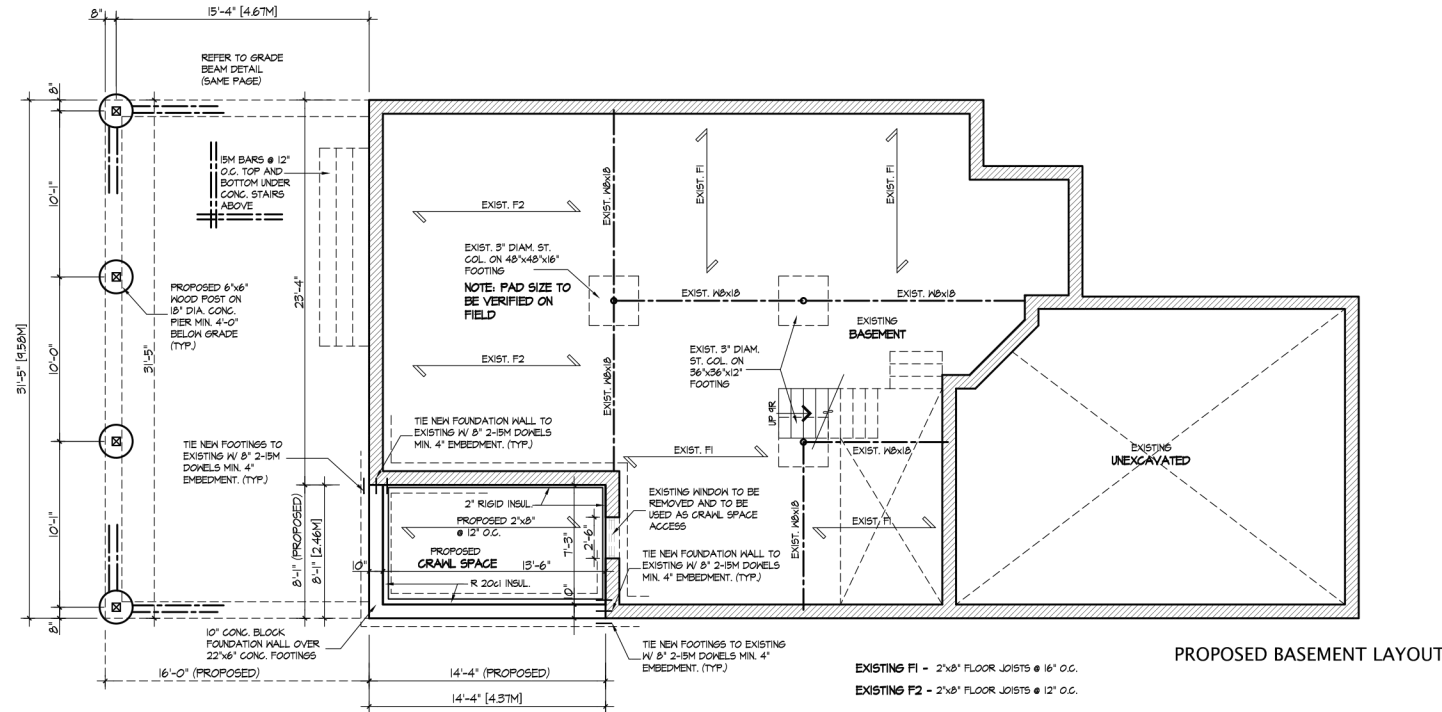
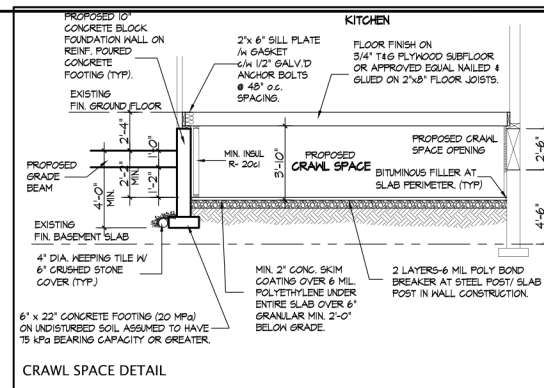
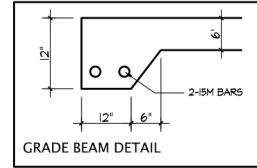
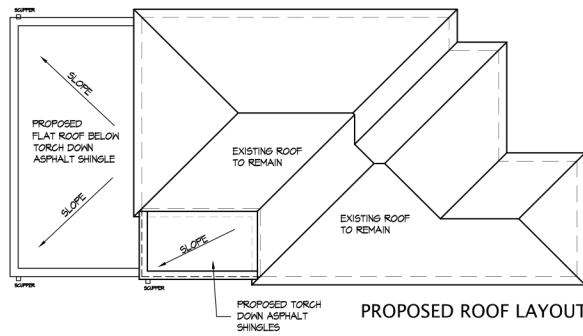


Front Elevation
Page 22

APPENDIX A3
PHOTOGRAPHS OF EXISTING STRUCTURE
8251 KIPLING AVENUE, WOODBRIDGE DISTRICT, VAUGHAN, ONTARIO



Rear Elevation
Page 23



Compliance Package:

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No.	Description	Date
3	Revised second floor proposed addition	21-12-27
2	Issued for engineer review	21-11-24
1	Issued for preliminary review	21-10-01

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

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QUALIFICATION INFORMATION
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ANTHONY DEL GROSSO BCIN - 22449

Midaro Design Inc.
Residential Design

delgrosso@sympatico.ca 416-702-3266

Project Name:

8251 KIPLING AVE.

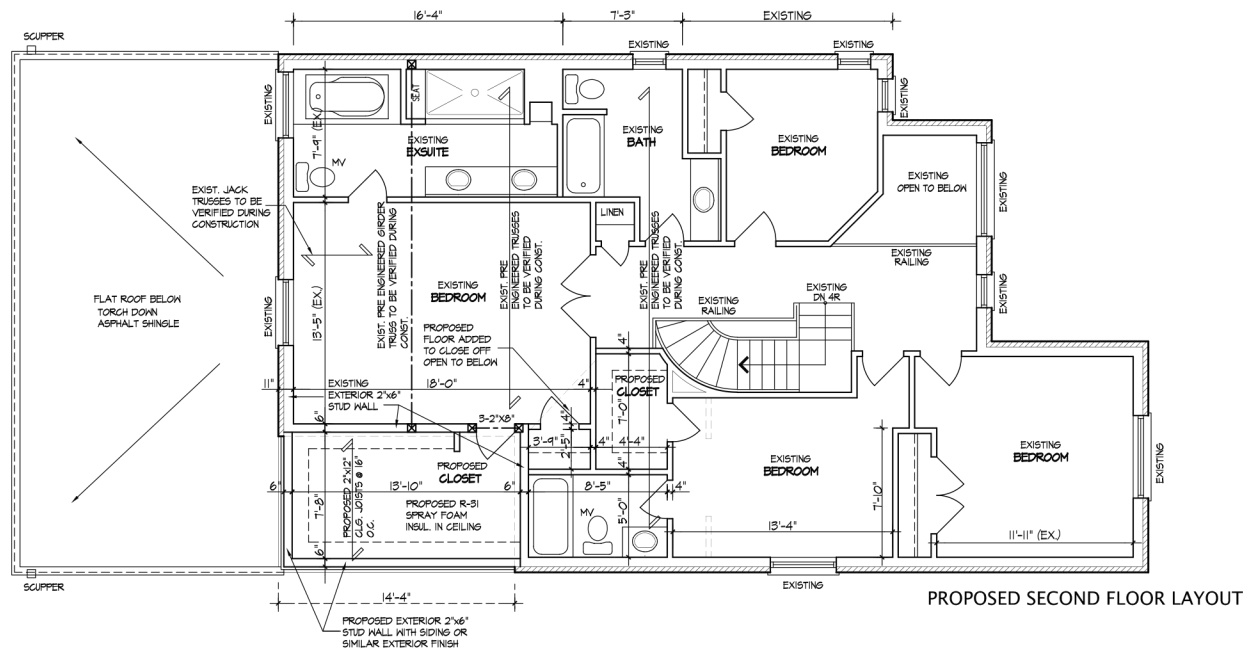
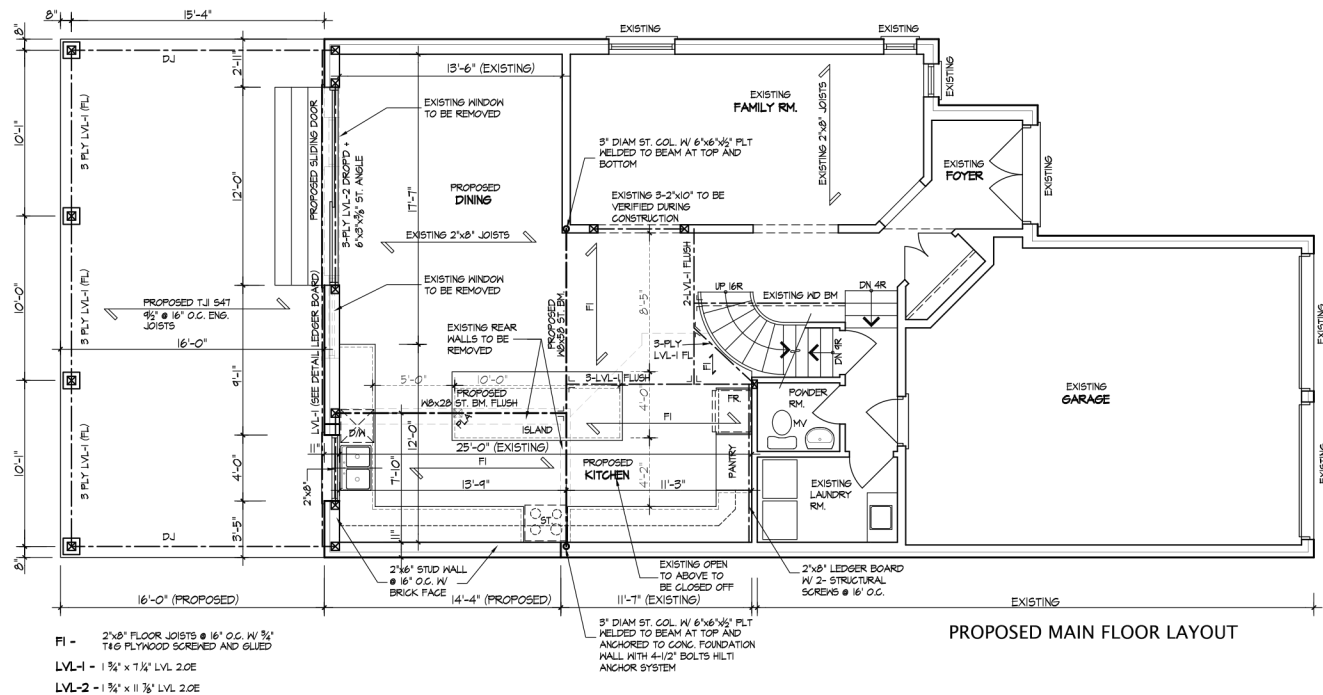
Title:

Proposed / Existing
Basement Layout
& Rear Elevation

Scale: 3/16"=1'-0" Project No. 22-03

Date: Mar. 2022 Drawing No:

Project Location: Vaughan, Ontario A-1



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MIDARO DESIGN INC. FIRM BCIN - 35440

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

ANTHONY DEL GROSSO BCIN - 22449

Midaro Design Inc.
Residential Design

delgrosso@sympatico.ca 416-702-3266

Project Name:

8251 KIPLING AVENUE

Title:

Proposed
Main & Second Floor Layouts

Scale: 3/16"=1'-0" Project No. 22-03

Date: Mar. 2022 Drawing No:

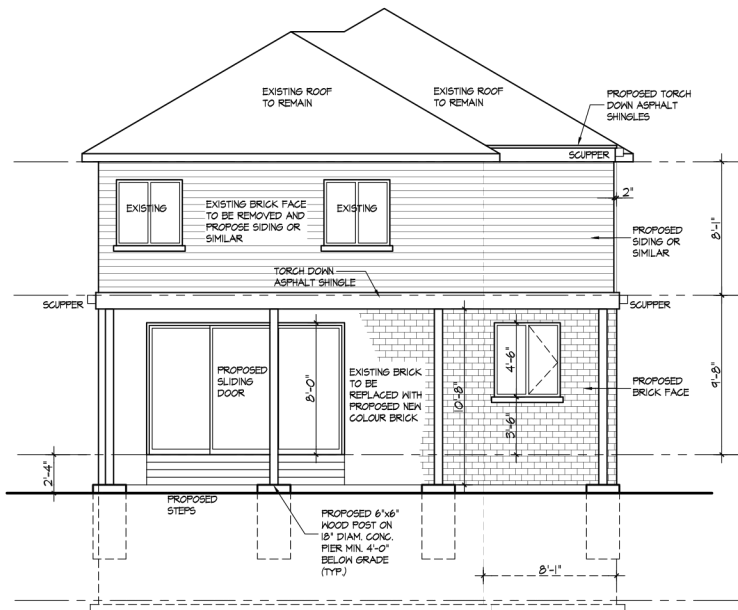
Project Location: Vaughan, Ontario **A-2**



EXISTING / PROPOSED FRONT ELEVATION

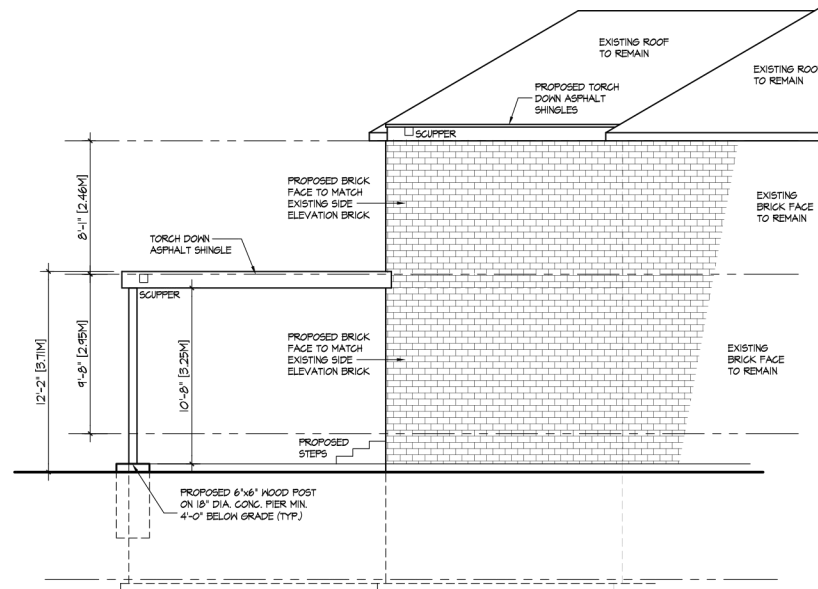
FRONT ELEVATION REVISIONS

- REPLACE SOFFITS AND DOWNSPOUTS TO BE BLACK
- REPLACE NEW FRONT DOORS
- REVISE GARAGE DOORS TO BE PAINTED BLACK
- REPLACE EXISTING WINDOWS TO HAVE BLACK FRAMES



PROPOSED REAR ELEVATION

- PROPOSED OVERHANG TO HAVE BLACK FACIA
- PROPOSE REPLACE REAR ELEVATION BRICK TO BLACK
- PROPOSE SIDING TO BE HARDY BOARD LIGHT MIST (LIGHT GREY TONE)



PROPOSED SIDE ELEVATION

Compliance Package:

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MIDARO DESIGN INC. FIRM BCIN - 35440

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

ANTHONY DEL GROSSO BCIN - 22449

Midaro Design Inc.
Residential Design

delgrosso@sympatico.ca 416-702-3266

Project Name:

8251 KIPLING AVENUE

Title:

Existing / Proposed Elevations

Scale: 3/16"=1'-0" Project No. 22-03

Date: Mar. 2022 Drawing No:

Project Location: Vaughan, Ontario **A-2**

Mark Hall, OAA, MRAIC, RPP, MCIP, FAIA, AICP, CAHP

ACADEMIC + PROFESSIONAL TRAINING

Harvard University, Master of City Planning in Urban Design
US Navy Civil Engineer Corps Officer School, Certificate of Graduation
Construction and Design Management
Massachusetts Institute of Technology
Graduate Studies in Planning and Economics
Pratt Institute, Master Degree program studies in Planning and Economics
University of Michigan, Bachelor of Architecture

DESIGN AND CONSTRUCTION EXPERIENCE

Mariposa Land Development Company [1438224 Ontario Inc.]
Toronto / Orillia, President
Orchard Point Development Company [1657923 Ontario Inc.]
Orillia, Vice President
MW HALL CORPORATION, Toronto, Toronto, President
Teddington Limited, Toronto,
Development advisor, Planner, Architect
ARCHIPLAN, Los Angeles, Principal/President

DMJM, Los Angeles, Planner
Gruen Associates, Los Angeles, Planner
US NAVY, Civil Engineer Corps, Officer
Apel, Beckert & Becker, Architects, Frankfurt
Green & Savin, Architects, Detroit

CITY DEVELOPMENT / URBAN DESIGN / REAL ESTATE DEVELOPMENT

Mark Hall has directed a number of city development and urban design projects, including waterfront revitalization, commercial, multi-unit residential, industrial facilities and major mixed use projects in both public and private clients/employers. He has worked on staff for public agencies, including real estate development and property management services. He understands the dynamics of city development, the techniques required for successful implementation, and procedural, financial and political requirements. His experience and contributions range throughout Canada, the United States, Europe, Southeast Asia, the Middle East and the Arctic. As a result of his extensive experience in this area, he has been invited to participate in the Regional Urban Design Assistance Team [R/UDAT] programs of the American Institute of Architects, and a program of waterfront renewal in Toronto by the Ontario Professional Planners Institute. He is a Registered Professional Planner in Ontario, member of the Canadian Institute of Planners, and a founding member of the American Institute of Certified Planners. Recently, as president of Mariposa Land Development Company, he designed and built a 54 unit condominium apartment project designed to upgrade the waterfront of historic downtown Orillia, Ontario. The building has spurred a number of revitalization projects in Orillia.

HISTORIC PRESERVATION / ADAPTIVE REUSE

Mr. Hall has developed special interest and expertise in historic preservation and adaptive reuse of historic structures and city districts. He has served as president of the Los Angeles Conservancy, and designed projects combining historic preservation and appropriate adaptive reuse of the properties. He is a member of the Canadian Association of Heritage Professionals. Recently he served as preservation architect on renovations of the RC Harris Water Plan, a designated cultural heritage building in Toronto. He has served as architect for restoration and additions to a number of historic houses in the Annex, Beaches and other areas of central city Toronto, as well as Belleville, Orillia, Mississauga and Brampton, and in Los Angeles and Florida. He frequently works with property developers, municipalities and heritage property owners as consultant regarding historic properties of concern to municipalities in which they are working.

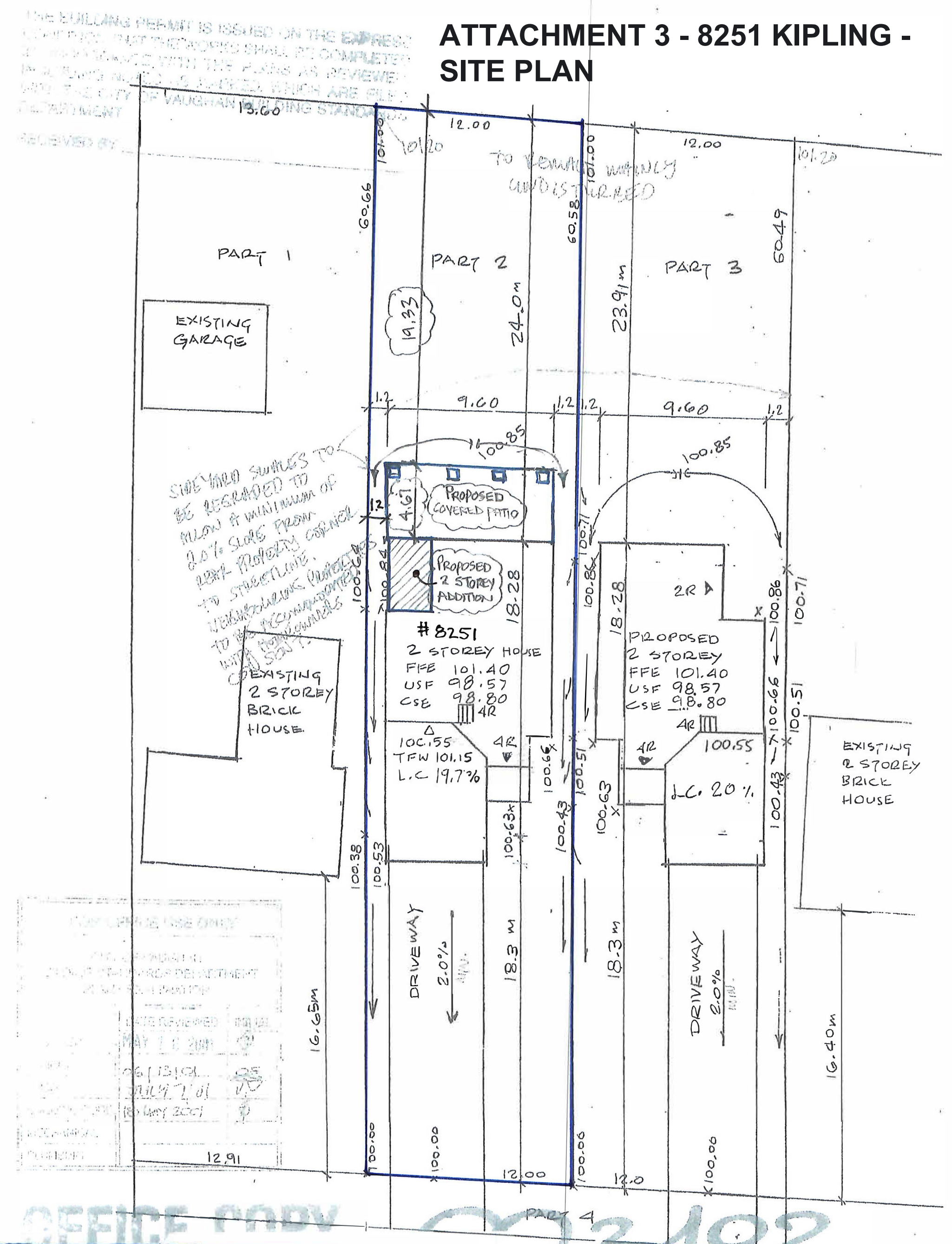
ARCHITECTURE

A licensed architect for over 40 years, Mr. Hall is licensed to practice in Canada and the US. He has been responsible for design and construction of a number of significant projects: mixed use structures, corporate headquarters and industrial facilities, military facilities, multi-unit residential, civic and commercial centres, and seniors housing. He understands the design, construction and real estate development process, as well as management of multi-disciplinary and client concerns for cost effective, efficient, award-winning structures. Many of the structures he has built are the result of implementing more comprehensive master planned developments. For his work in historic preservation, education and community service he was awarded Fellowship in the American Institute of Architects.

COMMUNITY & EDUCATION SERVICE

In addition to professional practice, Mr. Hall has made major commitments to teaching and community service. He taught urban design and city planning at USC, UCLA, Southern California Institute of Architecture [SCI ARC] and Boston Architectural Center. While at Harvard he worked with the Harvard Urban Field Service in Boston's Chinatown. As an officer in the US NAVY he was awarded a special Commendation Medal for development of a master plan for the NAVY's Arctic Research Laboratory and the adjacent Inupiat community of Barrow, Alaska. His work has been published in professional journals and has received various awards and honors. He served on the board of directors and later as president of the Southern California chapter of the American Institute of Architects. He was co-chair for the Ontario Professional Planners Institute [OPPI] of a multi-disciplinary design Charette to determine the future of the Metropolitan Toronto waterfront, and later on a committee of the Ontario Association of Architects looking into solutions to urban sprawl. He has served as president of the non-profit Housing Development Resource Centre [HRDC] and as president of Toronto Brigantine, a non-profit organization providing sail training aboard two tall ships in the Great Lakes.

ATTACHMENT 3 - 8251 KIPLING -
SITE PLAN



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

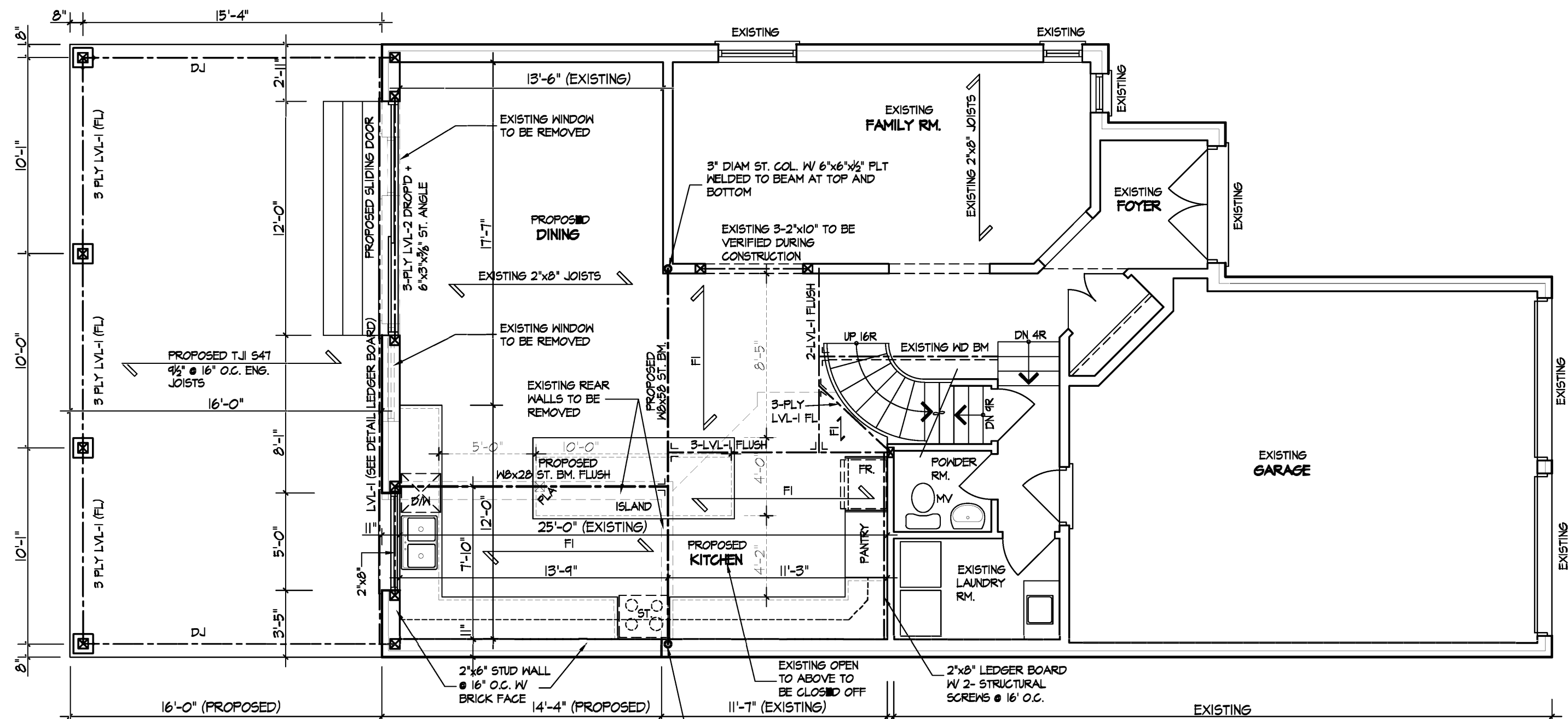
MIDARO DESIGN INC. FIRM BCIN - 35440

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

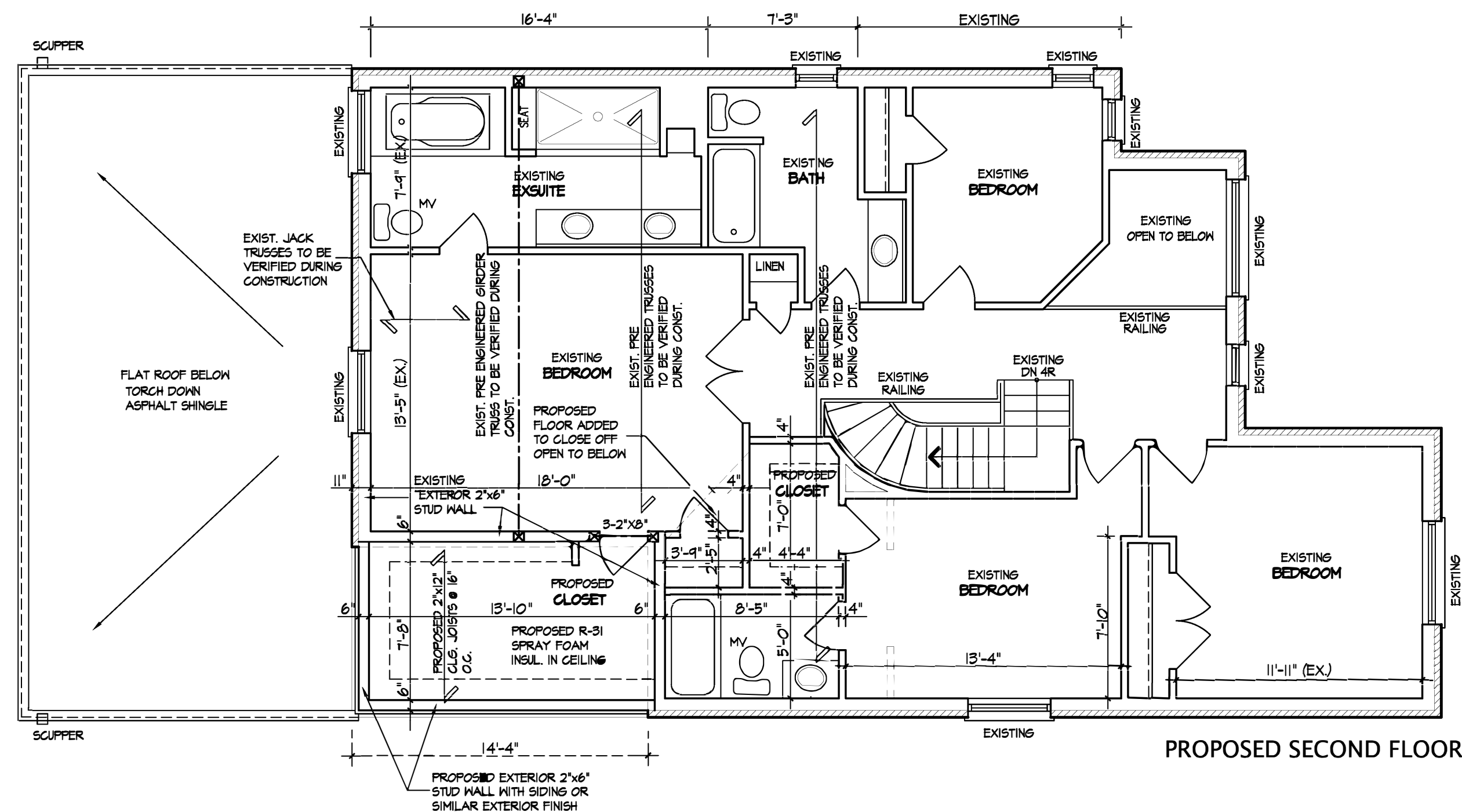
ANTHONY DEL GROSSO BCIN - 22449

LOT AREA	726.96 m2
PERMITTED COVERAGE - By-law 01-2021 (40%)	290.78 m2
PERMITTED COVERAGE - By-law 1-88 (50%)	363.48 m2
EXISTING COVERAGE	143.62 m2
PROPOSED 2 STOREY ADDITION	10.75 m2
PROPOSED REAR COVERED PORCH	44.73 m2
TOTAL PROPOSED COVERAGE	199.10 m2 (27%)

PREPARED BY: MIDARO DESIGN INC.	SHEET NO: S-1
DATE: FEB. 24, 2022	
SHEET: SITE PLAN	



FI - 2"x8" FLOOR JOISTS @ 16" O.C. W/ 3/4"
 T&G PLYWOOD SCREWED AND GLUED
 LVL-1 - 1 3/4" x 7 1/4" LVL 2.OE
 LVL-2 - 1 3/4" x 11 7/8" LVL 2.OE



PROPOSED SECOND FLOOR LAYOUT

Compliance Package:

The Architectural Technologist is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. & engineering information shown on the drawing. Refer to the appropriate engineering drawings before proceeding with work.

Contractor shall check all dimensions on the work and report any discrepancy to the Architectural Technologist before proceeding. Construction must conform to all applicable Codes and Requirement of Authorities having Jurisdiction.

All drawings, specifications and related documents are the copyright property of Midaro Design Inc. and must be returned upon request. Reproduction of drawings, specifications and related documents in part or whole is forbidden without the written permission of Midaro Design Inc.

This drawing is not to be scaled.

This drawing is not to be used for construction unless signed by the Architectural Technologist.

3	Revised second floor proposed addition	21-12-27
2	Issued for engineer review	21-11-24
1	Issued for preliminary review	21-10-01
No.	Description	Date

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

REGISTRATION INFORMATION
Required unless design is exempt under Division C,
Subsection 3.2.4 of the building code

MIDARO DESIGN INC. FIRM BCIN - 35440

QUALIFICATION INFORMATION
Required unless design is exempt under Division C,
Subsection 3.2.5 of the building code

ANTHONY DEL GROSSO BCIN - 22449

Midaro Design Inc.

Residential Design

delgrosso@sympatico.ca 416-702-3266

Project Name:

8251 KIPLING AVENUE

Title:

Proposed Main & Second Floor Layouts

Scale: $3/16" = 1'-0"$

Project No.	22-03
-------------	-------

Date: Mar. 2022

Drawing No:

Project Location:	Vaughan, Ontario
-------------------	------------------

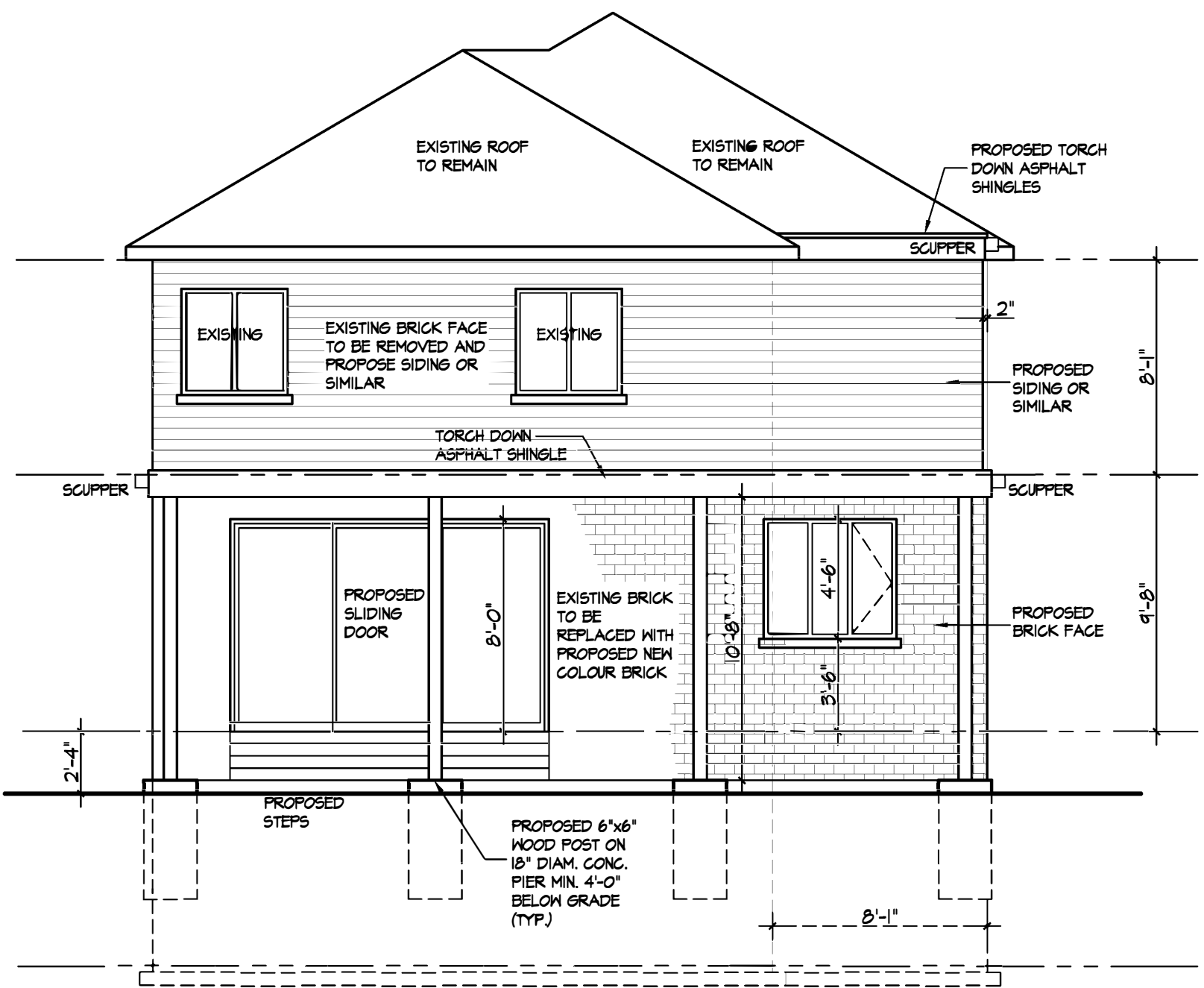
A-2



EXISTING / PROPOSED FRONT ELEVATION

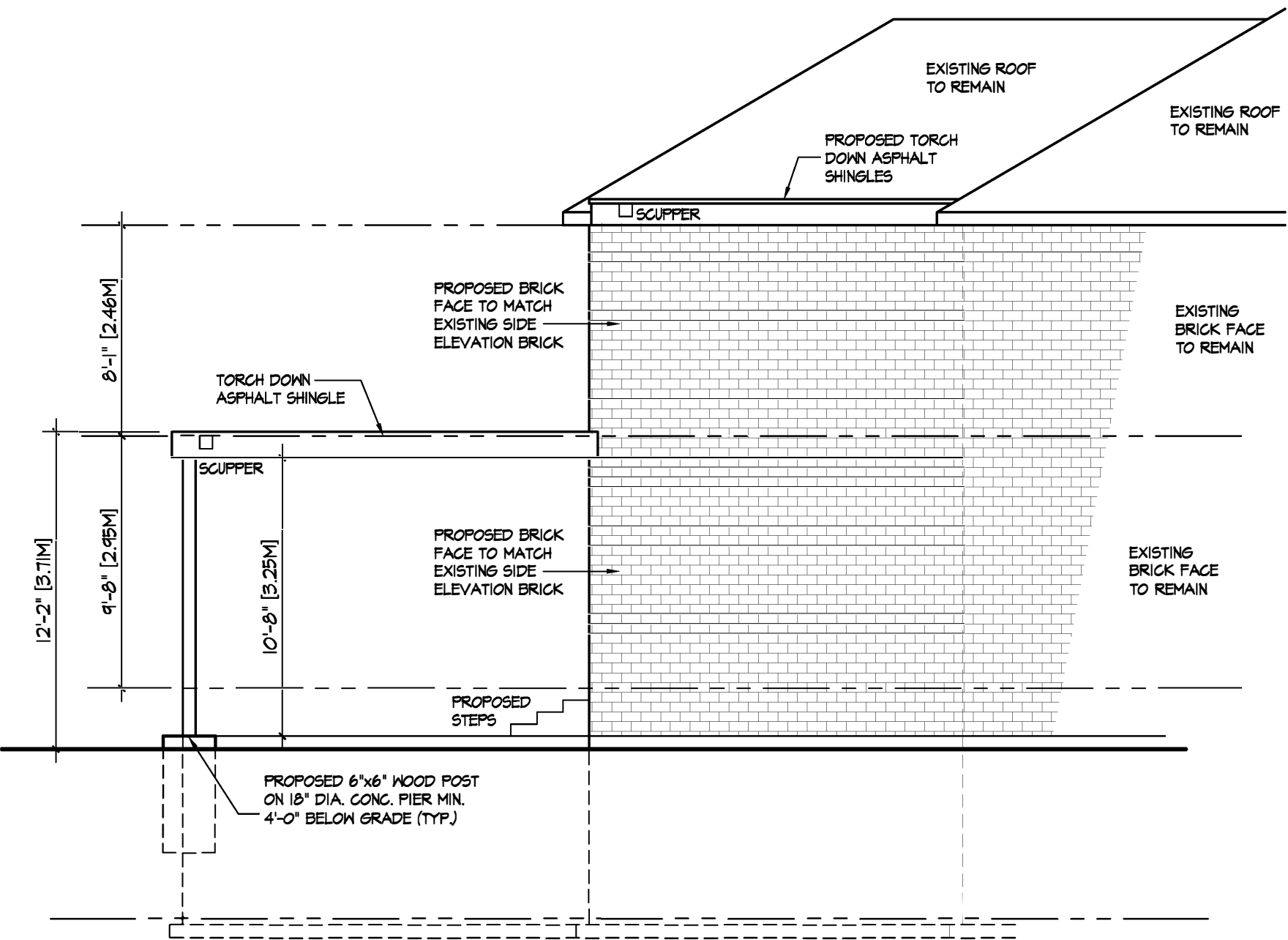
FRONT ELEVATION REVISIONS

- REPLACE SOFFITS AND DOWNSPOUTS TO BE BLACK
- REPLACE NEW FRONT DOORS
- REVISE GARAGE DOORS TO BE PAINTED BLACK
- REPLACE EXISTING WINDOWS TO HAVE BLACK FRAMES



PROPOSED REAR ELEVATION

- PROPOSED OVERHANG TO HAVE BLACK FACIA
- PROPOSE REPLACE REAR ELEVATION BRICK TO BLACK
- PROPOSE SIDING TO BE HARDY BOARD LIGHT MIST (LIGHT GREY TONE)



PROPOSED SIDE ELEVATION

Compliance Package:

The Architectural Technologist is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. & engineering information shown on the drawing. Refer to the appropriate engineering drawings before proceeding with work.

Contractor shall check all dimensions on the work and report any discrepancy to the Architectural Technologist before proceeding. Construction must conform to all applicable Codes and Requirement of Authorities having Jurisdiction.

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This drawing is not to be scaled.

This drawing is not to be used for construction unless signed by the Architectural Technologist.

No.	Description	Date
3	Revised second floor proposed addition	21-12-27
2	Issued for engineer review	21-11-24
1	Issued for preliminary review	21-10-01

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

MIDARO DESIGN INC. FIRM BCIN - 35440

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

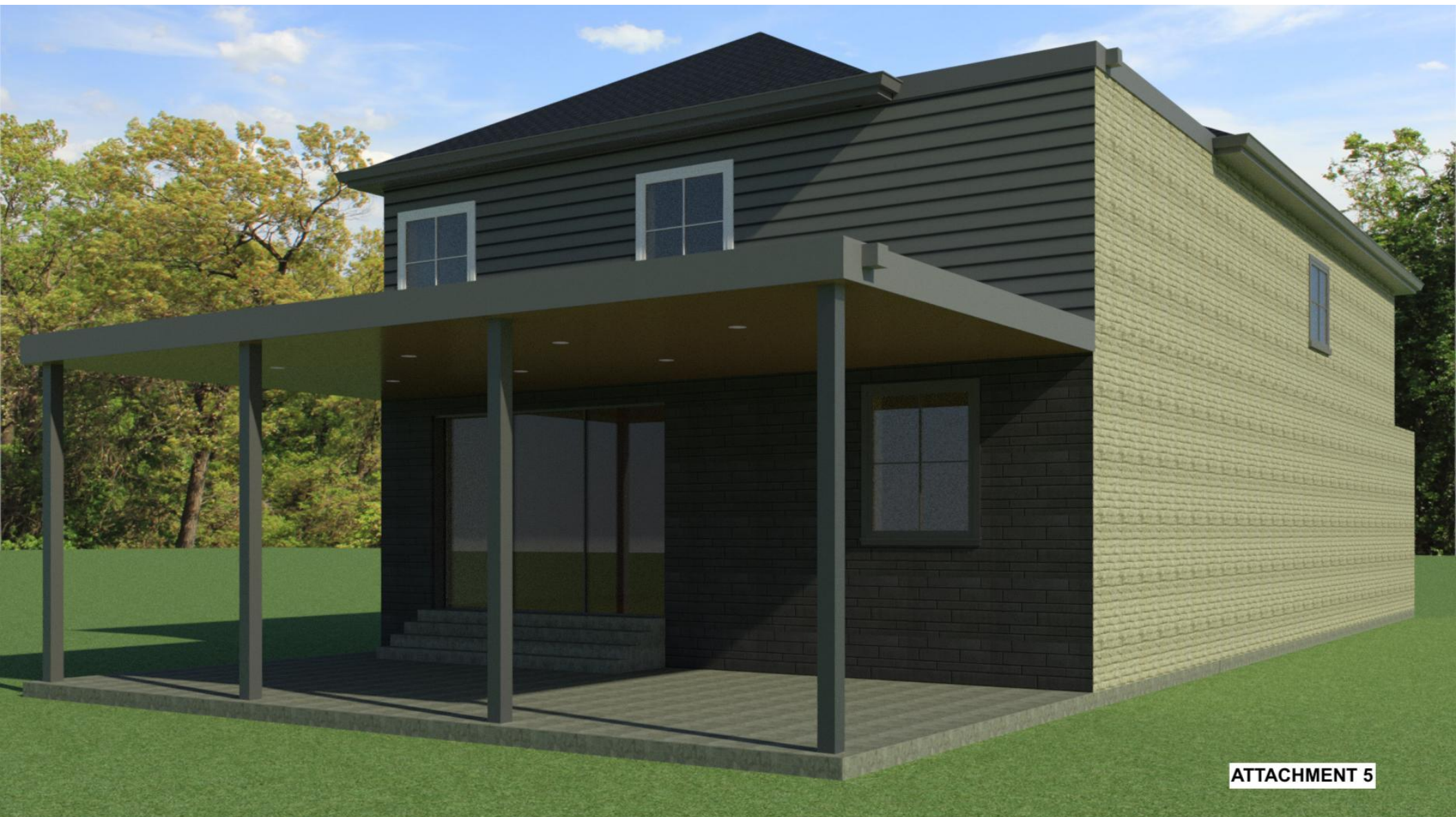
ANTHONY DEL GROSSO BCIN - 22449

Midaro Design Inc.
Residential Design
delgrosso@sympatico.ca 416-702-3266

Project Name:
8251 KIPLING AVENUE

Title:
Existing / Proposed Elevations

Scale: 3/16"=1'-0"	Project No. 22-03
Date: Mar. 2022	Drawing No: A-2
Project Location: Vaughan, Ontario	



ATTACHMENT 5

8251 KIPLING AVE – Proposed Materials

EXTERIOR COLOUR SELECTION	MANUFACTURER	COLOUR
Rear of house brick	Brickcraft OR Belden Brick	Midnight Blend OR Black diamond velour
Rear of house Siding	James Hardie	Gray Slate OR Light Mist
Overhang Ceiling	Longboard	Dark Bamboo
Aluminum Soffit, Fascia, Downspout	Kaycan	Black
Interlock paver - rear of house	Rinox	Sky Grey
Garage Door / Column in rear	Para Paints	Black



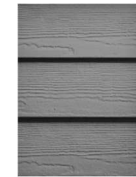
BRICK



BRICK



SIDING



OVER HANG CEILING





SOFFIT, FASCIA, DOWNSPOUT





GARAGE



INTERLOCK PAVER

		Canada • Zones 1 2 3	
ENERGY STAR		1 800 387-2000 energystar.gc.ca	
U-value Valeur-U 1.76 <small>W/m²·K</small>	Solar Heat Gain Coefficient Coefficient de gain de chaleur solaire 0.57	Visual Transmittance Transmission visible 0.59	
Energy Rating Rendement énergétique 34	Model Code: FXCAS_CL_Arg_LOF		
Uni-Tech Windows Manufacturer Inc. Burnaby, BC (604) 555-5555 NAFS Class R - PG25 - Size Tested 800 x 1500 - SHD Positive Design Pressure (DP) 2160 Pa Negative Design Pressure (DP) 2160 Pa Water Resistance Test Pressure 730 Pa Canadian Infiltration/Exfiltration A3 File No: W517-1 Report No: AI-03741-B1 Rev. 1			
		Thermal performance and visual transmittance ratings certified to CSA A440.2-04. Ratings are determined for a fixed set of environmental conditions and a specific product. Certification agency does not recommend or warrant product for any specific use. Les taux de performance thermique et de transmission visible sont certifiés CSA A440.2-04. Les taux sont déterminés selon une série de conditions environnementales fixes et une taille de produit particulière. L'agence de certification ne recommande ni ne garantie le produit aux fins d'utilisation particulière.	

		Canada • Zones 1 2 3	
ENERGY STAR		1 800 387-2000 energystar.gc.ca	
U-value Valeur-U 1.76 <small>W/m²·K</small>	Solar Heat Gain Coefficient Coefficient de gain de chaleur solaire 0.57	Visual Transmittance Transmission visible 0.59	
Energy Rating Rendement énergétique 34	Model Code: FXCAS_CL_Arg_LOF		
Uni-Tech Windows Manufacturer Inc. Burnaby, BC (604) 555-5555 NAFS Class R - PG25 - Size Tested 800 x 1500 - SHD Positive Design Pressure (DP) 2160 Pa Negative Design Pressure (DP) 2160 Pa Water Resistance Test Pressure 730 Pa Canadian Infiltration/Exfiltration A3 File No: W517-1 Report No: AI-03741-B1 Rev. 1			
		Thermal performance and visual transmittance ratings certified to CSA A440.2-04. Ratings are determined for a fixed set of environmental conditions and a specific product. Certification agency does not recommend or warrant product for any specific use. Les taux de performance thermique et de transmission visible sont certifiés CSA A440.2-04. Les taux sont déterminés selon une série de conditions environnementales fixes et une taille de produit particulière. L'agence de certification ne recommande ni ne garantie le produit aux fins d'utilisation particulière.	

ATTACHMENT 7 - 8251
 KIPLING - WINDOWS
 ORDER

UNITECH QUOTATION

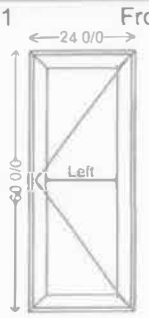
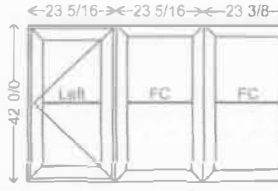
WINDOWS MANUFACTURER INC.

260 Jevlan Drive, Woodbridge, Ontario L4L 8B1
p: 905.856.4011 f: 905.856.8331 tl: 1.877.813.7778
 www.unitechwindows.com

To	Deliver to
Rubicon Contracting 8 Cedar Ave Thornhill Ontario	8251 Kipling Ave Vaughan Ontario

Phone Number: 416-841-0651

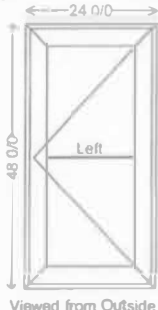
Quote No.	Date	Customer Ref.	Responsible
001356	4/7/2022	8251 Kipling	JOHN

Sales Line	Details	Qty	Options
0001 	Living SN01 Omni 3-1/4" Series 1-OFF 24 0/0w x 60 0/0h (10.00 sqft) Frame size : 24 0/0w x 60 0/0h MDL on glass surface + between glass (simulate single hung) Black Out/White in	1	Dimension Type OFM Paint Yes Colour Choice Outside-Standard Paint Outside Black Int. Options Wood JE < 8 Overall Window 8 1/4 Operator Encore Installation Yes 3mm Solarban 60 (7/8) SDL & Int. Grill Argon
0002 	Office SN01 Omni 3-1/4" Series Casement LH/FX/FX 70 0/0w x 42 0/0h (20.42 sqft) Frame size : 70 0/0w x 42 0/0h MDL on glass surface + between glass (simulate single hung) Black Out/White in	1	Dimension Type OFM Paint Yes Colour Choice Outside-Standard Paint Outside Black Int. Options Wood JE < 8 Overall Window 8 1/4 Operator Encore Installation Yes 3mm Solarban 60 (7/8) SDL & Int. Grill Argon

Quote No.	Date	Customer Ref.	Responsible
001356	4/7/2022	8251 Kipling	JOHN

Sales Line	Details	Qty	Options
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0003 Front



Landing
 SN01 Omni 3-1/4" Series
 1-OFF
 24 0/0w x 48 0/0h (8.00 sqft)
 Frame size : 24 0/0w x 48 0/0h

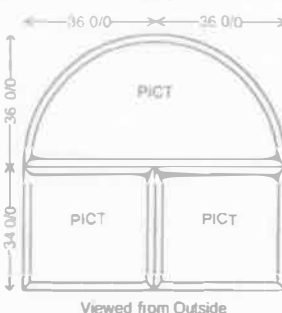
**MDL on glass surface
 + between glass
 (simulate single
 hung)**

Black Out/White in

1	Dimension Type	OFM
	Paint	Yes
	Colour Choice	Outside-Standard
	Paint Outside	Black
	Int. Options	Wood JE < 8
	Overall Window	8 1/4
	Operator	Encore
	Installation	Yes

3mm Solarban 60 (7/8) SDL & Int. Grill Argon

0004 Front



Open Below
 SN01 Omni 3-1/4" Series
 1-OFF
 72 0/0w x 70 0/0h (35.00 sqft)
 [r=36 0/0]
 Frame size : 72 0/0w x 70 0/0h

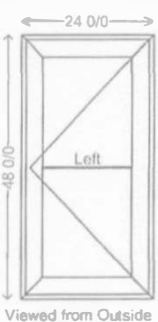
Black Out/White in

**3 Spoke Grill in
 transom
 (SDL- surface)**

1	Dimension Type	OFM
	Paint	Yes
	Colour Choice	Outside-Standard
	Paint Outside	Black
	Int. Options	Wood JE < 8
	Overall Window	8 1/4
	Installation	Yes

3mm Solarban 60 (7/8) Argon

0005 Front



Bed 2
 SN01 Omni 3-1/4" Series
 1-OFF
 24 0/0w x 48 0/0h (8.00 sqft)
 Frame size : 24 0/0w x 48 0/0h

Confirm Fixed?

**MDL on glass surface
 + between glass
 (simulate single
 hung)**

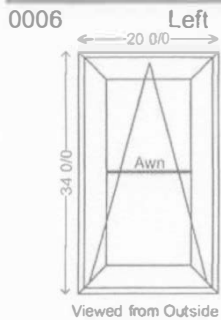
Black Out/White in

1	Dimension Type	OFM
	Paint	Yes
	Colour Choice	Outside-Standard
	Paint Outside	Black
	Int. Options	Wood JE < 8
	Overall Window	8 1/4
	Operator	Encore
	Installation	Yes

3mm Solarban 60 (7/8) SDL & Int. Grill Argon

Quote No.	Date	Customer Ref.	Responsible
001356	4/7/2022	8251 Kipling	JOHN

Sales Line	Details	Qty	Options
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Laundry
 SN01 Omni 3-1/4" Series
 1-OFF
 20 0/0w x 34 0/0h (4.72 sqft)
 Frame size : 20 0/0w x 34 0/0h

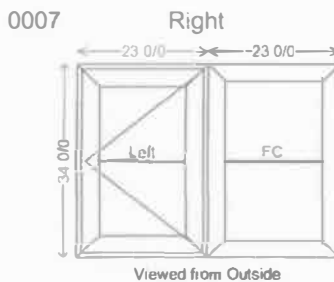
Black Out/White in

**MDL on glass surface
 + between glass
 (simulate single
 hung)**

1 Dimension Type OFM
Paint Yes
 Colour Choice Outside-Standard
Paint Outside Black
Int. Options Wood JE < 8
Overall Window 8 1/4
Installation Yes
 Awn Operator Encore

3mm ACIDETCH (7/8) WHITE SPACER SDL &
 Int. Grill Argon

Sandblast Glass



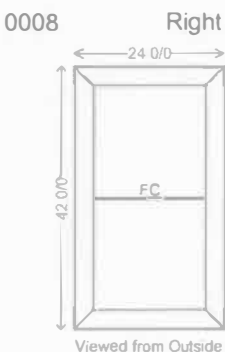
Bed 3
 SN01 Omni 3-1/4" Series
 Casement LH/FX
 46 0/0w x 34 0/0h (10.86 sqft)
 Frame size : 46 0/0w x 34 0/0h

Confirm optional??

**MDL on glass surface
 + between glass
 (simulate single
 hung)**

1 Dimension Type OFM
Paint Yes
 Colour Choice Outside-Standard
Paint Outside Black
Int. Options Wood JE < 8
Overall Window 8 1/4
 Operator Encore
Installation Yes

3mm Dual Low E (7/8) WHITE SPACER SDL &
 Int. Grill Argon



Garage
 SN01 Omni 3-1/4" Series
 Casement FX
 24 0/0w x 42 0/0h (7.00 sqft)
 Frame size : 24 0/0w x 42 0/0h

Sandblast Glass

**MDL on glass surface
 + between glass
 (simulate single
 hung)**

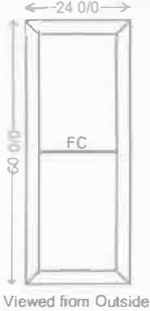
1 Dimension Type OFM
Paint Yes
 Colour Choice Outside-Standard
Paint Outside Black
Int. Options Wood JE < 8
Overall Window 8 1/4
Installation Yes

3mm ACIDETCH (7/8) WHITE SPACER SDL &
 Int. Grill Argon

Quote No.	Date	Customer Ref.	Responsible
001356	4/7/2022	8251 Kipling	JOHN

Sales Line	Details	Qty	Options
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0009 Right



Living
 SN01 Omni 3-1/4" Series
 Casement FX
24 0/0w x 60 0/0h (10.00 sqft)
Frame size : 24 0/0w x 60 0/0h

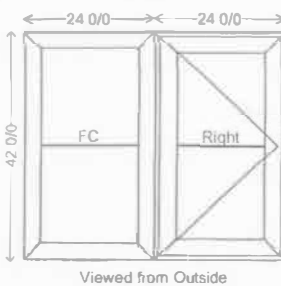
Black Out/White in

MDL on glass surface
+ between glass
(simulate single
hung)

1 Dimension Type OFM
 Paint Yes
 Colour Choice Outside-Standard
 Paint Outside Black
 Int. Options Wood JE < 8
 Overall Window 8 1/4
 Installation Yes

3mm Dual Low E (7/8) WHITE SPACER SDL &
 Int. Grill Argon

0010 Right



Dining
 SN01 Omni 3-1/4" Series
 Casement FX/RH
48 0/0w x 42 0/0h (14.00 sqft)
Frame size : 48 0/0w x 42 0/0h

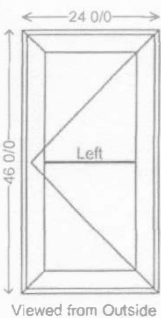
Black Out/White in

MDL on glass surface
+ between glass
(simulate single
hung)

1 Dimension Type OFM
 Paint Yes
 Colour Choice Outside-Standard
 Paint Outside Black
 Int. Options Wood JE < 8
 Overall Window 8 1/4
 Operator Encore
 Installation Yes

3mm Dual Low E (7/8) WHITE SPACER SDL &
 Int. Grill Argon

0011 Front



Bed 2
 SN01 Omni 3-1/4" Series
 1-OFF
24 0/0w x 46 0/0h (7.67 sqft)
Frame size : 24 0/0w x 46 0/0h

Black Out/White in

MDL on glass surface
+ between glass
(simulate single
hung)

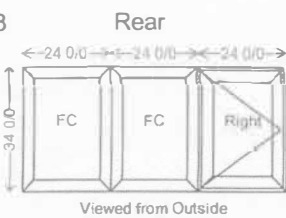
1 Dimension Type OFM
 Paint Yes
 Colour Choice Outside-Standard
 Paint Outside Black
 Int. Options Wood JE < 8
 Overall Window 8 1/4
 Operator Encore
 Installation Yes

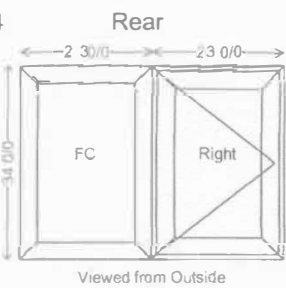
3mm Dual Low E (7/8) WHITE SPACER SDL &
 Int. Grill Argon

Quote No.	Date	Customer Ref.	Responsible
001356	4/7/2022	8251 Kipling	JOHN

Sales Line	Details	Qty	Options
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0012	 <p>Bath SN01 Omni 3-1/4" Series Casement LH 24 0/0w x 36 0/0h (6.00 sqft) Frame size : 24 0/0w x 36 0/0h</p> <p>Black Out/White in</p> <p>*Sandblast Glass*</p> <p>MDL on glass surface + between glass (simulate single hung)</p>	1	<p>Dimension Type OFM</p> <p>Paint Yes</p> <p>Colour Choice Outside-Standard</p> <p>Paint Outside Black</p> <p>Int. Options Wood JE < 8</p> <p>Overall Window 8 1/4</p> <p>Operator Encore</p> <p>Installation Yes</p> <p>3mm ACIDETCH (7/8) WHITE SPACER SDL & Int. Grill Argon</p>
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0013	 <p>Kitchen SN01 Omni 3-1/4" Series Casement FX/FX/RH 72 0/0w x 34 0/0h (17.00 sqft) Frame size : 72 0/0w x 34 0/0h</p> <p>*Black IN + OUT*</p> <p>*New Opening* (size to be confirmed)</p>	1	<p>Dimension Type OFM</p> <p>Paint Yes</p> <p>Colour Choice Bothside Same-Standard</p> <p>Paint Bothside Black</p> <p>Int. Options Wood JE < 8</p> <p>Overall Window 8 1/4</p> <p>Operator Encore</p> <p>Installation Yes</p> <p>3mm Dual Low E (7/8) WHITE SPACER Argon</p>
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0014	 <p>Ensuite SN01 Omni 3-1/4" Series Casement FX/RH 46 0/0w x 34 0/0h (10.86 sqft) Frame size : 46 0/0w x 34 0/0h</p> <p>Black Out/White in</p> <p>Confirm operator?</p>	1	<p>Dimension Type OFM</p> <p>Paint Yes</p> <p>Colour Choice Outside-Standard</p> <p>Paint Outside Black</p> <p>Int. Options Wood JE < 8</p> <p>Overall Window 8 1/4</p> <p>Operator Encore</p> <p>Installation Yes</p> <p>3mm Dual Low E (7/8) WHITE SPACER Argon</p>
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Canada • Zones

1|2|3

ENERGY STAR

1 800 387-2000

energystar.gc.ca

U-value
Valeur-U
1.76

W/m²*K

Solar Heat Gain Coefficient
Coefficient de gain de chaleur solaire
0.57

Visual Transmittance
Transmission visible
0.59

Energy Rating
Rendement énergétique

34

Model Code:

FXCAS_CL_Arg_LOF

Uni-Tech Windows Manufacturer Inc.

Burnaby, BC

(604) 555-5555

NAFS

Class R - PG25 - Size Tested 800 x 1500 - SHD

Positive Design Pressure (DP) 2160 Pa

Negative Design Pressure (DP) 2160 Pa

Water Resistance Test Pressure 730 Pa

Canadian Infiltration/Exfiltration A3

File No: W517-1 Report No: AI-03741-B1 Rev. 1



C

Thermal performance and visual transmittance ratings certified to CSA A440.2-04. Ratings are determined for a fixed set of environmental conditions and a specific product. Certification agency does not recommend or warrant product for any specific use.

Les taux de performance thermique et de transmission visible sont certifiés CSA A440.2-04. Les taux sont déterminés selon une série de conditions environnementales fixes et une taille de produit particulière. L'agence de certification ne recommande ni ne garantit le produit aux fins d'utilisation particulière.



Canada • Zones

1|2|3

ENERGY STAR

1 800 387-2000

energystar.gc.ca

U-value
Valeur-U
1.76

W/m²*K

Solar Heat Gain Coefficient
Coefficient de gain de chaleur solaire
0.57

Visual Transmittance
Transmission visible
0.59

Energy Rating
Rendement énergétique

34

Model Code:

FXCAS_CL_Arg_LOF

Uni-Tech Windows Manufacturer Inc.

Burnaby, BC

(604) 555-5555

NAFS

Class R - PG25 - Size Tested 800 x 1500 - SHD

Positive Design Pressure (DP) 2160 Pa

Negative Design Pressure (DP) 2160 Pa

Water Resistance Test Pressure 730 Pa

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PREMIUM QUALITY FIBREGLASS PANELS

PREMIUM QUALITY FIBERGLASS DOORS INDUSTRY LEADING FEATURES:



Premium Compression Molded Fiberglass Skin

Looks and Feels like Real Mahogany or Oak Grain
Maintenance Free

Won't Dent, Scratch, De-laminate, Rot, Rust or Fade like steel and wood doors do.

Industry Leading Features:

Surface Texture

Superior Oak, Mahogany and Smooth skin techniques with “High Definition Panel Embossments” provides an authentic looking stained wood or smooth finish.

We capture and feel the warm texture of real wood without the disadvantages of wood door natural deterioration.



Composite Rails on all Edges

Rot resistant composite rails are waterproof to prevent moisture from entering the door core. The bottom composite rail is designed to accommodate a large range of door sweeps. A Mennie door will never splinter like wood or delaminate like steel. The World’s first PVC wrap LVL and Tongue-in-Grove rail locking system with a full-length composite style. It makes the slab fully waterproof and the strongest man-made fiberglass door.



LVL Lumber Components

We use laminated veneer lumber (LVL) on both sides of our door for uniform dimensions and moisture resistance. Components are reliable, stress-free, and stronger than traditional lumber components so they won't warp like wood. Our extended LVL rail allows for an extensive range of door lock hardware installation, and because it is full length of 4~5 inch LVL, it provides extra security against forced entry.



Door Core

Our 100% High-Density CFC-Free doors provide 6 times the insulation of traditional wood doors. The advanced PU door core material also adds to the doors sound proofing.



Panel Design

Both our EXECUTIVE panel and RECESSED panel doors easily meet both the demanding contractor and customer concerns. The elegantly detailed architectural panels feature deep shadow lines that add to any home's strong curb appeal.



Just like our sturdy fiberglass entry doors we believe the door frame components should be a match in resilience. An exterior door jamb should be able to frame the door, hold its weight and withstand the trials of weather without sustaining damage. Made from durable materials using the latest technology Mennie creates exterior door frames which will last you for many years to come.

High Definition Laser Press Technology

First of its kind in the world!

A composite door jamb begins with a diligent and technologically advanced production process. The high definition laser press technology we use allows us to fabricate a more realistic wood grain on our door slabs compared to a traditional roller. We are proud to bring this one of a kind innovation to the exterior door frame industry.

Mennie never cuts cost. We strive to be an industry leader by offering materials of high quality and reasonable pricing rather than competing on price alone.



High Density Composite Frame

Our exterior door jambs differentiate themselves from other door frame components with a 40% greater density than our competitors can offer. This is achieved with hot-press moulding, which gives additional strength, dimensional stability and better interface bonding to the composite door jamb. The durability of our door frame components are unrivalled on the market.



U-Shape Reinforcement Carbon Fibre

A U-shaped carbon fibre reinforcement within the exterior door jamb adds to the structural rigidity of the door frame components, ensuring it won't bend under temperature changes.

With Mennie's innovative technology and reinforcement, warping and difficulties with installation is a thing of the past.

We take pride in offering you a Canadian product that withstands the Canadian climate.



Heritage Vaughan Committee Report

DATE: Wednesday, May 18, 2022

WARD(S): 1

TITLE: PROPOSED FRONT AND REAR ADDITION AND INTERIOR RENOVATIONS TO EXISTING BUILDING AT 17 NAPIER STREET IN THE KLEINBURG-NASHVILLE HERITAGE CONSERVATION DISTRICT

FROM:

Haiqing Xu, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To seek a recommendation from the Heritage Vaughan Committee for the proposed interior renovation and construction of a rear addition to the existing non-contributing house located at 17 Napier Street in the Kleinburg-Nashville Heritage Conservation District (as shown on Attachment 1) and is designated under Part V of the *Ontario Heritage Act*.

Report Highlights

- The proposed front and rear additions are architectural improvements
- The existing building is considered 'contributing'
- The proposed construction is in keeping with the Objectives, Policies and Guidelines of the Kleinburg-Nashville Heritage Conservation District Plan

Recommendations

THAT Heritage Vaughan recommend the approval of the proposed development as presented, subject to following conditions:

- a) further minor refinements to building design including material specifications shall be approved to the satisfaction of the Vaughan Development Planning Department, Urban Design and Cultural Heritage Division;

- b) any significant changes to the proposal may require reconsideration by Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning;
- c) that Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits or requirements currently under review or to be submitted in the future by the applicant as it relates to the subject application.

Background

The existing building is a two-storey brick faced single family residence with garages facing Napier Street and backing onto a river ravine to the north of the property. The building is considered to be 'contributing'. The owner plans to construct additions to the front and rear of the existing residence, which will comply with existing Kleinburg-Nashville Heritage Conservation District Plan and complement the existing building as an improved fit in the neighbourhood.

Previous Reports/Authority

Not applicable.

Analysis and Options

All new development must conform to the policies, objectives and supporting guidelines within the Kleinburg-Nashville Heritage Conservation District Plan.

The following is an analysis of the proposed interior renovations and rear 2-storey addition to the existing building located at 17 Napier Street according to the Kleinburg-Nashville Heritage Conservation District Plan ('KNHCD') guidelines.

9.2 ARCHITECTURAL STYLES

Architectural style is a term used to refer to the identifying characteristics of construction as it has evolved under the force of changing technology and fashion. Before the industrial age, even minor details were custom-made for each building, and it would be hard to find even two identical front door designs from the early 19th century.

Nonetheless, each period produced buildings that shared a design vocabulary, including elements of massing, composition, proportions, window and door details, and decorative elements. This section shows the principal styles that have appeared in the Kleinburg-Nashville community, both heritage styles and more recent ones. This section is necessarily brief and does not replace the real research needed for work in the District, as described in Section 9.3.2 and 9.5.1.

Additions and alterations to an existing heritage building should be consistent with the style of the original building. New developments should be designed in a style that is consistent with the vernacular heritage of the community. All construction should be of a particular style, rather than a hybrid one. Recent developments have tended to use

hybrid designs, with inauthentic details and proportions; for larger homes, the French manor or château style (not indigenous to Ontario) has been heavily borrowed from. These kinds of designs are not appropriate for the District.

The proposed front and rear additions are respecting the existing architectural style of the building and add elements that are part of the language of this architectural style. The proposed finished building will look significantly more developed than the existing.

9.3.6 RENOVATIONS

When a renovation on a heritage building is undertaken, it should be part of the renovation to remove later work that conceals the original design or is unsympathetic to it. Research should be undertaken, and the design of new work should restore the principal architectural features of the original building.

Guidelines:

- ☐ *Incorporate restoration of original work in exterior renovation projects.*
- ☐ *Use authentic original materials and methods. For example, when replacing aluminum siding, use wood siding or board and batten.*
- ☐ *Replace missing or broken elements, such as gingerbread, spindles, or door and window trims.*
- ☐ *Remove items, such as metal fascia and soffits that conceal original architectural detail.*

The proposed interior renovations rely on the exterior front and rear additions to complete a plan layout that is more functional than the current one. Although this report and review does not provide input on the interior proposed renovations, the exterior additions maintain the architectural style language through materials, form, mass, and scale, and do not conceal or undermine any of the existing details of the building.

9.4.1.2 CONTEMPORARY ALTERATION

In some cases, a modern building may be altered in a way that respects and complements its original design. As in every era, modern buildings vary in architectural quality, and some modern homes in the district are quite outstanding. Interest in preservation of the modern architectural heritage is growing, and good modern design deserves the same respect as good design of the 19th century.

Guidelines:

- ☐ *Additions and alterations using the Contemporary Alteration approach should respect, and be consistent with, the original design of the building.*
- ☐ *Many modern buildings are old enough to have already undergone renovations, which may not be in character with either the original design, or historic precedent. In such cases, the design of further new work should restore the architectural consistency of the whole.*

- ❑ *In some cases, modern buildings predominantly feature materials that are out of keeping with the local vernacular heritage, such as tile or artificial stone veneer, and tile or simulated tile roofing. Replacement of these materials with more sympathetic ones, when renovations are being undertaken, is encouraged.*

The proposed exterior alterations to the existing building are in-keeping with the guidelines of the KNHCD Plan and are well suited for the immediate neighbourhood as well as for the District at large. The elements are complementary to the existing architecture, thus making them consistent with the original design.

9.10.1 HERITAGE BUILDINGS APPROPRIATE MATERIALS:

Exterior Finish:

- ❑ *Smooth red clay face brick, with smooth buff clay face brick as accent*
- ❑ *Wood clapboard, 4" to the weather.*
- ❑ *Smooth, painted, wood board and batten siding.*

Exterior Detail: *Cut stone or reconstituted stone for trim in brick buildings. Wood shingles, stucco, or terra-cotta wall tiles in gable ends. Painted wood porches, railings, decorative trim, shutters, fascias and soffits. Painted wood gingerbread bargeboards and trim, where appropriate to the design.*

Roofs: *Hipped or gable roof as appropriate to the architectural style. Cedar, slate, simulated slate, or asphalt shingles of an appropriate colour. Standing seam metal roofing, if appropriate to the style.*

Doors: *Wood frames; double hung; lights as appropriate to the architectural style. Real glazing bars, or high-quality simulated glazing bars. Vertical proportion, ranging from 3:5 to 3:7.*

Flashings: *Visible step flashings should be painted the colour of the wall.*

The proposed front and rear additions are respectful of the existing materials and are constructed to be sympathetic and complementary to the existing building. They are in keeping with the KNHCD Plan guidelines.

Financial Impact

There are no Financial Impacts associated with this report.

Broader Regional Impacts/Considerations

There are no Regional impacts or considerations for this application.

Conclusion

The Development Planning Department is satisfied the proposed front and rear additions conform to the policies and guidelines within the KNHCD Plan. Accordingly, staff can support Council approval of the proposed development located at 17 Napier Street under the *Ontario Heritage Act*.

For more information, please contact: Nick Borcescu, Senior Heritage Planner, ext. 8191

Attachments

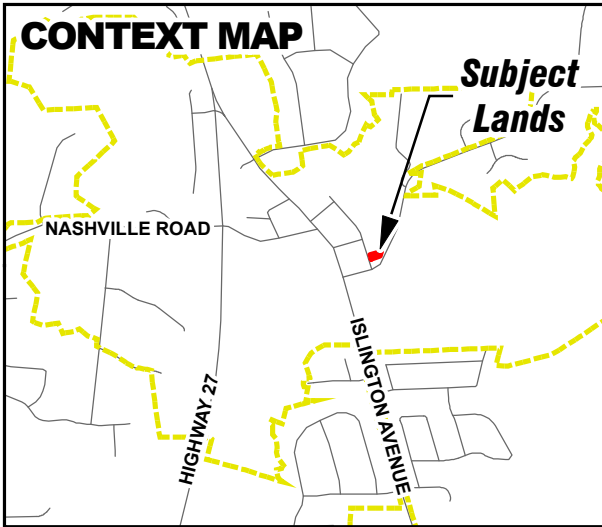
- Attachment 1 – 17Napier – Location Map
- Attachment 2 – 17Napier – CHIA
- Attachment 3 – 17Napier – Site Plan
- Attachment 4 – 17Napier – Floor Plans & Elevations
- Attachment 5 – 17Napier – 3D rendering
- Attachment 6 – 17Napier – Materials and Finishes

Prepared by

Nick Borcescu, Senior Heritage Planner, ext. 8191

Shahrzad Davoudi-Strike, Manager Urban Design and Cultural Services, ext. 8653

CONTEXT MAP

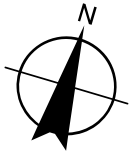


Subject Lands

NASHVILLE ROAD

HIGHWAY 27

ISLINGTON AVENUE



17 Napier Street

STEGMAN'S MILL ROAD

KELLAM STREET

NAPIER STREET



Subject Lands

Heritage District

0 15 30 60 Metres

Location Map

LOCATION:
17 Napier Street
Part of Lot 24, Concession 8



Attachment

1

DATE:
April 28, 2022



CULTURAL HERITAGE IMPACT ASSESSMENT

**17 NAPIER STREET
KLEINBERG, ONTARIO, CANADA**

APRIL 6, 2022



CANADA: 21 SCOLLARD ST., #103, TORONTO, ON M5R 1G1 416 920 8105

U.S: 1400 NW IRVING STREET, #114, PORTLAND, OREGON 97209-2244 503 208 3546

MARK@MWHALLCORP.COM WWW.MWHALLCORP.COM

CULTURAL HERITAGE IMPACT ASSESSMENT

17 Napier Street, Kleinberg, Ontario

6 April 2022

Prepared by: MW HALL CORPORATION

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- 2.0 BACKGROUND RESEARCH AND ANALYSIS
- 3.0 HISTORICAL ANALYSIS
- 4.0 STATEMENT OF SIGNIFICANCE
- 5.0 ASSESSMENT OF EXISTING CONDITION
- 6.0 DESCRIPTION OF THE PROPOSED DEVELOPMENT OR SITE ALTERATION
- 7.0 IMPACT OF DEVELOPMENT OR SITE ALTERATION
- 8.0 ALTERNATIVES AND MITIGATION STRATEGIES
- 9.0 CONSERVATION STRATEGY

APPENDICES

REFERENCES

CULTURAL HERITAGE IMPACT ASSESSMENT

17 Napier Street, Kleinberg, Ontario

6 April 2022

Prepared by: MW HALL CORPORATION

EXECUTIVE SUMMARY

This property contains a relatively nondescript existing 20th century residence. The property is located within the Kleinberg Heritage District at the northern area of City of Vaughan, Ontario. The present structure is a two storey brick faced single family residence with garages within a row of single family residences along Napier Street which back onto a river ravine to the north of the property. Plans of the owner are to construct additions to the front and rear of the existing existing residence. Design of these additions will comply with existing Heritage District Guidelines and better fit and comply with Heritage District Guidelines for this popular community within City of Vaughan. It is our finding that the plans for the additions prepared by Fausto Cortese, Architect comply with Guidelines for construction within the Heritage District.

1.0 INTRODUCTION TO THE PROPERTY

Kleinberg is an unincorporated village within the city of Vaughan, Ontario located along Islington Avenue, a north-south street, and east of the Humber River which also was a major north-south travel route known as 'the Carrying Place' for travel northward from Lake Ontario to Lake Simcoe for many hundreds of years that predated European settlement of this region of the Great Lakes. Much of the present day village of Kleinberg is a designated heritage district under the Ontario Heritage Act. The subject property is part of an early subdivision in Kleinberg fronting along Napier Street and backing onto the Humber River ravine.

The subject lot is basically flat except at the rear where it slopes downward toward the existing river ravine which contains an early roadway, Stegman's Mill Road, which was an early industrial roadway serving the Mill. The slopes along Stegmans Mill Road are extensively treed and natural in character such that the residences along Napier Street cannot be viewed from Stegmans Mill Road. There is an existing swimming pool at the rear of the present house, which is planned to remain. There is an existing deciduous

CULTURAL HERITAGE IMPACT ASSESSMENT

17 Napier Street, Kleinberg, Ontario

6 April 2022

Prepared by: MW HALL CORPORATION

mature tree in the front yard of the existing house that essentially blocks the view of the existing residence from Napier Street.

Adjacent lots to the subject property contain single family houses. The lot to the north is a late 20th century brick and stone residence, relatively non-descript. The lot to the south is a corner lot, facing both Napier Street and Stegmans Mill Road. It is a similar wood frame residence with an initial portion likely constructed earlier, with gabled roof and what appears to be aluminum or plastic vinyl siding replicating horizontal wood lapstrake siding. Both adjacent structures are relatively modest in scale.

Present owner contact Information is as follows:

Mary Barone

17 Napier Street

Woodbridge, ON LOJ 1C0

Tel: 416 562 5793

Email: marymonard@collisionrepaiexperts.ca

2.0 BACKGROUND RESEARCH AND ANALYSIS

The subject property was viewed from Google Earth imagery from both Napier Street and Stegmans Mill Road. Review of the Kleinberg Heritage District Guidelines was made relative to planned redevelopment to this property.

While Napier Street presently has a range of style period residences, the Regency Cottage period 1810-1840 is not exactly represented, but the scale of the porch and the statement that the 2-storey construction for residence conforms seems appropriate for this modest house per the example presented in the guidelines. The existing house on the site does have a pitched roof with dormers. The planned renovation/addition, in our assessment, seems to be appropriate for Napier Street within the Heritage District.

CULTURAL HERITAGE IMPACT ASSESSMENT

17 Napier Street, Kleinberg, Ontario

6 April 2022

Prepared by: MW HALL CORPORATION

3.0 HISTORICAL ANALYSIS

Much of Kleinburg village was developed in the 19th century, and began with frame structures with pitched roofs of varying degrees of incline on the pitches which was typical of this era given the climate in Ontario. Structures were Georgian and early Victorian, but not the more elaborately decorated Victorian style. Built forms tended to be rectangular boxes with pitched roofs and frequently with front porches to protect from the weather. Kleinberg has, for many years, been a favourite destination for visitors and remains so today. In recent times the area around the village has become a favoured location for residential development given its services and architectural character which appeal to people seeking a residence in the area. Napier Street in particular has been considered a favoured location in recent years, and today there is substantial pressure to redevelop some of the some of the 20th century residences. I believe that part of the draw to this is the fact that the heritage district has been established. Plans for redevelopment of 17 Napier is a result of this movement. The scale of the planned residence, combined with roof dormers, front porch window formats and proposed exterior finishes reflect this high demand for heritage connection to this historic village character.

4.0 STATEMENT OF SIGNIFICANCE

The subject residential building within the Designated Heritage District and the proposed renovations and additions comply with the Heritage District Guidelines.

5.0 ASSESSMENT OF EXISTING CONDITION

The existing residential building on the property at 17 Napier Street is presently in sound condition.

CULTURAL HERITAGE IMPACT ASSESSMENT

17 Napier Street, Kleinberg, Ontario

6 April 2022

Prepared by: MW HALL CORPORATION

6.0 DESCRIPTION OF THE PROPOSED DEVELOPMENT OR SITE ALTERATION

The planned renovation and additions to the existing single family residence include additions to the front and rear of the house and the interior. The existing double garage will be refurbished but will remain basically as is. The front and rear of the house have planned additions which will change the architectural character of the house to better conform the Heritage District Guidelines as well as allow for expansion of the floor plates.

Evaluation Criteria of existing and planned revision to 17 Napier Street per Ontario Regulation 9/06

Criteria	Description Criteria	Assessment
1. Design or Physical Value	i. Is a rare, unique, representative or early example of a style, type, expression, material or construction method	This existing residence is not unique in style but is typical of 20 th century structures in the village.
	ii. Displays a high degree of craftsmanship or artistic value	The existing building does not represent an unusually high degree of craftsmanship or artistic value.
	iii. Displays a high degree of technical or scientific achievement	Does not display a high degree of technical or scientific achievement.

CULTURAL HERITAGE IMPACT ASSESSMENT

17 Napier Street, Kleinberg, Ontario

6 April 2022

Prepared by: MW HALL CORPORATION

2. Historical or Associative Value	i. Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	The house does not have direct associations with any thing or event of significance to the community.
	ii. Yields or has the potential to yield information that contributes to the understanding of a community or culture	The building does not yield information that would contribute to the understanding of a community or culture.
	iii. Demonstrates or reflects the work or ideas of an architect, builder, artist, designer or theorist who is significant to a community	The original building is of no particular significance to the community.
3. Contextual Value	i. Is important in defining, maintaining or supporting the character of an area	The house as it stands is not important to the character of the area.
	ii. Is physically, functionally, visually or historically linked to its surroundings	Not uniquely linked to its surroundings.
	iii. Is a landmark	Not a landmark, just a typical mid-century residence.

7.0 IMPACT OF DEVELOPMENT OR SITE ALTERATION

Implementation of the present owner development plans would make this residence conform better to the Heritage District Guidelines.

CULTURAL HERITAGE IMPACT ASSESSMENT

17 Napier Street, Kleinberg, Ontario

6 April 2022

Prepared by: MW HALL CORPORATION

8.0 ALTERNATIVES AND MITIGATION STRATEGIES

There are no alternatives to the planned development and no mitigation strategies planned.

9.0 CONSERVATION STRATEGY

At this time there are no plans for renovation/conservation of the existing building.

This Cultural Heritage Impact Assessment is respectfully submitted by:

MW HALL CORPORATION



per: Mark Hall, OAA, MRAIC, FAIA, RPP, CAHP
President

CULTURAL HERITAGE IMPACT ASSESSMENT

17 Napier Street, Kleinberg, Ontario

6 April 2022

Prepared by: MW HALL CORPORATION

APPENDICES

- A1. Vicinity Map: 17 Napier Street, Kleinberg
- A2. Aerial Photograph: 17 Napier Street, Kleinberg
- A3. Existing View from Napier: 17 Napier Street, Kleinberg
- A4. Planned East Elevation
- A5. Site Plan of the property at 17 Napier Street, Kleinberg
- A6. Curriculum Vitae, Mark Hall

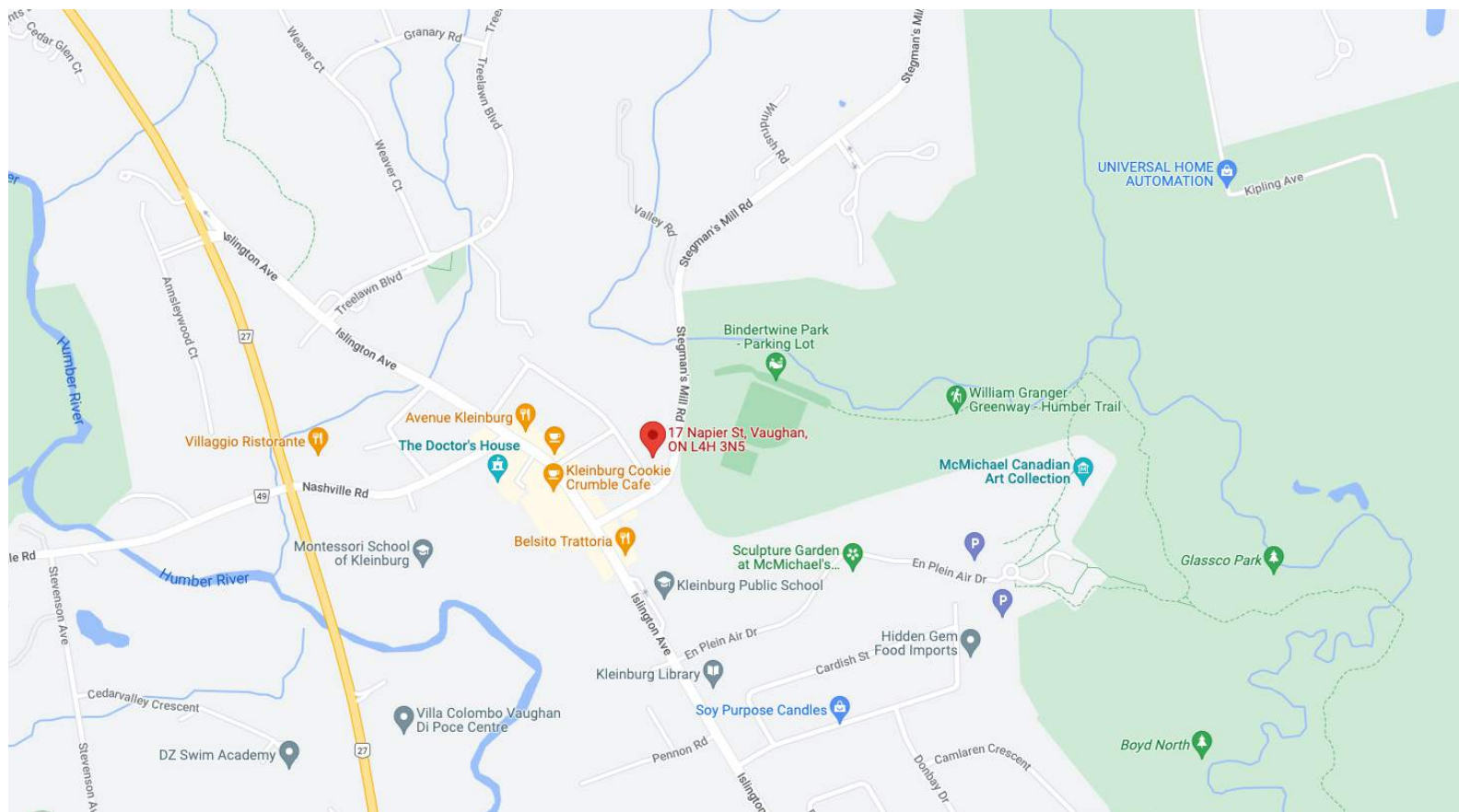
REFERENCES

- 1. Ontario Heritage Act
- 2. Kleinberg Heritage District Guidelines

APPENDIX A1

17 NAPIER STREET, KLEINBERG, ONTARIO

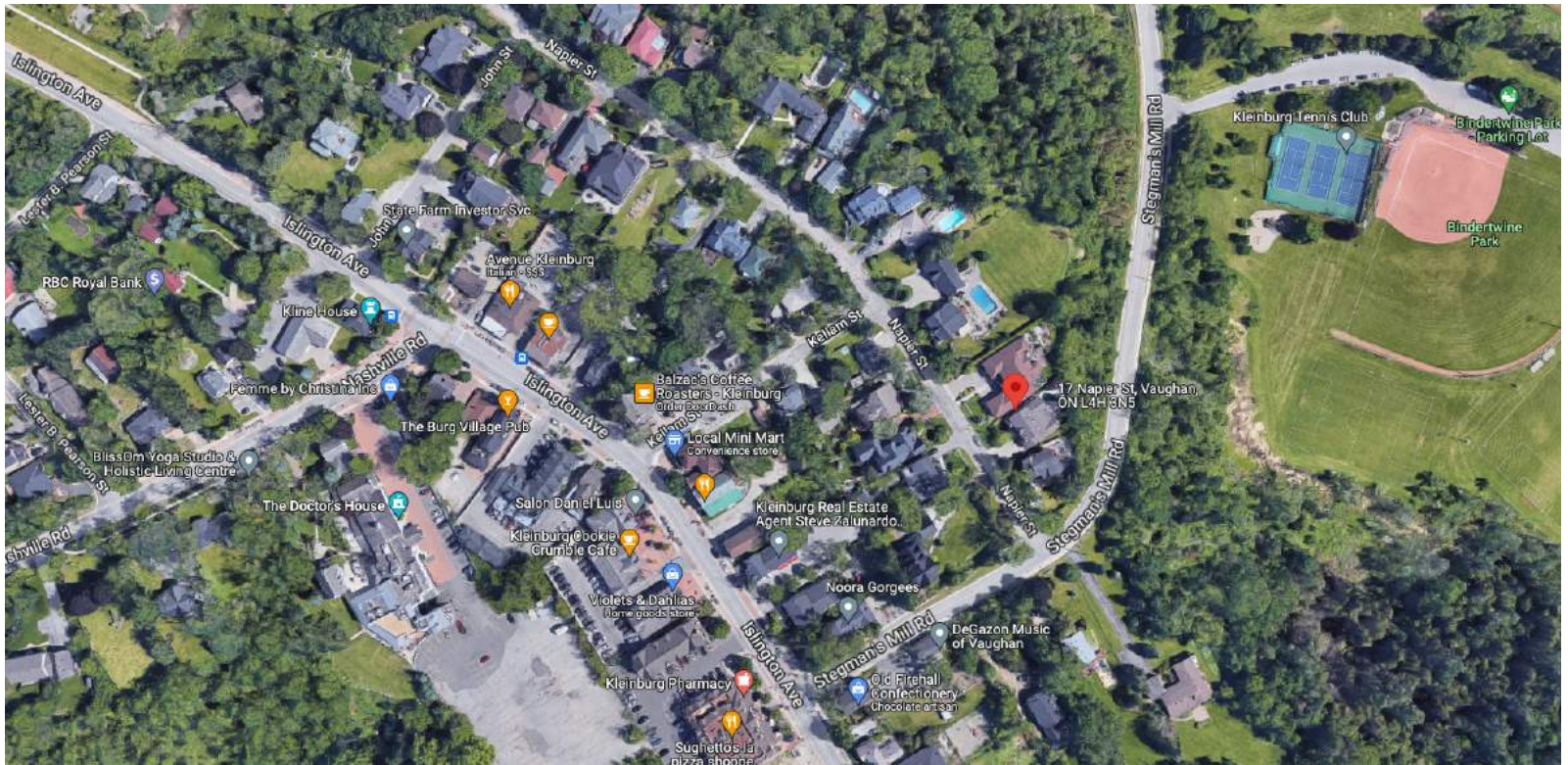
VICINITY MAP



APPENDIX A 2

17 NAPIER STREET, KLEINBERG, ONTARIO

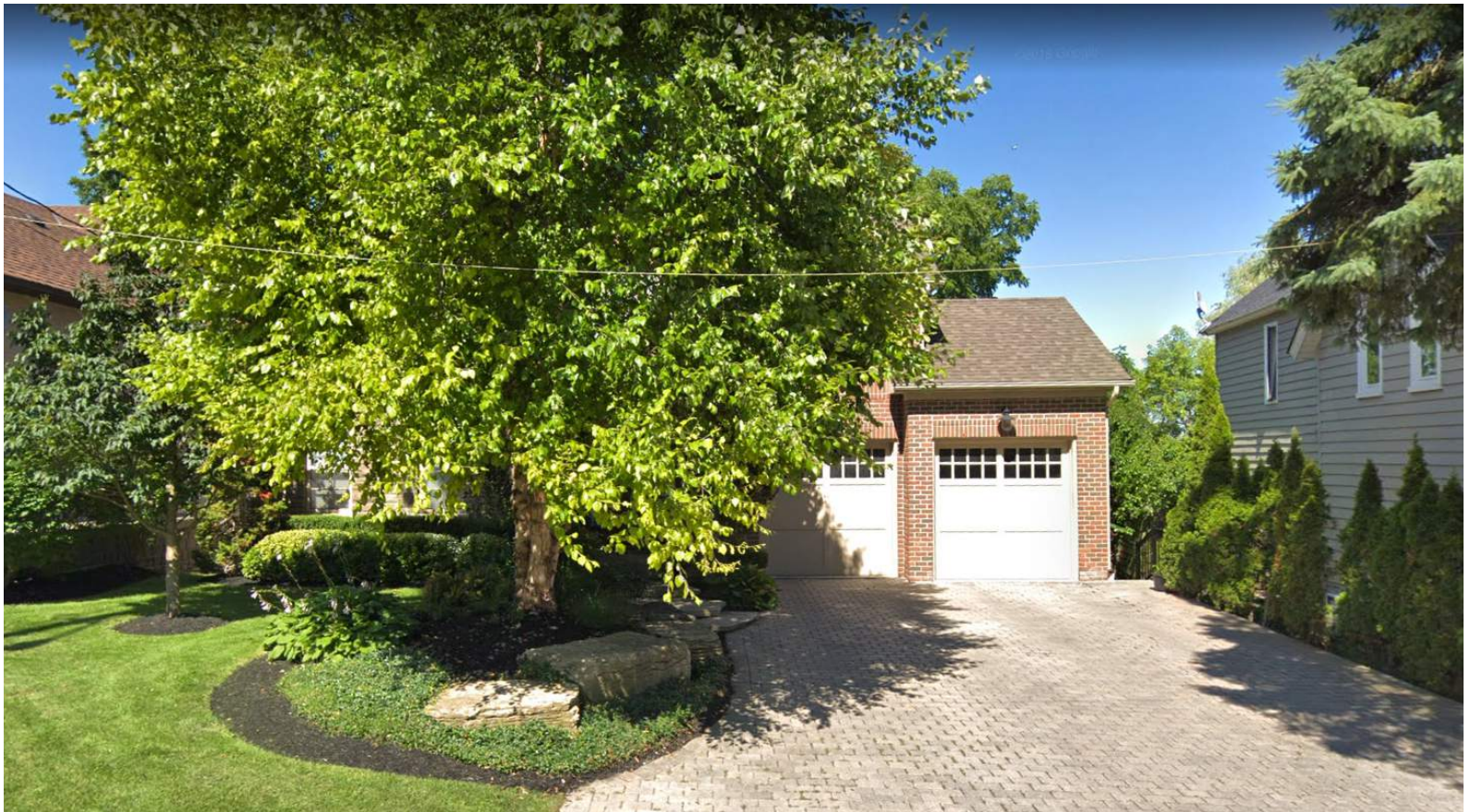
AERIAL MAP



A P P E N D I X A 3

17 NAPIER STREET, KLEINBERG, ONTARIO

EXISTING VIEW FROM NAPIER

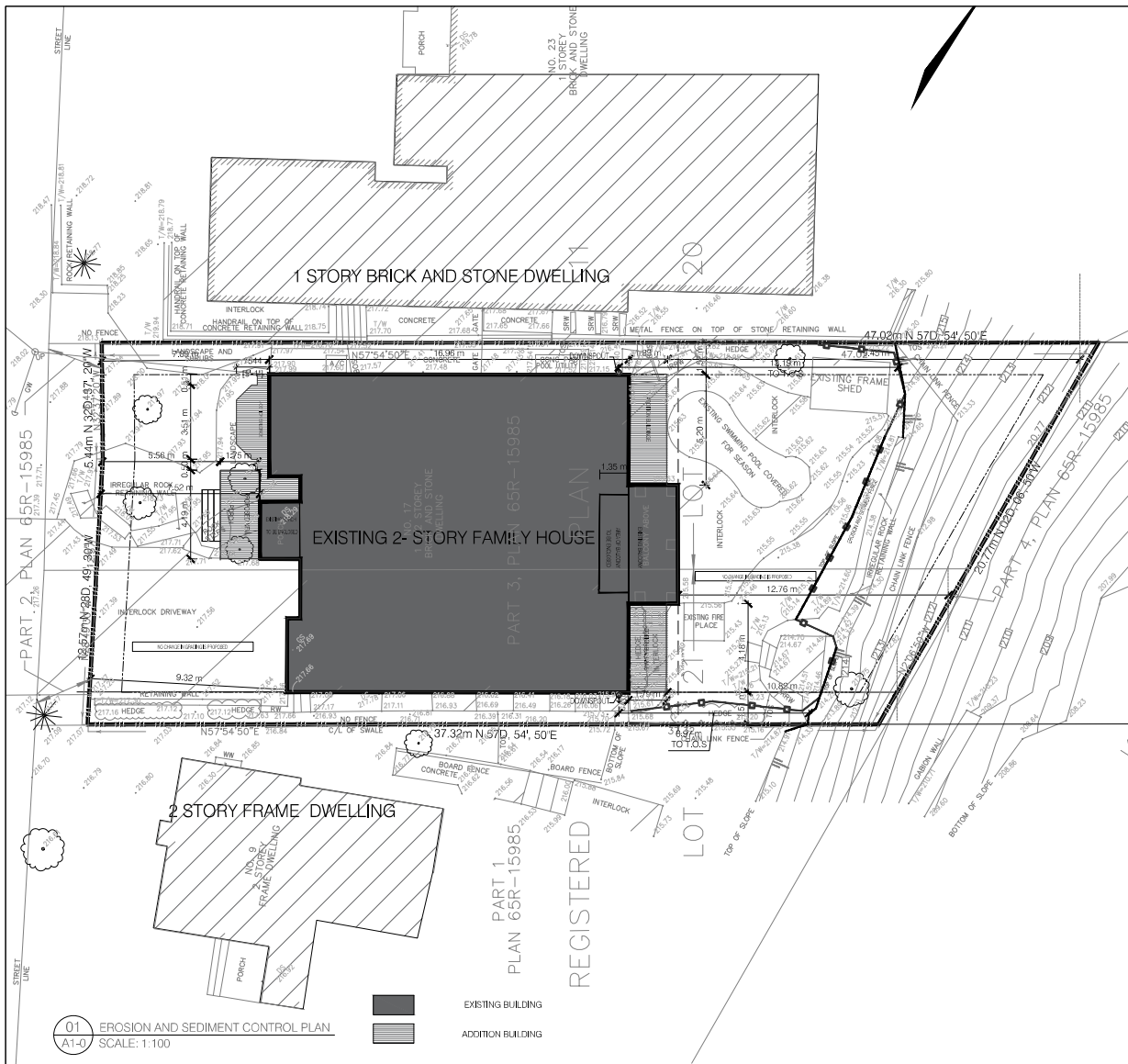


A P P E N D I X A 4

17 NAPIER STREET, KLEINBERG, ONTARIO

PLANNED EAST ELEVATION





SKETCH SHOWING TOPOGRAPHIC INFORMATION OF
PARTS OF LOT 20 AND LOT 21
REGISTERED PLAN 11
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

SCALE = 1:150 m

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTE:

DS	DENOTES	DOOR SILL
GS	•	GARAGE SILL
T/W	•	TOP OF WALL
IRRW	•	IRREGULAR ROCK RETAINING WALL
SRW	•	STONE RETAINING WALL
MH	•	MANHOLE
CB	•	CATCH BASIN
TOS	•	TOP OF SLOPE
BOS	•	BOTTOM OF SLOPE
GW	•	GUY WIRE
UP	•	UTILITY POLE
-OH-	•	OVERHEAD CABLES
100.00	•	EXISTING ELEVATION
☉	•	DECIDUOUS TREE
☼	•	CONIFEROUS TREE

GEODETIC:
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED
FROM THE CITY OF VAUGHAN BENCHMARK NO. 54-5
ELEVATION = 219.114 METRES.

NOTE:
This is NOT a Plan of Survey and shall not be used
except for the purpose indicated in the title block.

This Sketch is protected by Copyright ©

THIS SKETCH IS NOT TO BE USED FOR MORTGAGE
OR TRANSACTION PURPOSES.

BOUNDARY INFORMATION SHOWN HEREON IS DERIVED FROM
OFFICE RECORDS AND IS SUBJECT TO A LEGAL SEARCH AND
FINAL SURVEY.

SITE DEVELOPMENT

	BY-LAW 1-88	PROPOSED NEW BY-LAW	PROVIDED
ZONING	R1	R1B (EN)	
TOTAL LOT AREA	700 m ²	600 m ²	756.44 m ²
LOT COVERAGE	30.00%	40.00%	38.61%(292.11 m ²)
LOT FRONTAGE	18 m	18 m	18.1 m
REAR YARD	7.50 m	12.0 m	10.82 m
FRONT YARD	7.50 m	5.52 m (THE LEAST OF REAR YARD HEIGHT + 5.0m - 3.0m + 3.0m = 9.2 m, OR 11 m, NOT LESS THAN 4.5 m)	5.56 m
INTERIOR SIDE YARD	1.50 m	1.50 m	1.51 m, 1.52 m
MAX HEIGHT	9.50 m	9.5 m (THE LEAST OF REAR HEIGHT + 5.0m - 3.0m + 3.0m = 9.2 m, OR 11 m, NOT LESS THAN 4.5 m)	PROPOSED HEIGHT 7.92 m
REAR YARD AREA			263.78m ²
FRONT YARD AREA			104.12 m ²
LANDSCAPE AREA - LOT		10%(10% 756.44 = 75.64 m ²)	320.00 m ²
LANDSCAPE FRONT YARD		40%(40% 104.12 = 41.64 m ²)	65.40m ²



KEY PLAN



1	ISSUED FOR	00/MM/YYYY
No.	DESCRIPTION	DATE
	REVISIONS	

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL
SUBMITTALS
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS
AND CONDITIONS ON THE PROJECT AND MUST REPORT
ANY DISCREPANCIES TO THE DESIGNER BEFORE
PROCEEDING WITH CONSTRUCTION.
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION
PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.
DO NOT SCALE DRAWINGS.

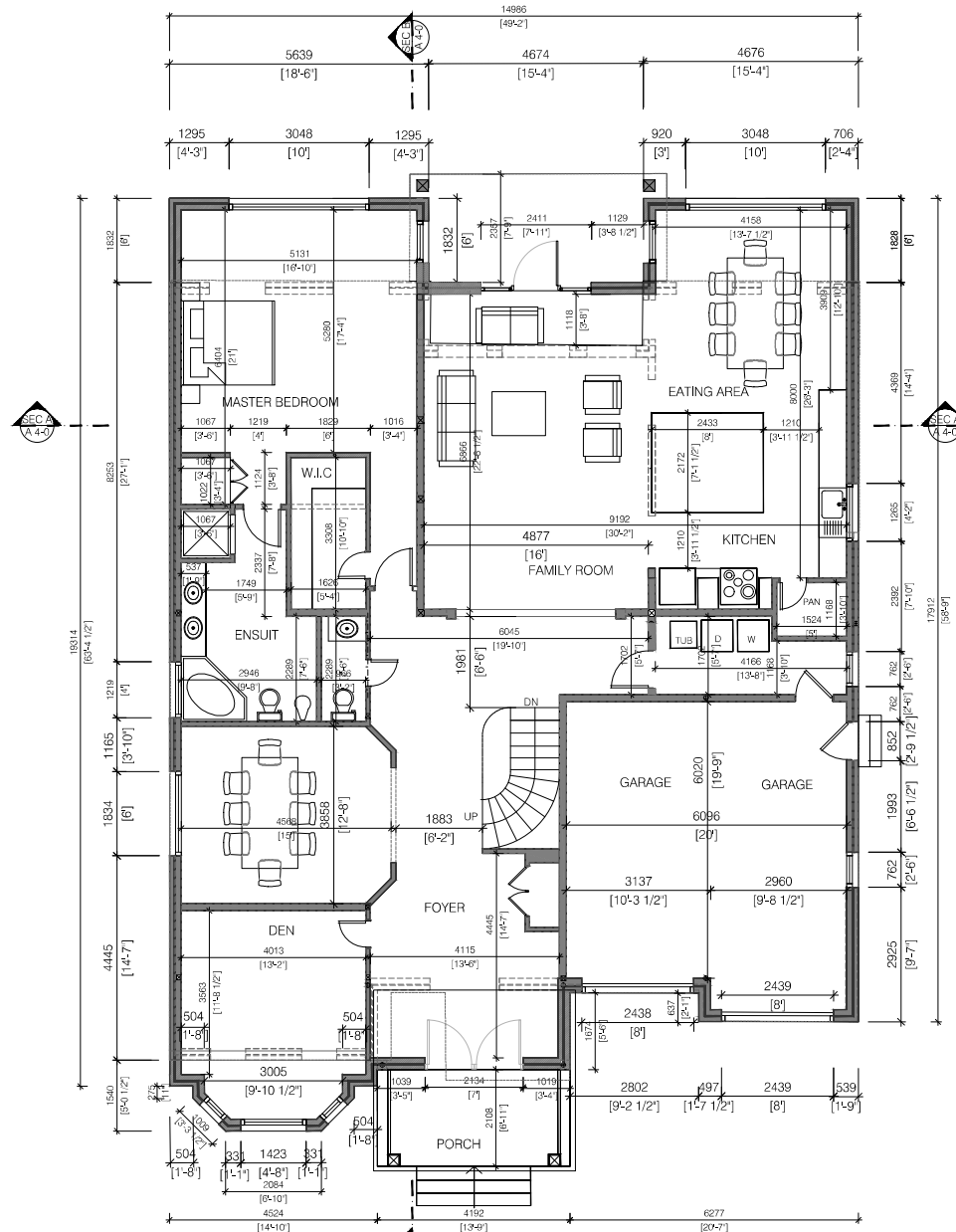
FCA

FAUSTO CORTESE
ARCHITECTS

3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESE@FCAARCHITECTS.CA

DESIGN DRAWINGS
PROPOSED
17 NAPIER ST

DRAWING:	SITE PLAN
PLOTTED:	N/A
DATE:	23/11/2021
SCALE:	AS NOTED
DRAWN BY:	BSH
REVIEWED BY:	F.C.
PROJECT NO:	2021-16
DRAWING NO:	A-10



01 GROUND FLOOR PLAN
SCALE: 1:75

EXISTING WALLS	
PROPOSED WALLS	
WALLS TO BE DEMOLISHED	



KEY PLAN



1	ISSUED FOR	00/00/00
No.	DESCRIPTION	DATE
REVISIONS		
ISSUED FOR CONSTRUCTION		
ISSUED FOR BID		
ISSUED FOR BUILDING PERMIT		
ISSUED FOR SITE PLAN APPROVAL		
SUBMITTALS		

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DO NOT SCALE DRAWINGS.

FCA

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ARCHITECTS

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416-806-7000
FCORTESE@FCAARCHITECTS.CA

DESIGN DRAWINGS PROPOSED 17 NAPIER ST	
DRAWING:	FLOOR PLAN
PLOTTED:	N/A
DATE:	23/11/2021
SCALE:	AS NOTED
DRAWN BY:	REVIEWED BY:
0.5h	F.C.
PROJECT No. 2021-16	
DRAWING No. A2-0	



KEY PLAN



1	ISSUED FOR	00/MM/YYYY
NO.	DESCRIPTION	DATE
REVISIONS		
ISSUED FOR CONSTRUCTION		
ISSUED FOR BID		
ISSUED FOR BUILDING PERMIT		
ISSUED FOR SITE PLAN APPROVAL		
SUBMITTALS		

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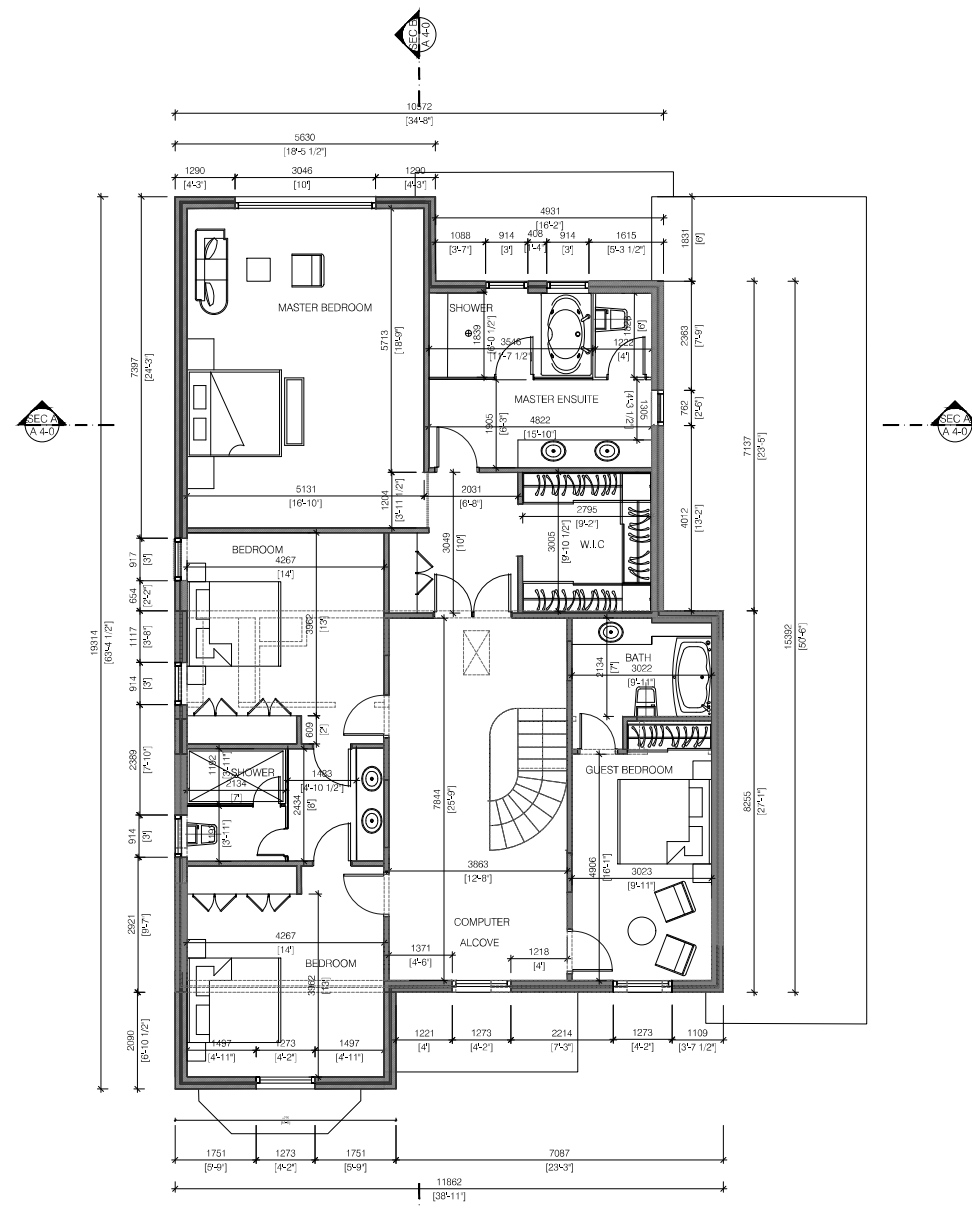
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DESIGN DRAWINGS
PROPOSED
17 NAPIER ST

DRAWING:	FLOOR PLAN
PLOTTED:	N/A
DATE:	23/11/2021
SCALE:	AS NOTED
DRAWN BY:	BSH
REVIEWED BY:	F.C.
PROJECT NO:	202 1-16
DRAWING NO:	A 2-1

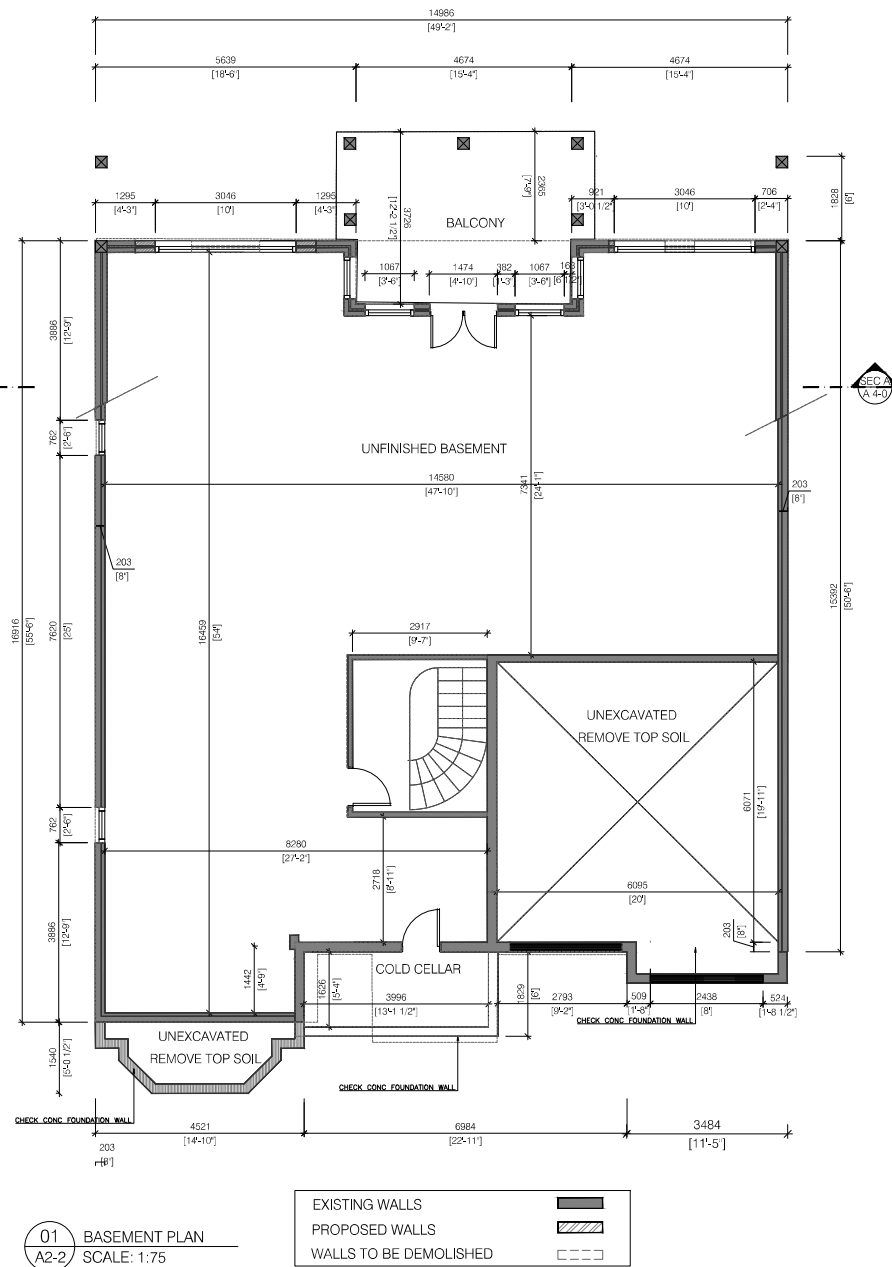


02 SECOND FLOOR PLAN
A2-1 SCALE: 1:75

EXISTING WALLS
 PROPOSED WALLS
 WALLS TO BE DEMOLISHED



KEY PLAN



1	ISSUED FOR	00/MM/YYYY
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REVISIONS		
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ISSUED FOR BID		
ISSUED FOR BUILDING PERMIT		
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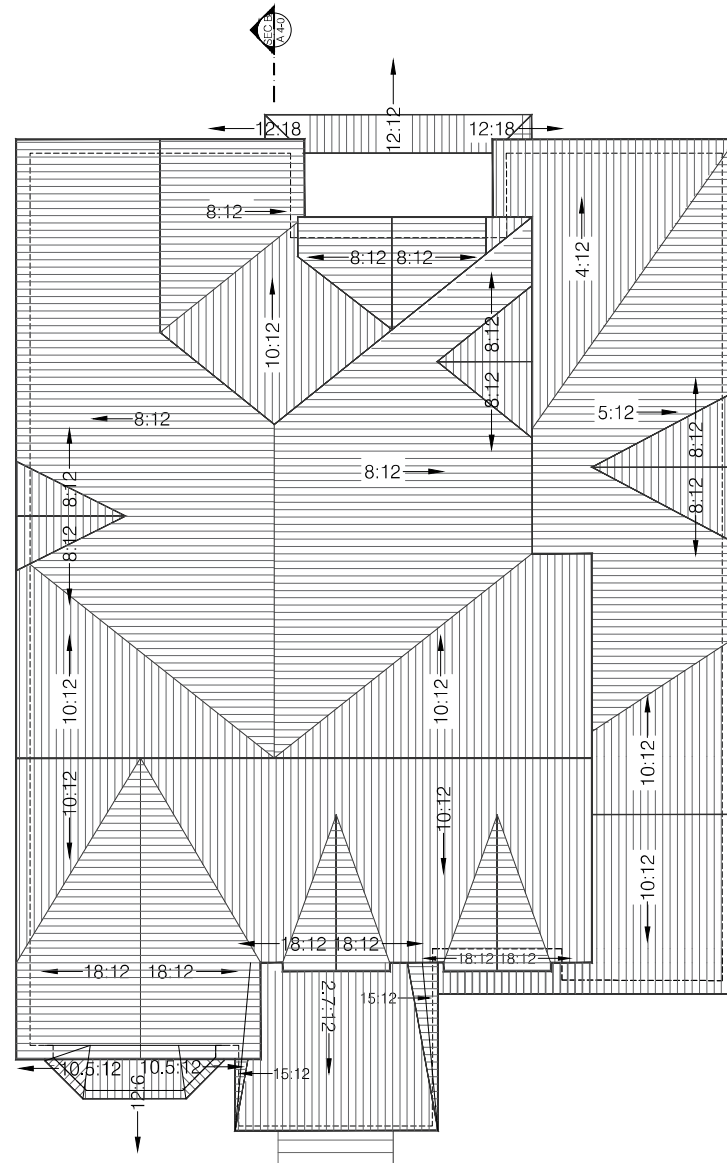
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416-806-7000
FCORTESE@FCAARCHITECTS.CA

DESIGN DRAWINGS
PROPOSED
17 NAPIER ST

DRAWING:	FLOOR PLAN
PLOTTED:	N/A
DATE:	23/11/2021
SCALE:	AS NOTED
DRAWN BY:	BSH
REVIEWED BY:	F.C.
PROJECT NO:	2021-16
DRAWING NO:	A2-2



01 ROOF PLAN
A2-3 SCALE: 1:75



KEY PLAN



1	ISSUED FOR	00/00/0000
NO.	DESCRIPTION	DATE
REVISIONS		

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL
SUBMITTALS

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DESIGN DRAWINGS
PROPOSED
17 NAPIER ST

DRAWING: ROOF PLAN	
PLOTTED: N/A	
DATE: 23/11/2021	PROJECT NO: 2021-16
SCALE: AS NOTED	DRAWING NO: A2-3
DRAWN BY: B.S.H.	REVIEWED BY: F.C.

FILE NAME: 17 NAPIER ST ARCHITECTURAL.DWG DATE: 23/11/2021 14:20:00



KEY PLAN



1	ISSUED FOR	00/MM/YYYY
NO.	DESCRIPTION	DATE
REVISIONS		
ISSUED FOR CONSTRUCTION		
ISSUED FOR BID		
ISSUED FOR BUILDING PERMIT		
ISSUED FOR SITE PLAN APPROVAL		
SUBMITTALS		

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DESIGN DRAWINGS 17 NAPIER ST	
DRAWING:	ELEVATIONS
PLOTTED:	N/A
DATE:	23/11/2021
SCALE:	AS NOTED
DRAWN BY:	BSH
REVIEWED BY:	F.C.
PROJECT NO:	202 1-16
DRAWING NO:	A 3-0



KEY PLAN



01 REAR ELEVATION
A3-1 SCALE: 1/75

1	ISSUED FOR	00/00/00
NO.	DESCRIPTION	DATE
REVISIONS		
ISSUED FOR CONSTRUCTION		
ISSUED FOR BID		
ISSUED FOR BUILDING PERMIT		
ISSUED FOR SITE PLAN APPROVAL		
SUBMITTALS		

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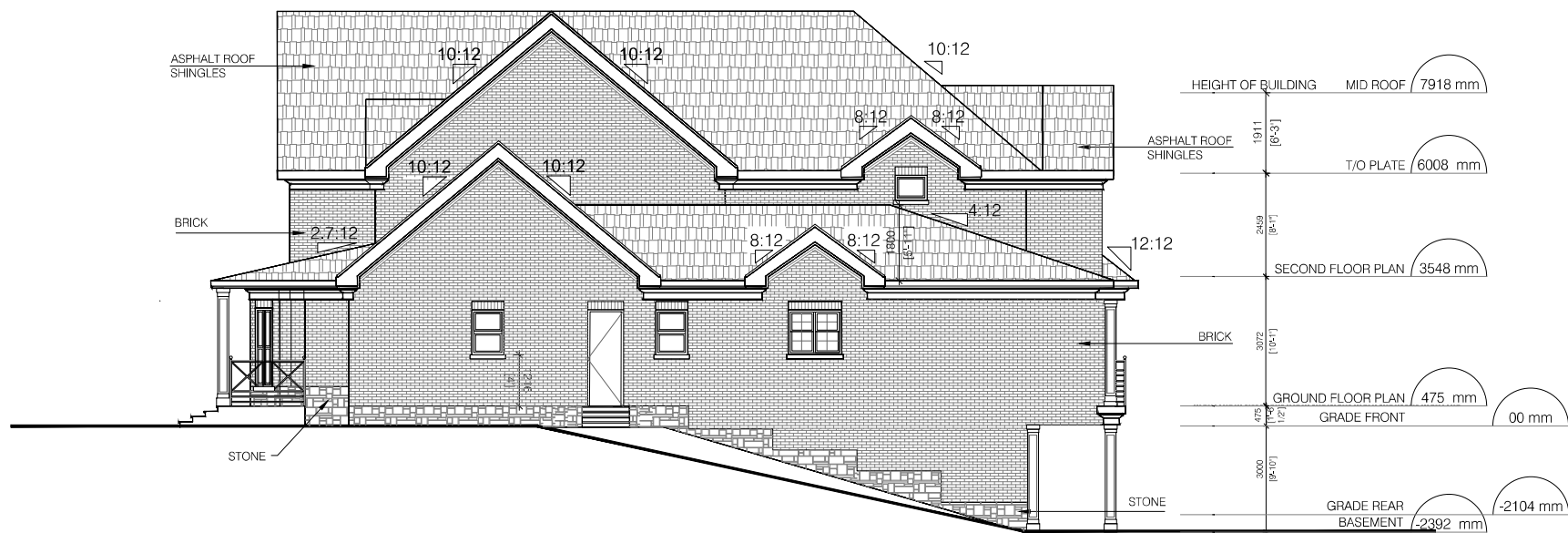
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FCA

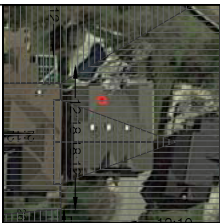
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DESIGN DRAWINGS 17 NAPIER ST	
DRAWING: ELEVATIONS	
PLOTED: N/A	
DATE: 23/11/2021	PROJECT NO: 2021-16
SCALE: AS NOTED	DRAWING NO: A3-1
DRAWN BY: B.S.H.	REVIEWED BY: F.C.



01 EAST ELEVATION
A3-2 SCALE: 1:75



KEY PLAN



1	ISSUED FOR	00/00/00
NO.	DESCRIPTION	DATE
	REVISIONS	

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL
SUBMITTALS

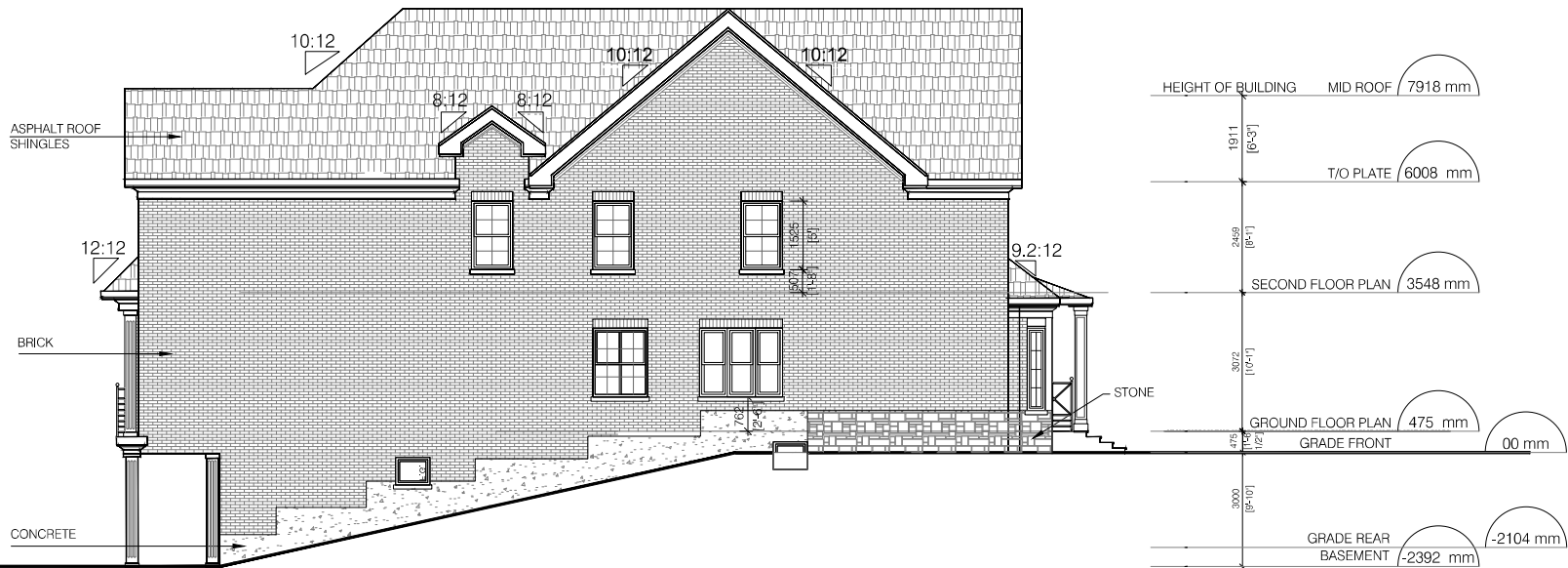
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DESIGN DRAWINGS
ON
17 NAPIER

DRAWING:	ELEVATIONS
PLOTTED:	N/A
DATE:	23/11/2021
SCALE:	AS NOTED
DRAWN BY:	BSH
REVIEWED BY:	F.C.
PROJECT NO:	202 1-16
DRAWING NO:	A 3-2



01 WEST ELEVATION
A3-3 SCALE: 1:75



KEY PLAN



1	ISSUED FOR	00/MM/YYYY
NO.	DESCRIPTION	DATE
REVISIONS		

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL
SUBMITTALS

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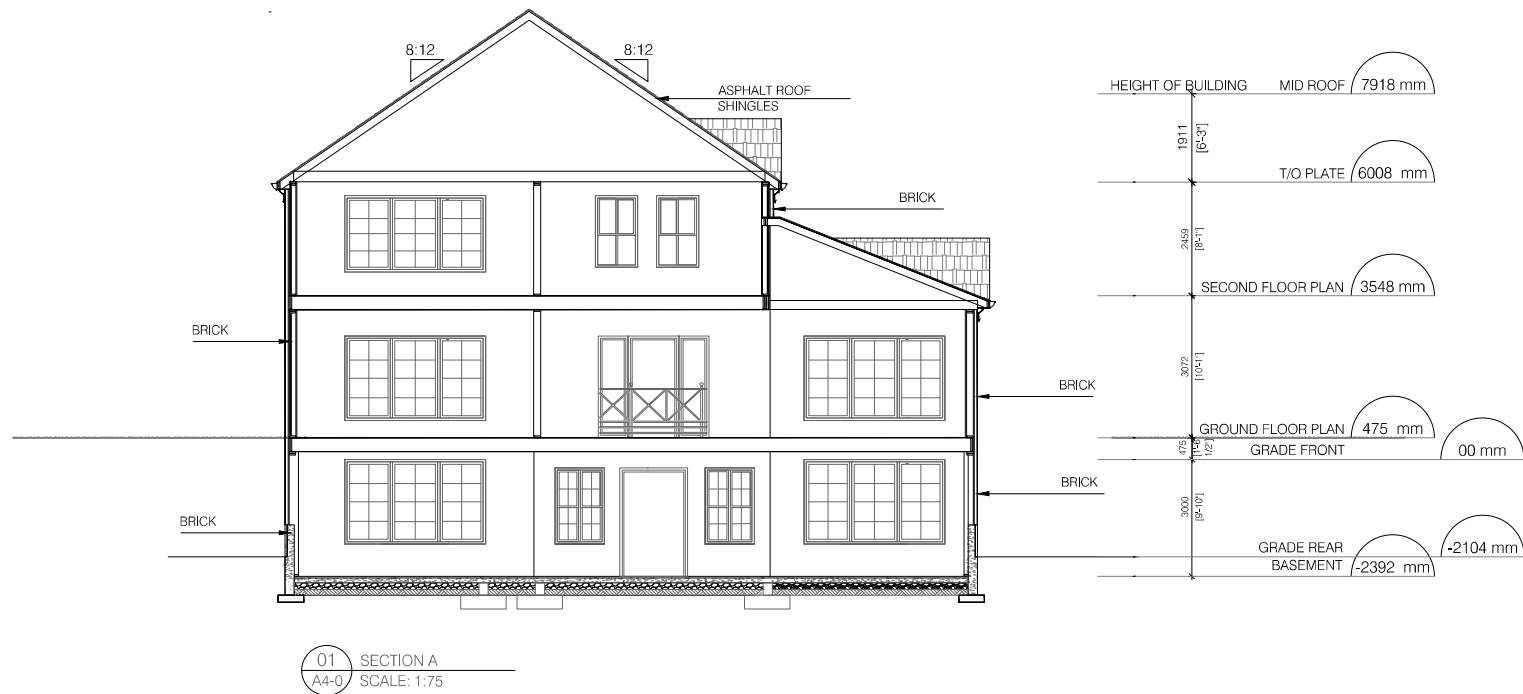
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FCORTESE@FARCHITECTS.CA

DESIGN DRAWINGS
ON
17 NAPIER ST

DRAWING: ELEVATIONS	
PLOTED: N/A	
DATE: 23/11/2021	PROJECT NO: 2021-16
SCALE: AS NOTED	DRAWING NO: A3-3
DRAWN BY: B.S.H.	REVIEWED BY: F.C.



KEY PLAN



1	ISSUED FOR	00/MM/YYYY
NO.	DESCRIPTION	DATE
REVISIONS		

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ISSUED FOR BID

ISSUED FOR BUILDING PERMIT

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DESIGN DRAWINGS

ON

17 NAPIER ST

DRAWING:	SECTION
PLOTTED:	N/A
DATE:	23/11/2021
PROJECT NO:	2021-16
SCALE:	AS NOTED
DRAWING NO:	A 4-0
DRAWN BY:	B.S.H.
REVIEWED BY:	F.C.

Mark Hall, OAA, MRAIC, RPP, MCIP, FAIA, AICP, CAHP

ACADEMIC + PROFESSIONAL TRAINING

Harvard University, Master of City Planning in Urban Design
US Navy Civil Engineer Corps Officer School, Certificate of Graduation
Construction and Design Management
Massachusetts Institute of Technology
Graduate Studies in Planning and Economics
Pratt Institute, Master Degree program studies in Planning and Economics
University of Michigan, Bachelor of Architecture

DESIGN AND CONSTRUCTION EXPERIENCE

Mariposa Land Development Company [1438224 Ontario Inc.]
Toronto / Orillia, President
Orchard Point Development Company [1657923 Ontario Inc.]
Orillia, Vice President

MW HALL CORPORATION, Toronto, Toronto, President
Teddington Limited, Toronto,
Development advisor, Planner, Architect
ARCHIPLAN, Los Angeles, Principal/President

DMJM, Los Angeles, Planner
Gruen Associates, Los Angeles, Planner
US NAVY, Civil Engineer Corps, Officer
Apel, Beckert & Becker, Architects, Frankfurt
Green & Savin, Architects, Detroit

CITY DEVELOPMENT / URBAN DESIGN / REAL ESTATE DEVELOPMENT

Mark Hall has directed a number of city development and urban design projects, including waterfront revitalization, commercial, multi-unit residential, industrial facilities and major mixed use projects in both public and private clients/employers. He has worked on staff for public agencies, including real estate development and property management services. He understands the dynamics of city development, the techniques required for successful implementation, and procedural, financial and political requirements. His experience and contributions range throughout Canada, the United States, Europe, Southeast Asia, the Middle East and the Arctic. As a result of his extensive experience in this area, he has been invited to participate in the Regional Urban Design Assistance Team [R/UDAT] programs of the American Institute of Architects, and a program of waterfront renewal in Toronto by the Ontario Professional Planners Institute. He is a Registered Professional Planner in Ontario, member of the Canadian Institute of Planners, and a founding member of the American Institute of Certified Planners. Recently, as president of Mariposa Land Development Company, he designed and built a 54 unit condominium apartment project designed to upgrade the waterfront of historic downtown Orillia, Ontario. The building has spurred a number of revitalization projects in Orillia.

HISTORIC PRESERVATION / ADAPTIVE REUSE

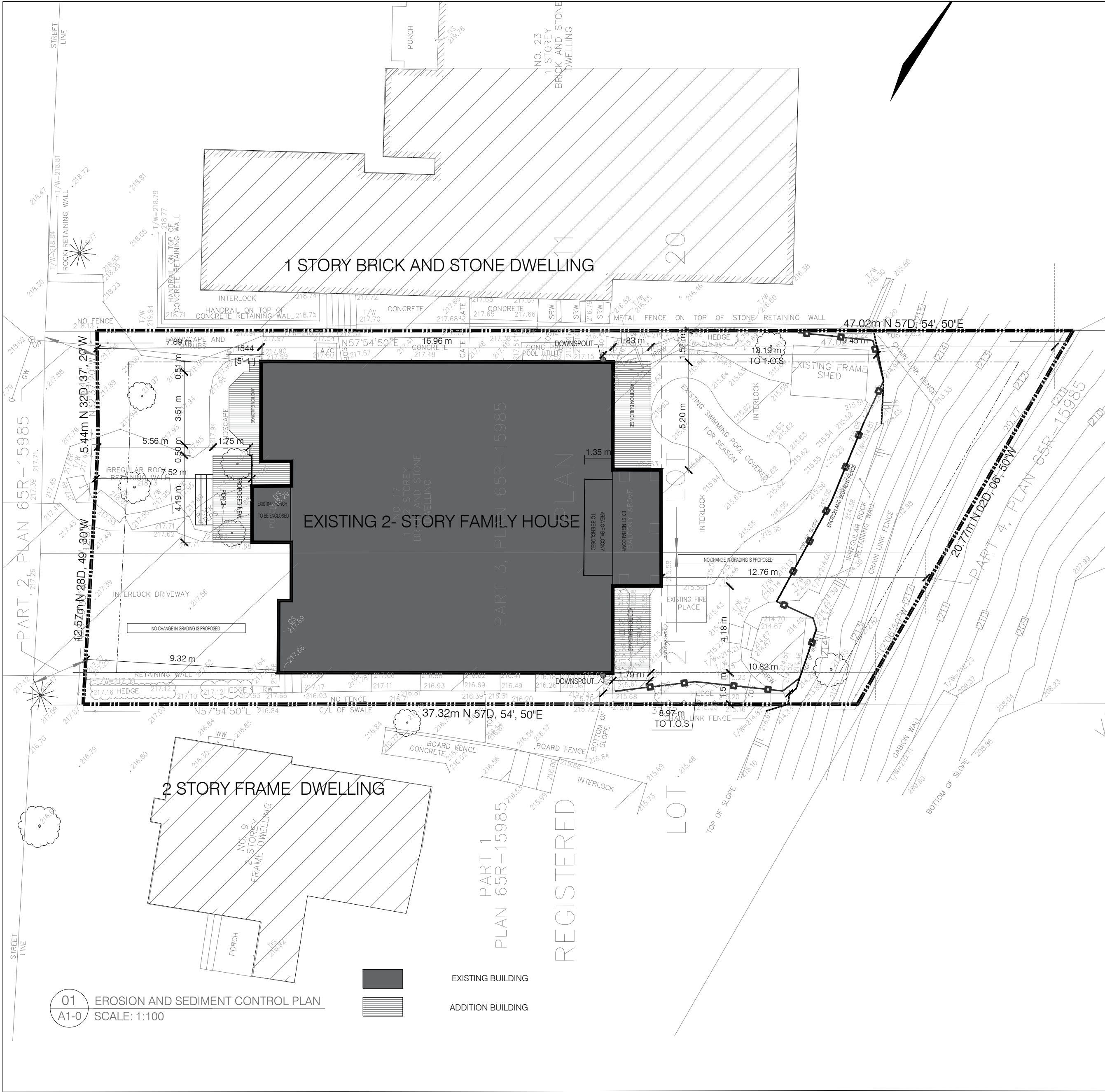
Mr. Hall has developed special interest and expertise in historic preservation and adaptive reuse of historic structures and city districts. He has served as president of the Los Angeles Conservancy, and designed projects combining historic preservation and appropriate adaptive reuse of the properties. He is a member of the Canadian Association of Heritage Professionals. Recently he served as preservation architect on renovations of the RC Harris Water Plan, a designated cultural heritage building in Toronto. He has served as architect for restoration and additions to a number of historic houses in the Annex, Beaches and other areas of central city Toronto, as well as Belleville, Orillia, Mississauga and Brampton, and in Los Angeles and Florida. He frequently works with property developers, municipalities and heritage property owners as consultant regarding historic properties of concern to municipalities in which they are working.

ARCHITECTURE

A licensed architect for over 40 years, Mr. Hall is licensed to practice in Canada and the US. He has been responsible for design and construction of a number of significant projects: mixed use structures, corporate headquarters and industrial facilities, military facilities, multi-unit residential, civic and commercial centres, and seniors housing. He understands the design, construction and real estate development process, as well as management of multi-disciplinary and client concerns for cost effective, efficient, award-winning structures. Many of the structures he has built are the result of implementing more comprehensive master planned developments. For his work in historic preservation, education and community service he was awarded Fellowship in the American Institute of Architects.

COMMUNITY & EDUCATION SERVICE

In addition to professional practice, Mr. Hall has made major commitments to teaching and community service. He taught urban design and city planning at USC, UCLA, Southern California Institute of Architecture [SCI ARC] and Boston Architectural Center. While at Harvard he worked with the Harvard Urban Field Service in Boston's Chinatown. As an officer in the US NAVY he was awarded a special Commendation Medal for development of a master plan for the NAVY's Arctic Research Laboratory and the adjacent Inupiat community of Barrow, Alaska. His work has been published in professional journals and has received various awards and honors. He served on the board of directors and later as president of the Southern California chapter of the American Institute of Architects. He was co-chair for the Ontario Professional Planners Institute [OPPI] of a multi-disciplinary design Charette to determine the future of the Metropolitan Toronto waterfront, and later on a committee of the Ontario Association of Architects looking into solutions to urban sprawl. He has served as president of the non-profit Housing Development Resource Centre [HRDC] and as president of Toronto Brigantine, a non-profit organization providing sail training aboard two tall ships in the Great Lakes.



SKETCH SHOWING TOPOGRAPHIC INFORMATION OF PARTS OF LOT 20 AND LOT 21 REGISTERED PLAN 11 CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK

5 0 5 10metres

SCALE = 1:150 m

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTE:

DS	DENOTES	DOOR SILL
GS	"	GARAGE SILL
T/W	"	TOP OF WALL
IRRW	"	IRREGULAR ROCK RETAINING WALL
SRW	"	STONE RETAINING WALL
MH	"	MANHOLE
CB	"	CATCH BASIN
TOS	"	TOP OF SLOPE
BOS	"	BOTTOM OF SLOPE
GW	"	GUY WIRE
UP	"	UTILITY POLE
-OH-	"	OVERHEAD CABLES
100.00	"	EXISTING ELEVATION
	"	DECIDUOUS TREE
	"	CONIFEROUS TREE

GEODETIC:
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM THE CITY OF VAUGHAN BENCHMARK NO. 54-5 ELEVATION =219.114 METRES.

NOTE:
This is NOT a Plan of Survey and shall not be used except for the purpose indicated in the title block.

This Sketch is protected by Copyright ©

THIS SKETCH IS NOT TO BE USED FOR MORTGAGE OR TRANSACTION PURPOSES.

BOUNDARY INFORMATION SHOWN HEREON IS DERIVED FROM OFFICE RECORDS AND IS SUBJECT TO A LEGAL SEARCH AND FINAL SURVEY.

SITE DEVELOPMENT			
	BY-LAW 1-88	PROPOSEDE NEW BY-LAW	PROVIDED
ZONING	R1	R1B (EN)	
TOTAL LOT AREA	700 m2	600 m2	756.44 m2
LOT COVERAGE	30.00%	40.00%	38.61%(292.11 m2)
LOT FRONTAGE	18 m	18 m	18.1 m
REAR YARD	7.50 m	12.0 m	10.82 m
FRONT YARD	7.50 m	5.52 m (THE LEAST OF EXISTING FRONT YARD LESS 2.00 m, 7.52m-2.0m=5.52, OR 9.00 m, NOT LESS THAN 4.5 m)	5.56 m
INTERIOR SIDE YARD	1.50 m	1.50 m	1.51 m, 1.52 m
MAX HEIGHT	9.50 m	9.5 m (THE LEAST OF EXISTING HEIGHT +3.0m ,6.5 +3.0m=9.5m, OR 11.1 m, NOT LESS THAN 8.5 m)	PROPOSED HEIGHT 7.92 m
REAR YARD AREA			263.78m2
FRONT YARD AREA			104.12 m2
LANDSCAPE AREA -LOT		10%(10%x 756.44=75.64 m2)	320.00 m2
LANDSCAPE FRONT YARD		40%(40%x104.12=41.64 m2)	65.40m2

ATTACHMENT 3 - 17 NAPIER - SITE PLAN

KEY PLAN

1	ISSUED FOR	DD/MM/YYYY
No.	DESCRIPTION	DATE
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416-806-7000
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DRAWING: DESIGN DRAWINGS PROPOSED ON 17 NAPIER ST

DRAWING: SITE PLAN

PLOTTED: N/A

DATE: 23/11/2021

PROJECT No: 2021-16

SCALE: AS NOTED

DRAWING No: A 1-0

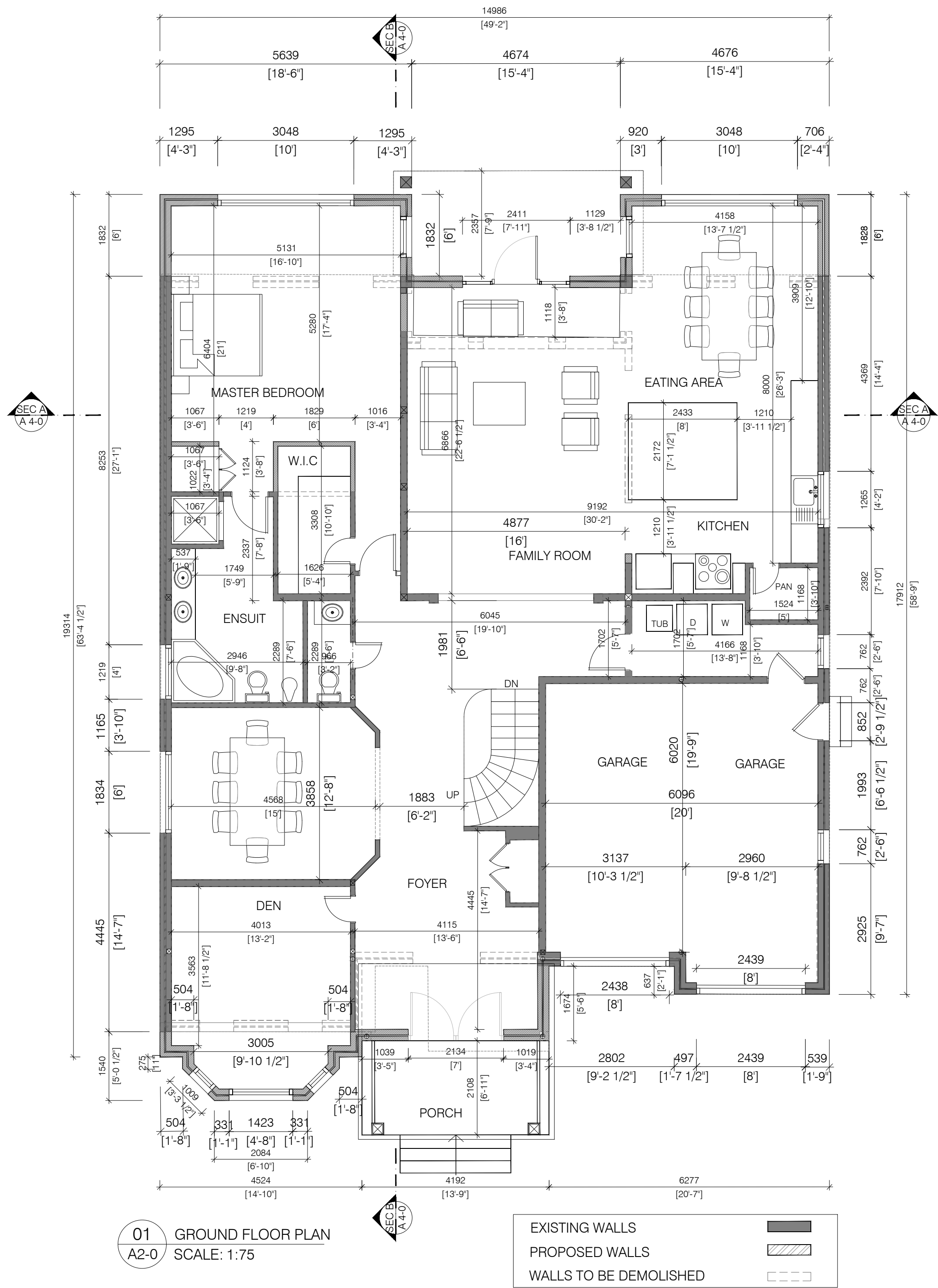
DRAWN BY: B.SH

REVIEWED BY: F.C.

FILE NAME: 17 NAPIER - ARCHITECTURAL.DWG

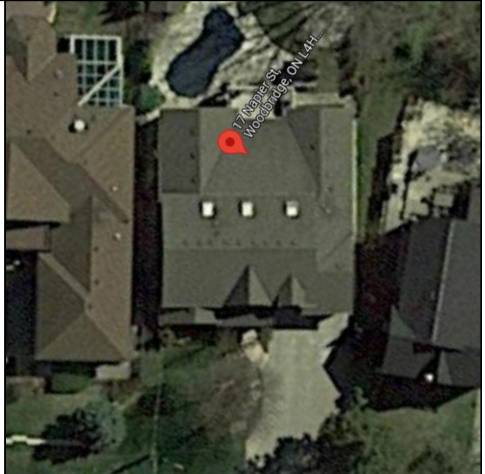
PLOT SCALE: 1 =

ATTACHMENT 4 - 17 NAPIER- FLOOR
PLANS AND ELEVATIONS

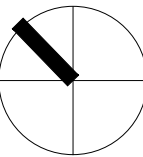


01 GROUND FLOOR PLAN
A2-0 SCALE: 1:75

EXISTING WALLS	
PROPOSED WALLS	
WALLS TO BE DEMOLISHED	



KEY PLAN



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REVISIONS		

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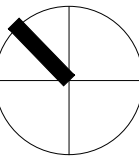
DRAWING: DESIGN DRAWINGS
PROPOSED
ON
17 NAPIER ST

DRAWING: FLOOR PLAN

PLOTTED: N/A	PROJECT No: 2021-16
DATE: 23/11/2021	DRAWING No: A2-0
SCALE: AS NOTED	
DRAWN BY: B.SH	REVIEWED BY: F.C.



KEY PLAN



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REVISIONS		
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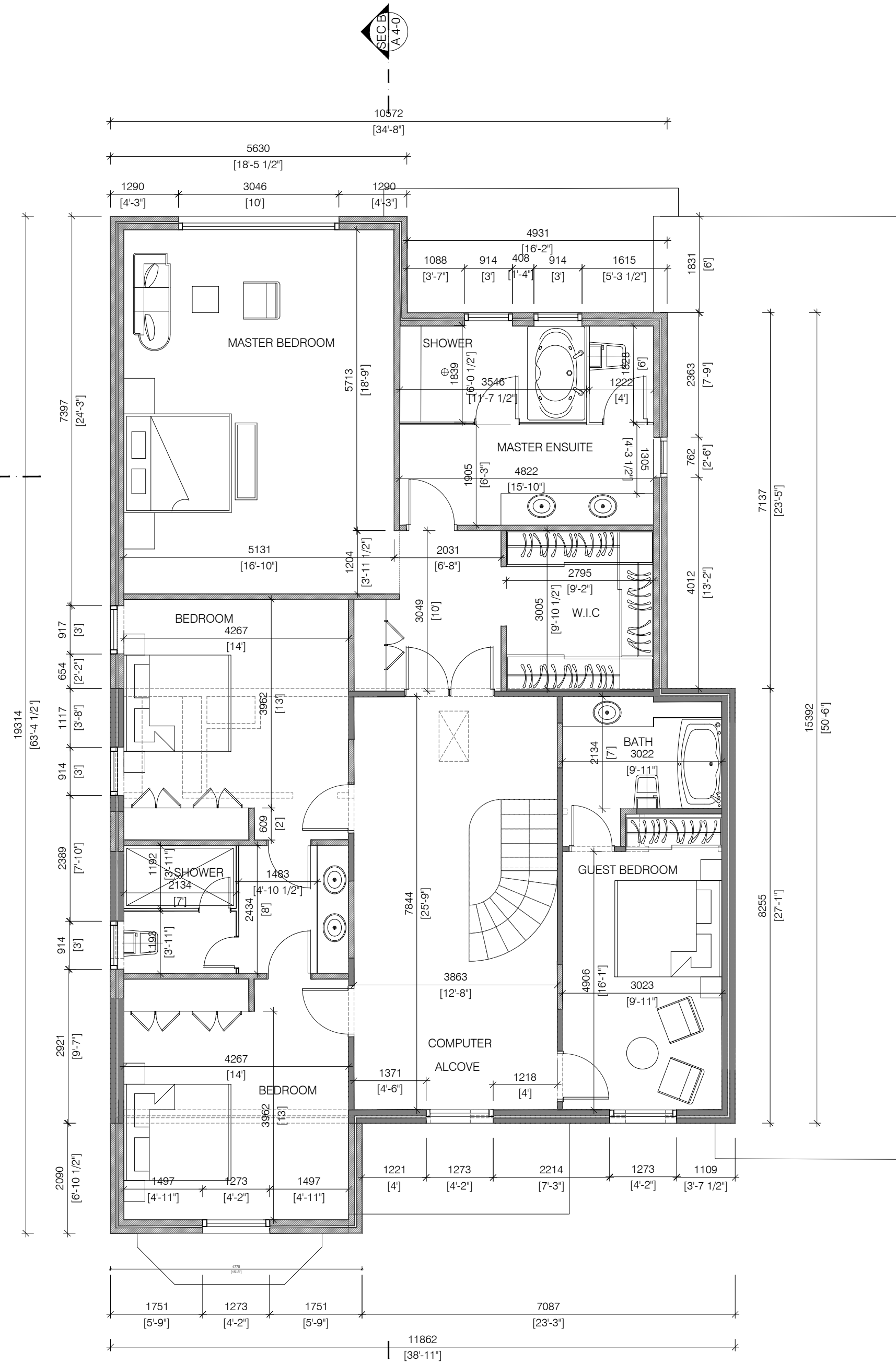
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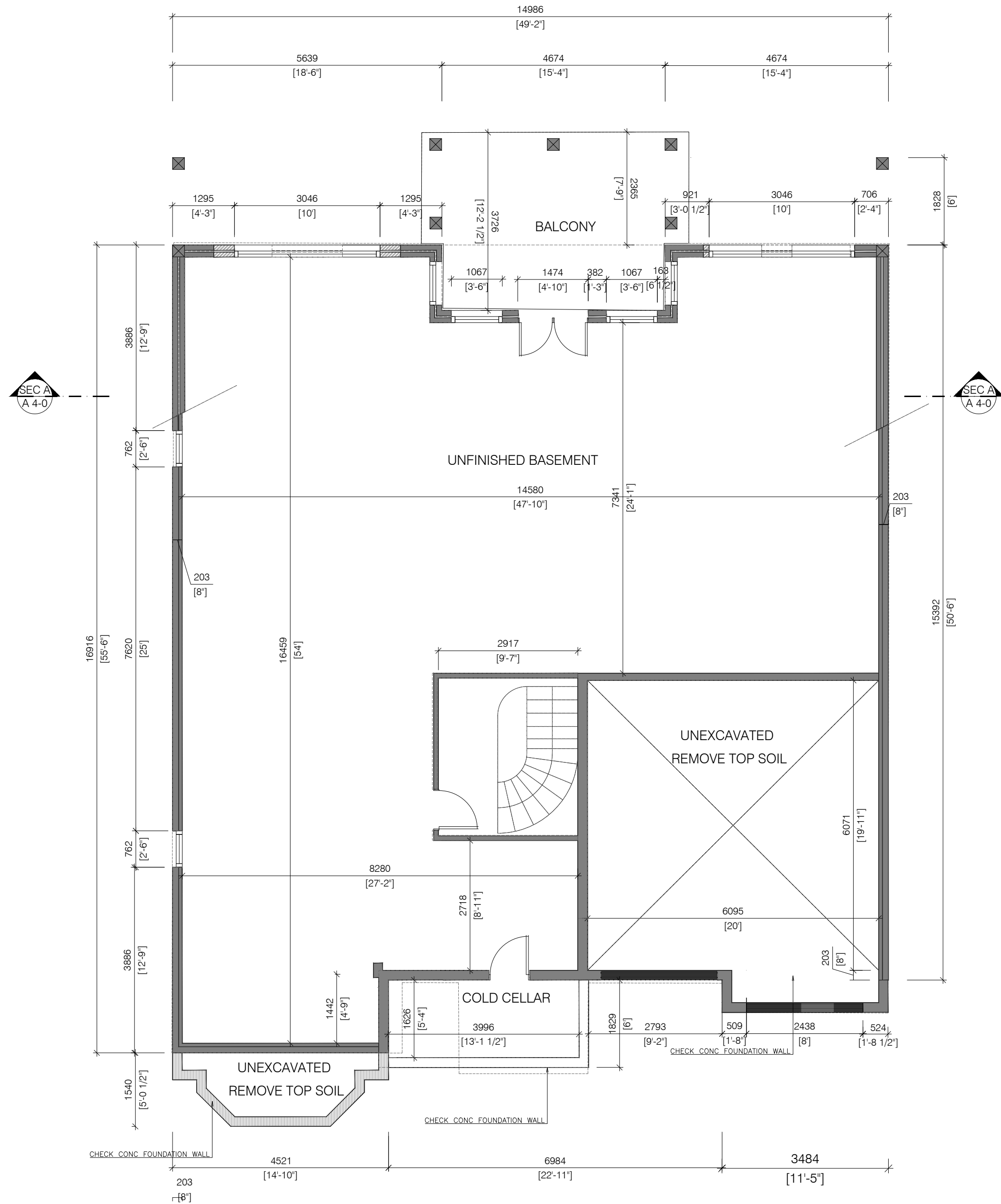
DRAWING: FLOOR PLAN

PLOTTED: N/A	PROJECT No: 2021-16
DATE: 23/11/2021	DRAWING No: A 2-1
SCALE: AS NOTED	
DRAWN BY: B.SH	REVIEWED BY: F.C.



02 SECOND FLOOR PLAN
A2-1 SCALE: 1:75

- EXISTING WALLS
- PROPOSED WALLS
- WALLS TO BE DEMOLISHED

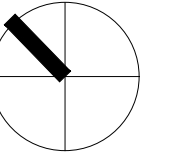


01 BASEMENT PLAN
A2-2 SCALE: 1:75

EXISTING WALLS	
PROPOSED WALLS	
WALLS TO BE DEMOLISHED	



KEY PLAN



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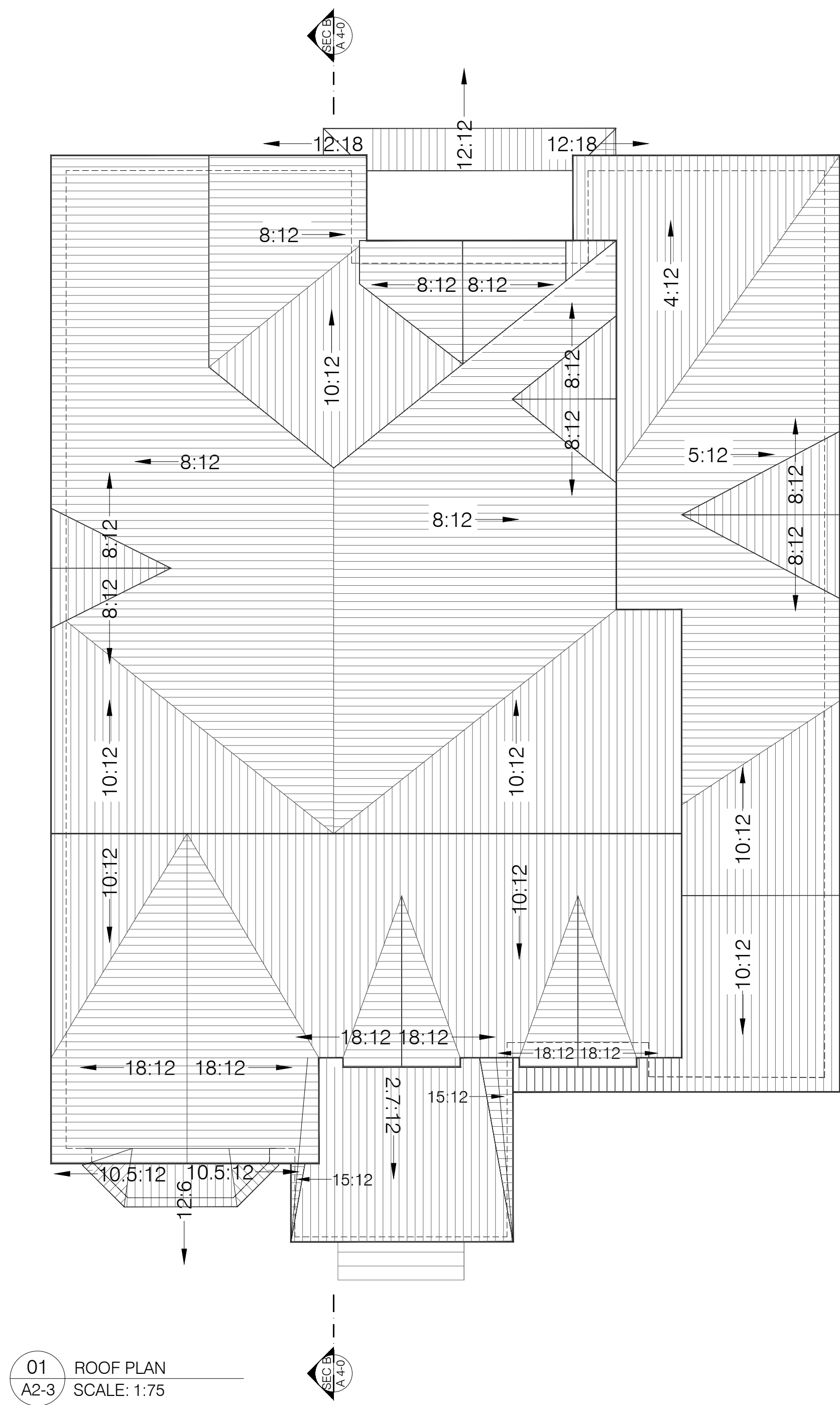
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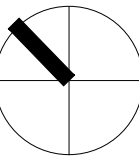
DRAWING: FLOOR PLAN	
PLOTTED: N/A	PROJECT No: 2021-16
DATE: 23/11/2021	DRAWING No: A2-2
SCALE: AS NOTED	
DRAWN BY: B.S.H.	REVIEWED BY: F.C.



01 ROOF PLAN
A2-3 SCALE: 1:75



KEY PLAN



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REVISIONS		

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ISSUED FOR BUILDING PERMIT		
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SUBMITTALS		

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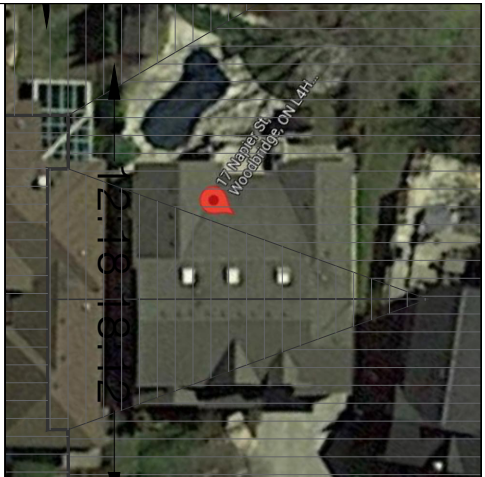


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ARCHITECTS

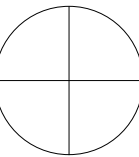
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416-806-7000
FCORTESE@FCARCHITECTS.CA

DRAWING:
**DESIGN DRAWINGS
PROPOSED
ON
17 NAPIER ST**

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PLOTTED: N/A	
DATE: 23/11/2021	PROJECT No: 2021-16
SCALE: AS NOTED	DRAWING No: A 2-3
DRAWN BY: B.SH	REVIEWED BY: F.C.



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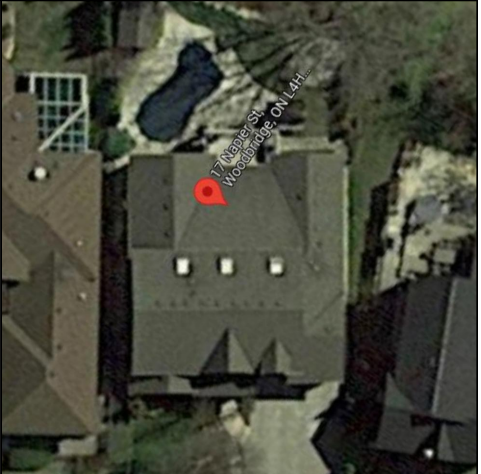
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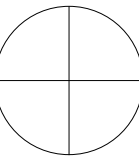
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DRAWN BY: B.S.H.	REVIEWED BY: F.C.



01 REAR ELEVATION
A3-1 SCALE: 1:75



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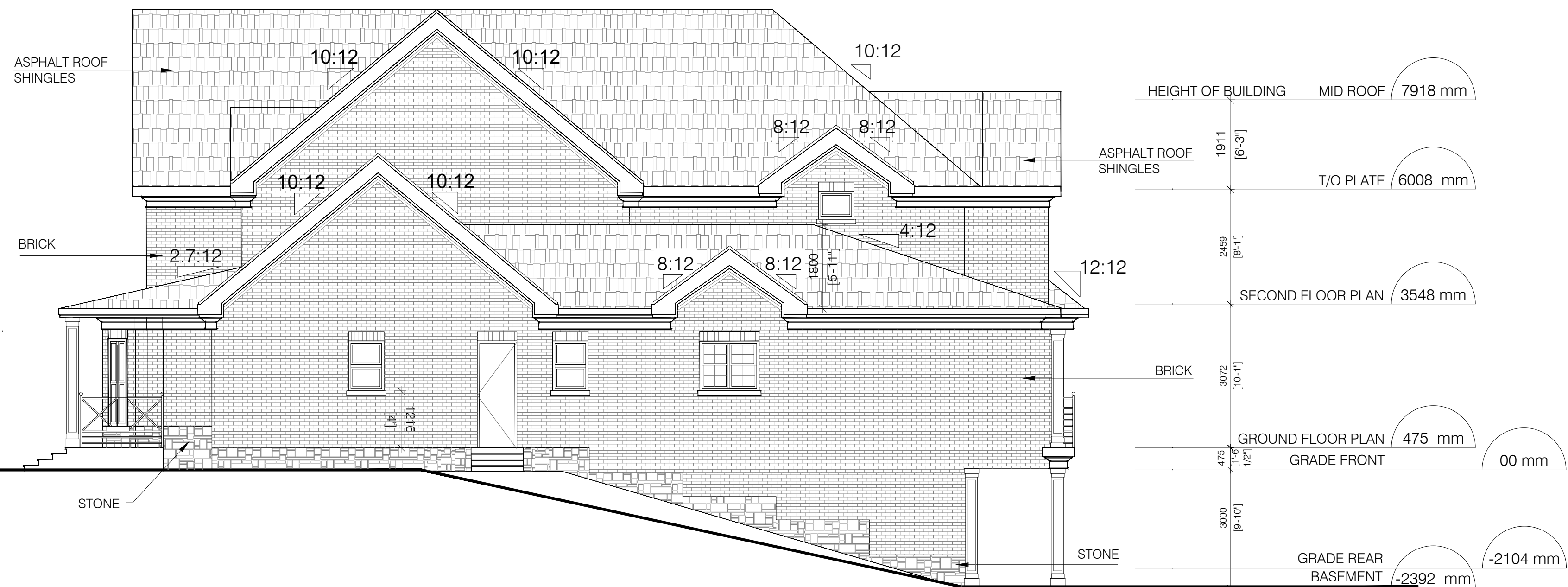
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DATE: 23/11/2021	PROJECT No: 2021-16
SCALE: AS NOTED	DRAWING No: A 3- 1
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01 EAST ELEVATION
A3-2 SCALE: 1:75

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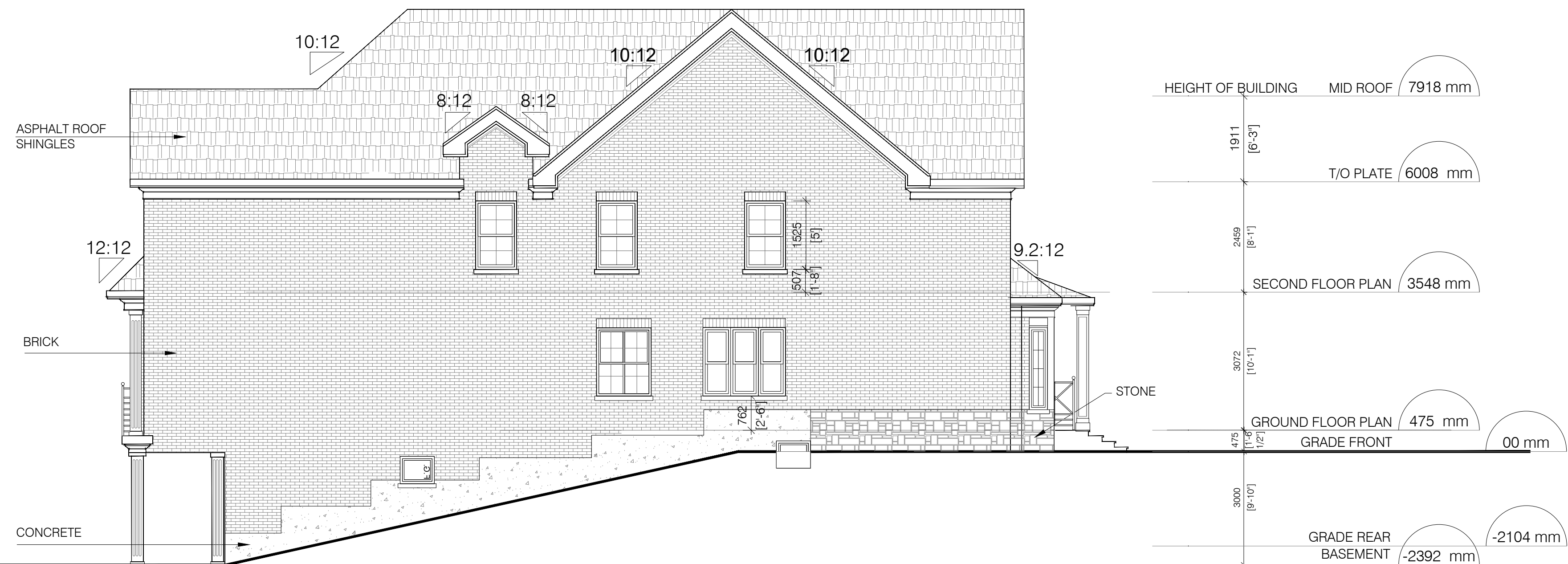
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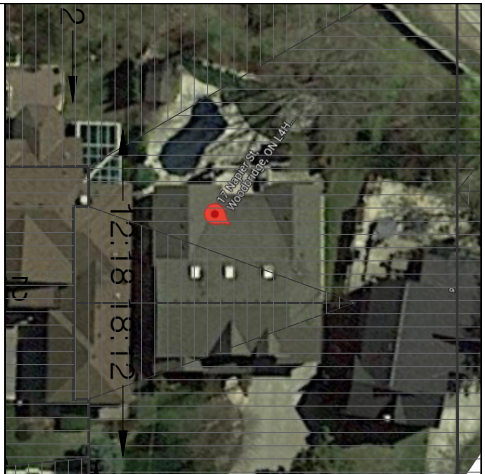
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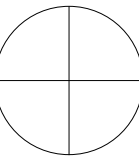
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DRAWN BY:	REVIEWED BY:	A 3- 2
B.S.H	F.C.	



01 WEST ELEVATION
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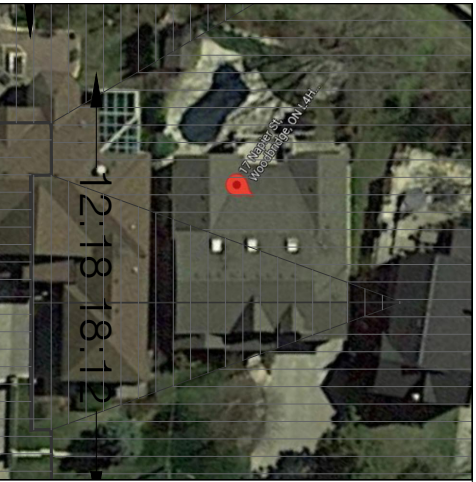
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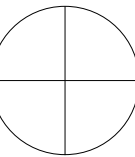
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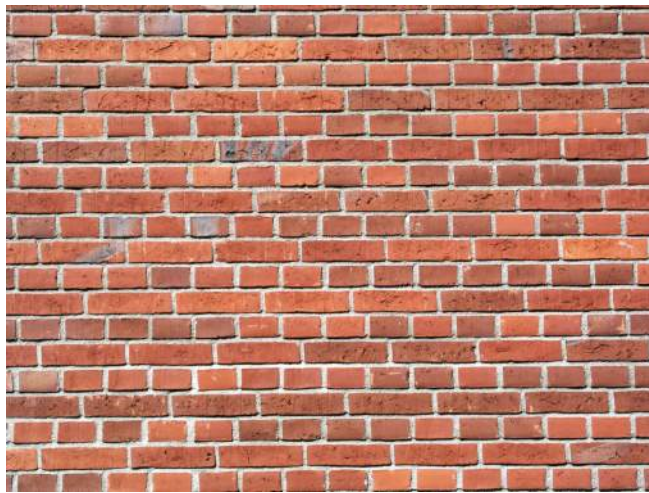
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PLOTTED:	N/A
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PROJECT No:	2021-16
SCALE:	AS NOTED
DRAWN BY:	REVIEWED BY:
B.SH	F.C.
	A 4-0

ATTACHMENT 5 - 17 NAPIER - 3D RENDERING





BRICK VENEER

NEW BRICK TO MATCH
EXISTING BRICK COLOUR



ASPHALT SHINGLES

CHARCOAL GREY ASPHALT
SHINGLES



STONE

BEIGE STONE

ATTACHMENT 6 - 17 NAPIER - MATERIALS SAMPLE BOARD



DOUBLE HUNG WINDOWS

WHITE ALUMINUM FRAME



SOFFIT/ FASCIA

WHITE WOOD FASCIA AND WHITE VINYL
SOFFIT



EXTERIOR FINISH MATERIAL SAMPLE
17 NAPIER ST, VAUGHAN

Heritage Vaughan Committee Report

DATE: Wednesday, May 18, 2022

WARD(S): 1

TITLE: PROPOSED RESTORATION AND NEW ADDITION TO EXISTING BUILDING AT 51 NAPIER STREET IN THE KLEINBURG-NASHVILLE HERITAGE CONSERVATION DISTRICT

FROM:

Haiqing Xu, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To seek a recommendation from the Heritage Vaughan Committee for the proposed demolition of the existing detached garage and restoration consisting of raising of the upper floor ceiling height (and new roof) and the construction of a new attached garage to the existing contributing house located at 51 Napier Street in the Kleinburg-Nashville Heritage Conservation District (as shown on Attachment 1) and is designated under Part V of the *Ontario Heritage Act*.

Report Highlights

- The proposal consists of a complete interior renovation, a raising of the ceiling clearance on the upper floor, and addition of an attached garage
- The existing building is considered 'contributing'
- The proposed construction is in keeping with the Objectives, Policies and Guidelines of the Kleinburg-Nashville Heritage Conservation District Plan

Recommendations

THAT Heritage Vaughan recommend the approval of the proposed development as presented, subject to following conditions:

- a) further minor refinements to building design including material specifications shall be approved to the satisfaction of the Vaughan Development Planning Department, Urban Design and Cultural Heritage Division;

- b) any significant changes to the proposal may require reconsideration by Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning;
- c) that Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits or requirements currently under review or to be submitted in the future by the applicant as it relates to the subject application.

Background

The subject property at 51 Napier Street has a 19th century Victorian style residence with an adjacent 20th century detached garage. The proposal calls for the demolition of the existing garage at the rear of the property, and the restoration of the existing building including a raising of the clear height of the upper floor (and constructing an identical roof to existing), and the construction of a new attached garage. Design for the additions is planned to have similar roof pitches compatible with the Victorian style heritage house.

Previous Reports/Authority

Not applicable.

Analysis and Options

All new development must conform to the policies, objectives and supporting guidelines within the Kleinburg-Nashville Heritage Conservation District Plan.

The following is an analysis of the proposed interior renovations and rear 2-storey addition to the existing building located at 17 Napier Street according to the Kleinburg-Nashville Heritage Conservation District Plan ('KNHCD') guidelines.

9.2 ARCHITECTURAL STYLES

Architectural style is a term used to refer to the identifying characteristics of construction as it has evolved under the force of changing technology and fashion. Before the industrial age, even minor details were custom-made for each building, and it would be hard to find even two identical front door designs from the early 19th century. Nonetheless, each period produced buildings that shared a design vocabulary, including elements of massing, composition, proportions, window and door details, and decorative elements. This section shows the principal styles that have appeared in the Kleinburg-Nashville community, both heritage styles and more recent ones. This section is necessarily brief and does not replace the real research needed for work in the District, as described in Section 9.3.2 and 9.5.1.

Additions and alterations to an existing heritage building should be consistent with the style of the original building. New developments should be designed in a style that is consistent with the vernacular heritage of the community. All construction should be of a

particular style, rather than a hybrid one. Recent developments have tended to use hybrid designs, with inauthentic details and proportions; for larger homes, the French manor or château style (not indigenous to Ontario) has been heavily borrowed from. These kinds of designs are not appropriate for the District.

The proposed front and rear additions are respecting the existing architectural style of the building and add elements that are part of the language of this architectural style. The proposed finished building will look significantly more developed than the existing.

9.3.5 REPAIR AND RESTORATION

Repair and restoration should be based on proper heritage research, and be undertaken using proper heritage materials and methods.

The elements undergoing restoration and renovation are primarily on the interior, with some elements of the existing building's façade and trim to be upgraded.

9.3.6 RENOVATIONS

When a renovation on a heritage building is undertaken, it should be part of the renovation to remove later work that conceals the original design or is unsympathetic to it. Research should be undertaken, and the design of new work should restore the principal architectural features of the original building.

Guidelines:

- ☐ *Incorporate restoration of original work in exterior renovation projects.*
- ☐ *Use authentic original materials and methods. For example, when replacing aluminum siding, use wood siding or board and batten.*
- ☐ *Replace missing or broken elements, such as gingerbread, spindles, or door and window trims.*
- ☐ *Remove items, such as metal fascia and soffits that conceal original architectural detail.*

The proposed interior renovations modify the plan layout to one that is more functional than the current one. The proposed raised height of the upper floor is in keeping with the proportions of the existing building, and the exterior additions maintain the architectural style language through materials, form, mass, and scale, and do not conceal or undermine any of the existing details of the building.

9.4.1.2 CONTEMPORARY ALTERATION

In some cases, a modern building may be altered in a way that respects and complements its original design. As in every era, modern buildings vary in architectural quality, and some modern homes in the district are quite outstanding. Interest in preservation of the modern architectural heritage is growing, and good modern design deserves the same respect as good design of the 19th century.

Guidelines:

- ❑ *Additions and alterations using the Contemporary Alteration approach should respect, and be consistent with, the original design of the building.*
- ❑ *Many modern buildings are old enough to have already undergone renovations, which may not be in character with either the original design, or historic precedent. In such cases, the design of further new work should restore the architectural consistency of the whole.*
- ❑ *In some cases, modern buildings predominantly feature materials that are out of keeping with the local vernacular heritage, such as tile or artificial stone veneer, and tile or simulated tile roofing. Replacement of these materials with more sympathetic ones, when renovations are being undertaken, is encouraged.*

The proposed exterior alterations to the existing building are in-keeping with the guidelines of the KNHCD Plan and are well suited for the immediate neighbourhood as well as the District at large. The elements are complementary to the existing architecture, thus making them consistent with the original design.

9.5.1 NEW DEVELOPMENT OVERVIEW

The overall heritage character of the District is composed of buildings, streetscapes, landscapes, and vistas. This overall character has more significance than any individual building, even if it is one of the finest. Within the design of any individual building, architectural elements contribute to the character of the public realm of the street. Massing, materials, scale, proportions, rhythm, composition, texture, and siting all contribute to the perception of whether or not a building fits its context. Different settings within the district have different characters of siting, landscaping and streetscaping.

New development within the District should conform to qualities established by neighbouring heritage buildings, and the overall character of the setting. Designs should reflect a suitable local heritage precedent style. Research should be conducted so that the style chosen is executed properly, with suitable proportions, decoration, and detail. The following guidelines, describing the dominant elements that contribute to the heritage character of the District, are divided according to the principal settings found in the District.

The proposed demolition of the detached garage, and replacement with the proposed attached garage designed in the same architectural language as the building's existing style and form is an architectural improvement of the heritage quality of the subject property. The proposed new design is in keeping with the vision and intent of the KNHCD Plan.

9.10.1 HERITAGE BUILDINGS APPROPRIATE MATERIALS:

Exterior Finish:

- ☐ Smooth red clay face brick, with smooth buff clay face brick as accent
- ☐ Wood clapboard, 4" to the weather.
- ☐ Smooth, painted, wood board and batten siding.

Exterior Detail: Cut stone or reconstituted stone for trim in brick buildings. Wood shingles, stucco, or terra-cotta wall tiles in gable ends. Painted wood porches, railings, decorative trim, shutters, fascias and soffits. Painted wood gingerbread bargeboards and trim, where appropriate to the design.

Roofs: Hipped or gable roof as appropriate to the architectural style. Cedar, slate, simulated slate, or asphalt shingles of an appropriate colour. Standing seam metal roofing, if appropriate to the style.

Doors: Wood frames; double hung; lights as appropriate to the architectural style. Real glazing bars, or high-quality simulated glazing bars. Vertical proportion, ranging from 3:5 to 3:7.

Flashings: Visible step flashings should be painted the colour of the wall.

The proposed front and rear additions are respectful of the existing materials and are constructed to be sympathetic and complementary to the existing building. They are in keeping with the KNHCD Plan guidelines.

Financial Impact

There are no Financial Impacts associated with this report.

Broader Regional Impacts/Considerations

There are no Regional impacts or considerations for this application.

Conclusion

The Development Planning Department is satisfied the proposed restoration of the existing building and construction of the attached garage conform to the policies and guidelines within the KNHCD Plan. Accordingly, staff can support Council approval of the proposed development located at 51 Napier Street under the *Ontario Heritage Act*.

For more information, please contact: Nick Borcescu, Senior Heritage Planner, ext. 8191

Attachments

- Attachment 1 – 51Napier – Location Map
- Attachment 2 – 51Napier – CHIA
- Attachment 3 – 51Napier – Site Plan
- Attachment 4 – 51Napier – Floor Plans & Elevations
- Attachment 5 – 51Napier – 3D rendering
- Attachment 6 – 51Napier – Materials and Finishes

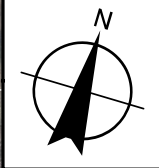
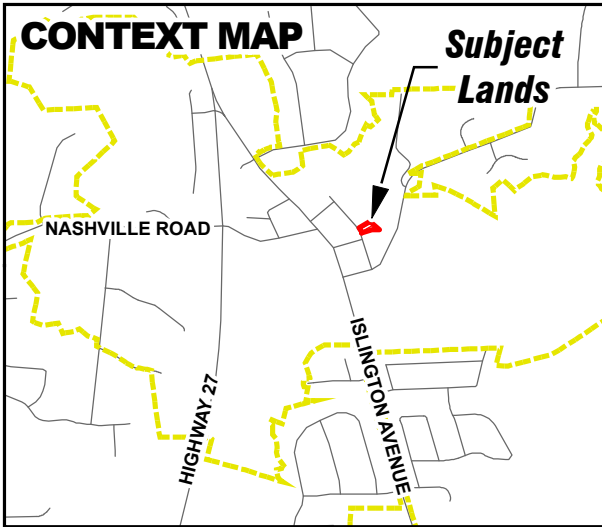
Prepared by

Nick Borcescu, Senior Heritage Planner, ext. 8191

Shahrazad Davoudi-Strike, Manager Urban Design and Cultural Services, ext. 8653

CONTEXT MAP

**Subject
Lands**



51 Napier Street



Location Map

LOCATION:
51 Napier Street
Part of Lot 24, Concession 8



Attachment

1

DATE:
April 14, 2022



CULTURAL HERITAGE IMPACT ASSESSMENT

**51 NAPIER STREET
KLEINBURG, ONTARIO, CANADA**

APRIL 7, 2022



CANADA: 21 SCOLLARD ST., #103, TORONTO, ON M5R 1G1 416 920 8105

U.S: 1400 NW IRVING STREET, #114, PORTLAND, OREGON 97209-2244 503 208 3546

MARK@MWHALLCORP.COM WWW.MWHALLCORP.COM

CULTURAL HERITAGE IMPACT ASSESSMENT

51 Napier Street
Kleinburg-Nashville Heritage Conservation District, Vaughan, Ontario, Canada
7 April 2022
Prepared by: MW HALL CORPORATION

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3.0	CULTURAL HERITAGE IMPACT ASSESSMENT
3.1	History of the Property and Evolution to Date
3.2	Context and Setting of the Subject Property
3.3	Architectural Evaluation of the Subject Property
3.4	Redevelopment Proposal for the Subject Property and Potential Impacts on Identified Cultural Heritage Resources
3.5	Examination of Preservation / Mitigation Options for Cultural Heritage Resources
3.6	Avoidance Mitigation
3.7	Salvage Mitigation
3.8	Historical Commemoration
3.9	Impact of Development and Mitigation Measures Summary
4.0	RECOMMENDATIONS
	REFERENCES
	APPENDICES

CULTURAL HERITAGE IMPACT ASSESSMENT

51 Napier Street
Kleinburg-Nashville Heritage Conservation District, Vaughan, Ontario, Canada
7 April 2022
Prepared by: MW HALL CORPORATION

1.0 EXECUTIVE SUMMARY

The property at 51 Napier Street was originally platted in the 19th century. The present property holds a Victorian era single family residence and 20th century garage with additional living space. The property has been included as part of a Province of Ontario Part V designated heritage district with a plan that provides criteria established for changes to development within the heritage district. The proposal is to create a 20th century two car tandem parking garage addition with revised and added living space, with Victorian architectural character to address compatibility with the heritage district. Preliminary design of planned changes for the property have been reviewed by MW HALL CORPORATION, a registered architect, planner and heritage consultant, relative to conformance with the City of Vaughan Guidelines for Cultural Heritage Impact Assessments, particularly for conformance with the Kleinburg-Nashville Heritage District Plan and Guidelines. Upon completion of our review we are of the opinion that planned changes to the property at 51 Napier Street conform with Nashville-Kleinburg Heritage District Plan and Guidelines and recommend approval.

2.0 INTRODUCTION TO THE PROPERTY

This Cultural Heritage Impact Assessment (CHIA) follows the City of Vaughan Guidelines for Cultural Heritage Impact.

The Village of Kleinburg-Nashville is consolidated as part of the City of Vaughan. The property at 51 Napier Street is located east of and outside the historic centre of Kleinburg. The property is within the designated heritage district within Vaughan under Part V of the Ontario Heritage Act. The property at 51 Napier Street is east of Islington Avenue, on the east side of Napier Street. Napier Street has predominantly two storey newer residences, with some 1½ storey heritage houses (see photos in Appendix A4). 51 Napier Street is a 19th century Victorian style residence with an adjacent 20th century detached garage. Design for the additions are planned to have similar roof pitches and compatible with the Victorian style heritage house. The existing heritage house is to remain on the lot. A new driveway, similar to the existing driveway from Napier Street is planned. We have reviewed the design for the planned residence vis-à-vis Guidelines for planned new structures within the designated heritage district.

CULTURAL HERITAGE IMPACT ASSESSMENT

51 Napier Street
Kleinburg-Nashville Heritage Conservation District, Vaughan, Ontario, Canada
7 April 2022
Prepared by: MW HALL CORPORATION

The owner of the property commissioned MW HALL CORPORATION, Heritage Conservation Consultants to prepare a Cultural Heritage Impact Assessment (CHIA) of the property to review the planned redevelopment relative to requirements of the Heritage District Plan.

Present owner information:

Mario Barone

51 Napier Street, Woodbridge, ON, L0J 1C0

mario@mondialautocollision.ca

(647) 388-9542

3.0 CULTURAL HERITAGE IMPACT ASSESSMENT

3.1 History of the Property and Evolution to Date

According to the Kleinburg-Nashville Conservation District Study (Reference A) the Humber River Valley terrain had a major influence over the roads and land development patterns that varied from the more typical gridiron patterns of other land development in Ontario by the British. The village remained small with surrounding lands occupied by farms. Early lots, including 51 Napier, were surveyed and established as lots for residential use but remained undeveloped until the present 21st century. The past half-century has seen the conversion of much of the lands in this area to suburban subdivision single family housing development.

This property was transferred from the Crown, as part of a 200-acre lot, to Andrew Mitchell in 1847. A survey of this lot in 1848 of this property as one of a series of subdivided lots at the northern end of a 'Street' heading north from the Road labelled "to Stegman's Mill", overlooking the East Humber River leading to the Mill Pond for Stegman's Saw Mill Pond further north. Subdivision of the lands is noted on the survey as 'Plan of the Village Plot Mount Vernon, Vaughan'. In 1856 Andrew Mitchell died and the property transferred to William Sharpe, and in 1860 to James Barbor. The lot changed ownership a few times for nominal amounts for the next 1½ centuries. Recent growth throughout southern Ontario has been experienced throughout the City of

CULTURAL HERITAGE IMPACT ASSESSMENT

51 Napier Street
Kleinburg-Nashville Heritage Conservation District, Vaughan, Ontario, Canada
7 April 2022
Prepared by: MW HALL CORPORATION

Vaughan. The property at 51 Napier was recently sold to the present owner as a family residence for purposes of redevelopment.

3.2 Context and Setting of the Subject Property

There are other heritage buildings in the vicinity of 51 Napier Street. The majority of the houses on Napier are not individually Designated or Listed structures. The core area of the designated heritage district, essentially a commercial centre is located along Islington Avenue. Within the vicinity of 51 Napier Street there are three 1½ storey Victorian era residences with more recent additions on Napier Street. All other residences on the street are a mixture of more contemporary eras and styles. There are only residential structures on Napier Street.

Section 9.2.1 of The Kleinberg-Nashville Heritage Conservation District Study and Plan identifies various architectural styles that would be in keeping with the Conservation Study. Existing residences on the street are a mixture of 19th and 20th century styles.

3.3 Architectural Evaluation of the Subject Property

The existing 19th century Victorian style house on the property is planned to be retained. It is in excellent condition and is well maintained with the Victorian style elements. A 20th century addition of garages to the north of the heritage house was constructed in faux Victorian style.

3.4 Redevelopment Proposal for the Subject Land and Potential Impacts on Identified Heritage Resources

Planned redevelopment of the 51 Napier Street property is to provide additions to the two-storey residence with two ground level garage parking entered from the driveway facing Napier Street. To address the issue of fit within the architectural guidelines for the district, the planned house has a steeply pitched roof, small paned windows, a symmetrically placed main/front entry and some Victorian detailing. Side façades of the house are generally consistent with the front façade of the residential building and have little or no distinguishing architectural character.

CULTURAL HERITAGE IMPACT ASSESSMENT

51 Napier Street
Kleinburg-Nashville Heritage Conservation District, Vaughan, Ontario, Canada
7 April 2022
Prepared by: MW HALL CORPORATION

The prominently placed garage doors on the front façade of the house are designed with smaller panels, as is the main entry door.

The proposed windows and roof forms appear to be generally consistent with the scale and classical design guidelines of Napier Street and the Conservation District guidelines.

3.5 Examination of Preservation/Mitigation Options for Cultural Heritage Resources

It is our opinion that planned improvements are compatible with the architectural character of the District and generally in accord with heritage buildings presently within the District. Planned architectural character does generally conform with the architectural character of the heritage district.

3.6 Avoidance Mitigation

There are no significant cultural heritage resources to be avoided or affected by the planned changes to 51 Napier Street. The subject property is within the Designated Heritage District, and therefore is required to respect existing character of the HCD. The proposed revised dwelling reflects, in general, architectural guidelines for the District.

3.7 Salvage Mitigation

Salvage mitigation is not considered applicable in this case and is not considered. No elements which are likely to be affected by the planned changes to 51 Napier Street have salvage value.

3.8 Historical Commemoration

Historical commemoration is not considered applicable in this case and is not considered.

CULTURAL HERITAGE IMPACT ASSESSMENT

51 Napier Street
Kleinburg-Nashville Heritage Conservation District, Vaughan, Ontario, Canada
7 April 2022
Prepared by: MW HALL CORPORATION

3.9 Impact of Development and Mitigation Measures Summary

<i>Potential Negative Impact</i>	<i>Assessment</i>
<ul style="list-style-type: none">• <i>destruction of any, or part of any, significant attributes or features</i>	<i>no destruction of any part of significant <u>heritage</u> attributes or feature is proposed</i>
<ul style="list-style-type: none">• <i>isolation of a heritage attribute from its surrounding environment, context, or a significant relationship</i>	<i>not applicable</i>
<ul style="list-style-type: none">• <i>a change in land use where the change in use negates the property's cultural heritage value</i>	<i>not applicable</i>
<ul style="list-style-type: none">• <i>siting, massing, and scale</i>	<i>planned improvements are consistent with the heritage district</i>
<ul style="list-style-type: none">• <i>design that is sympathetic with adjacent properties</i>	<i>proposed building design fits requirements noted to be sympathetic with structures within the heritage district and represents an architectural style at 51 Napier Street which is in keeping with the Heritage District</i>

CULTURAL HERITAGE IMPACT ASSESSMENT

51 Napier Street
Kleinburg-Nashville Heritage Conservation District, Vaughan, Ontario, Canada
7 April 2022
Prepared by: MW HALL CORPORATION

4.0 RECOMMENDATIONS

We are of the opinion that planned changes to the property at 51 Napier Street, located within the Kleinburg-Nashville Designated Heritage District, are consistent with the Kleinburg-Nashville Heritage District Conservation Plan and Guidelines established for changes within the District. Consideration was given to other changes implemented following establishment of the heritage district, especially along Napier Street. Intensification of development in this area is consistent with the Official Plan and policies of the City of Vaughan and with the Province of Ontario.

Section 2 of the Ontario Planning Act indicates that City of Vaughan shall have regard to matters of Provincial Interest such as conservation of features of significant architectural, cultural, historical, archeological, or scientific interest. In addition, Section 3 of the Planning Act requires that the decision of Council shall be consistent with the Provincial Policy Statements (PPS 2014) and (PPS 238 2019).

Policy 2.6.3 of the PPS requires that "...Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved."

"Conserved" means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archeological resources in a manner that ensures their cultural heritage value or interest is retained under the Ontario Heritage Act."

The existing property at 51 Napier Street contains one built heritage resource that has cultural heritage value or interest under the Ontario Heritage Act. It is our opinion that design of the planned residence additions on the northern lot at 51 Napier Street are consistent with maintenance of the Kleinburg-Nashville Conservation District plan and guidelines and makes a positive contribution to the District.

CULTURAL HERITAGE IMPACT ASSESSMENT

51 Napier Street
Kleinburg-Nashville Heritage Conservation District, Vaughan, Ontario, Canada
7 April 2022
Prepared by: MW HALL CORPORATION

This Cultural Heritage Resource Impact Assessment is respectfully submitted by

MW HALL CORPORATION



per: Mark Hall, OAA, MRAIC, FAIA, RPP, CAHP
President

REFERENCES

- a) Kleinburg-Nashville Heritage Conservation District Study and Plan, Phillip H. Carter Architect and Planner
- b) Ontario Planning Act, Section 2, regarding City Council responsibility for Provincial Interest heritage properties
- c) Ontario Planning Act, Section 3, regarding requirement that Council decisions are consistent with Provincial Policy Statement of 2014.
- d) Ontario Provincial Policy Statement [PPS 2014] section 2.6.3
- e) City of Vaughan Guidelines for Heritage Impact Assessments, 2017

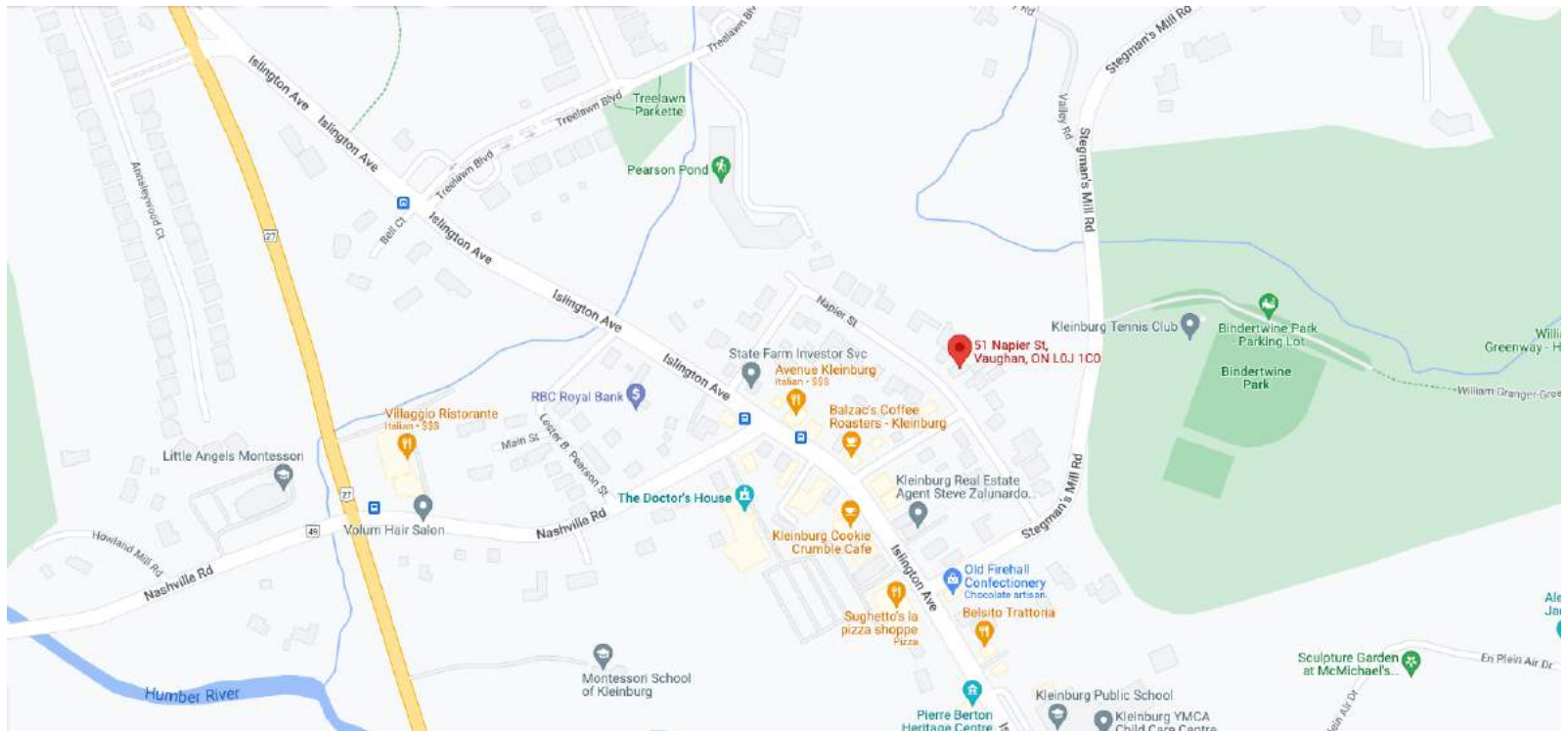
APPENDICES

- A1 Vicinity Map of 51 Napier Street, City of Vaughan, Ontario
- A2 Aerial Photograph of Vicinity of subject property
- A3 View from Napier Street of subject property
- A4 Photographs of adjacent buildings on Napier Street
- A5 Vaughan Official Plan Map
- A6 Heritage Conservation District Map, Kleinburg-Nashville
- A7 Site Plan of 51 Napier Street
- A8 Preliminary drawings of planned redevelopment of subject property
- A9 Curriculum Vitae, Mark Hall, OAA, MRAIC, FAIA, RPP, CAHP

APPENDIX A1

51 NAPIER STREET
KLEINBURG, ONTARIO

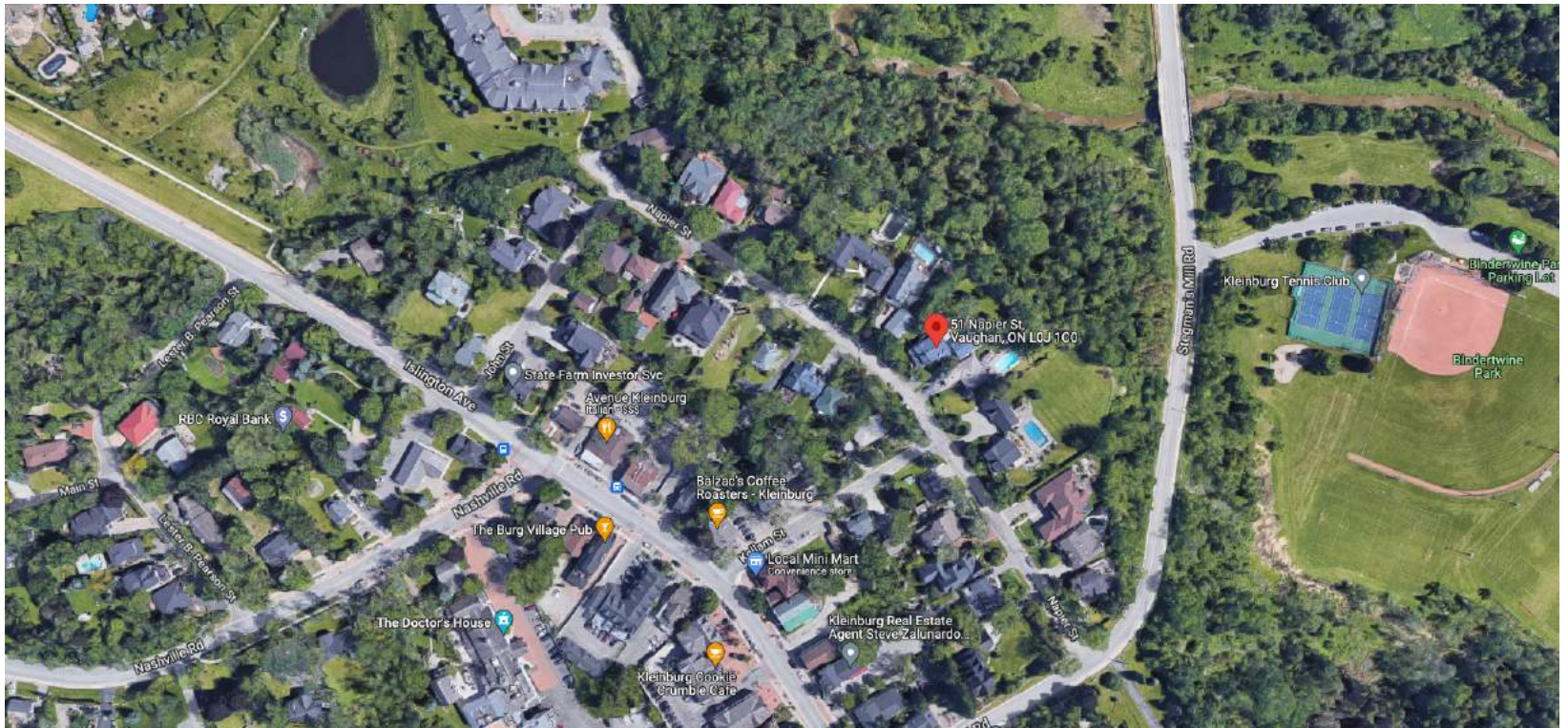
VICINITY MAP



APPENDIX A2

51 NAPIER STREET
KLEINBURG, ONTARIO

AERIAL MAP



APPENDIX A3

51 NAPIER STREET
KLEINBURG, ONTARIO

EXISTING VIEW FROM NAPIER



APPENDIX A3

51 NAPIER STREET
KLEINBURG, ONTARIO

EXTERIOR PHOTOGRAPH



A P P E N D I X A 4

51 NAPIER STREET
KLEINBURG, ONTARIO

PHOTOGRAPHS OF NEIGHBOURING PROPERTIES

















A4 - 77 Napier Street

SCHEDULE 13

Land Use

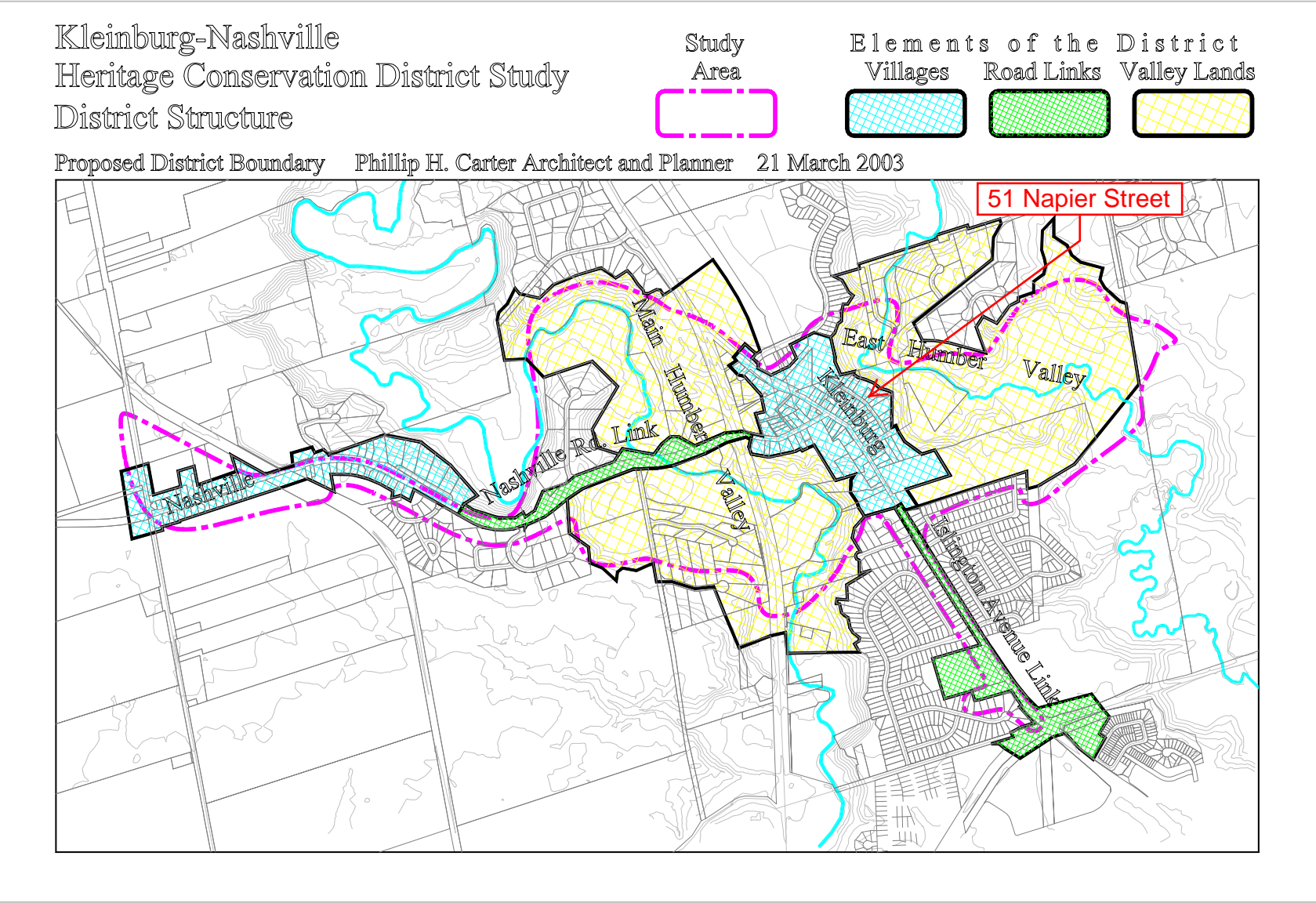
- Natural Areas
- Parks
- Private Open Spaces
- Agricultural
- Rural
- Low-Rise Residential
- Low-Rise Mixed-Use
- Mid-Rise Residential
- Mid-Rise Mixed-Use
- High-Rise Residential
- High-Rise Mixed-Use
- Community Commercial Mixed-Use
- Employment Commercial Mixed-Use
- General Employment
- Prestige Employment
- Major Institutional
- New Community Areas
- Theme Park and Entertainment
- Parkway Belt West Lands
- Infrastructure and Utilities
- Lands Subject to Approved Area Specific Secondary Plans (see Schedule 14)
- Roads
- Railway
- Greenbelt Plan Area & Oak Ridges Moraine Conservation Plan Area
- Oak Ridges Moraine Natural Core
- Oak Ridges Moraine Natural Linkage
- Oak Ridges Moraine Countryside
- Hamlet
- Minister's Decision on ORMCP Designation Deferred
- Municipal Boundary

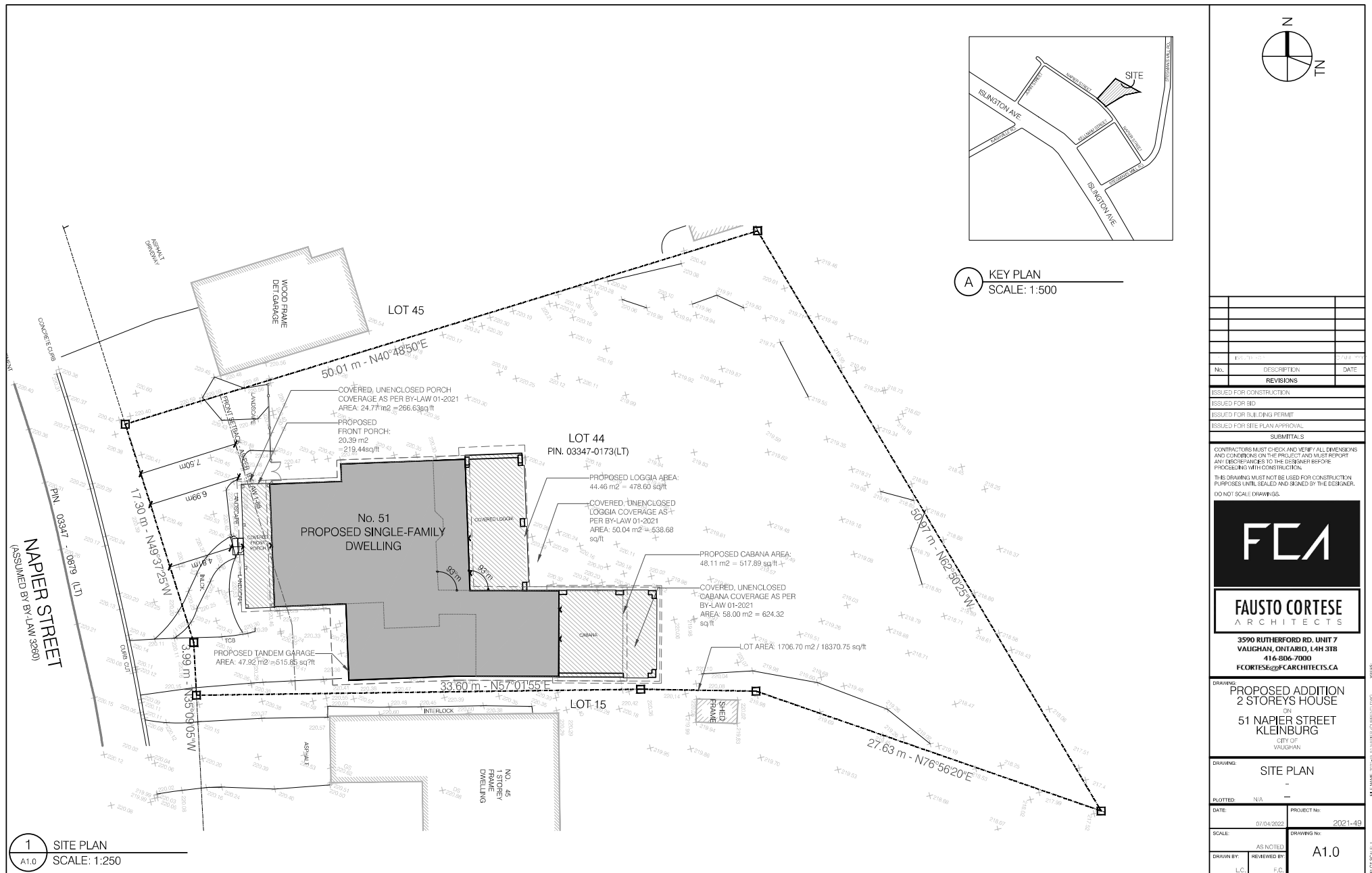
Refer to Schedules 14B-C for Lands Subject to Area and Site Specific policies in Volume 2.



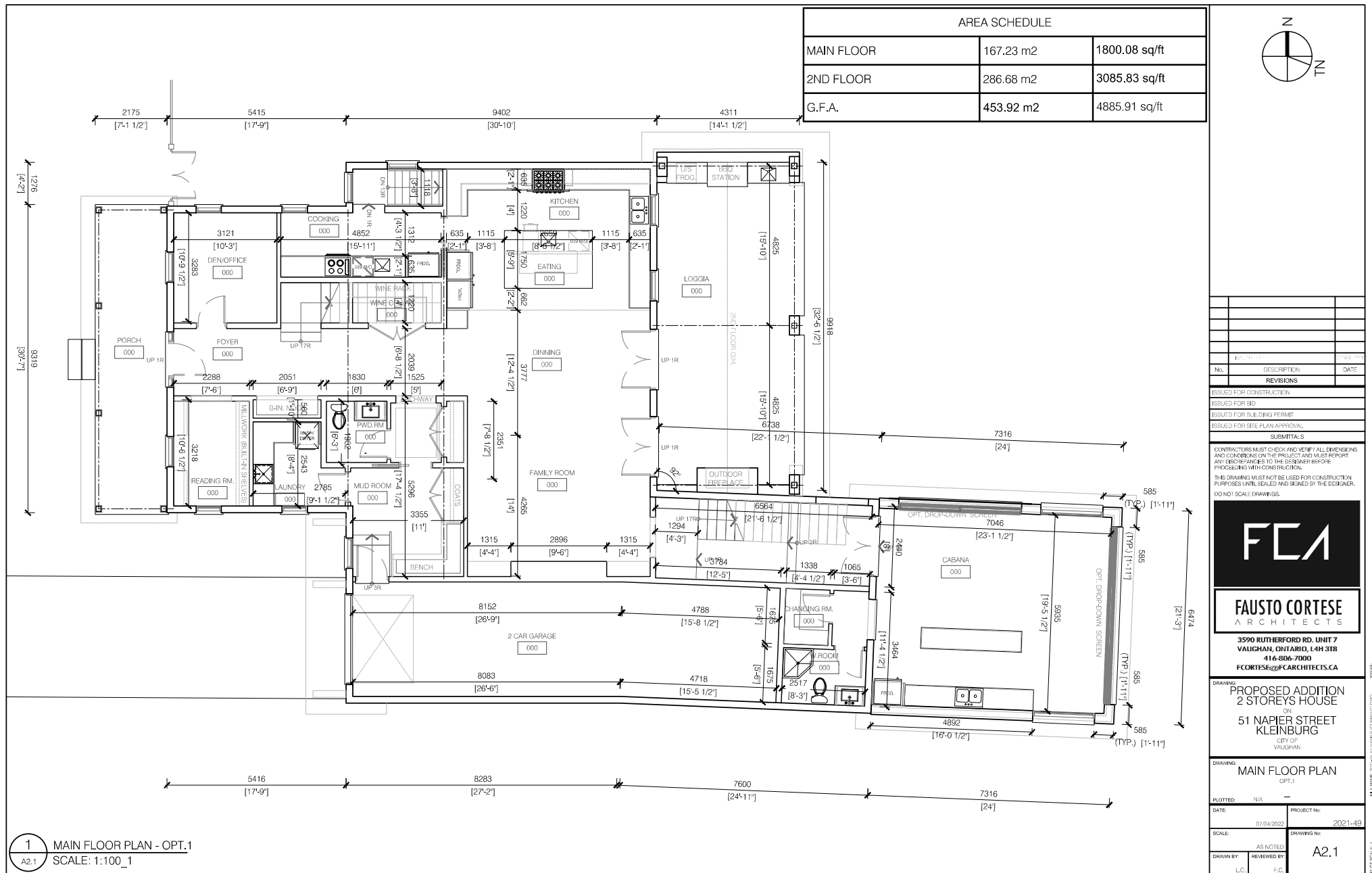
February 2014

In recognition of the variety of contexts within the District, it is divided into three kinds of elements: the villages, the road links, and the valley lands. The design guidelines for new construction, in Section 9.5 of the Plan, reflect these differing contexts.





A7- Site Plan of 51 Napier Street







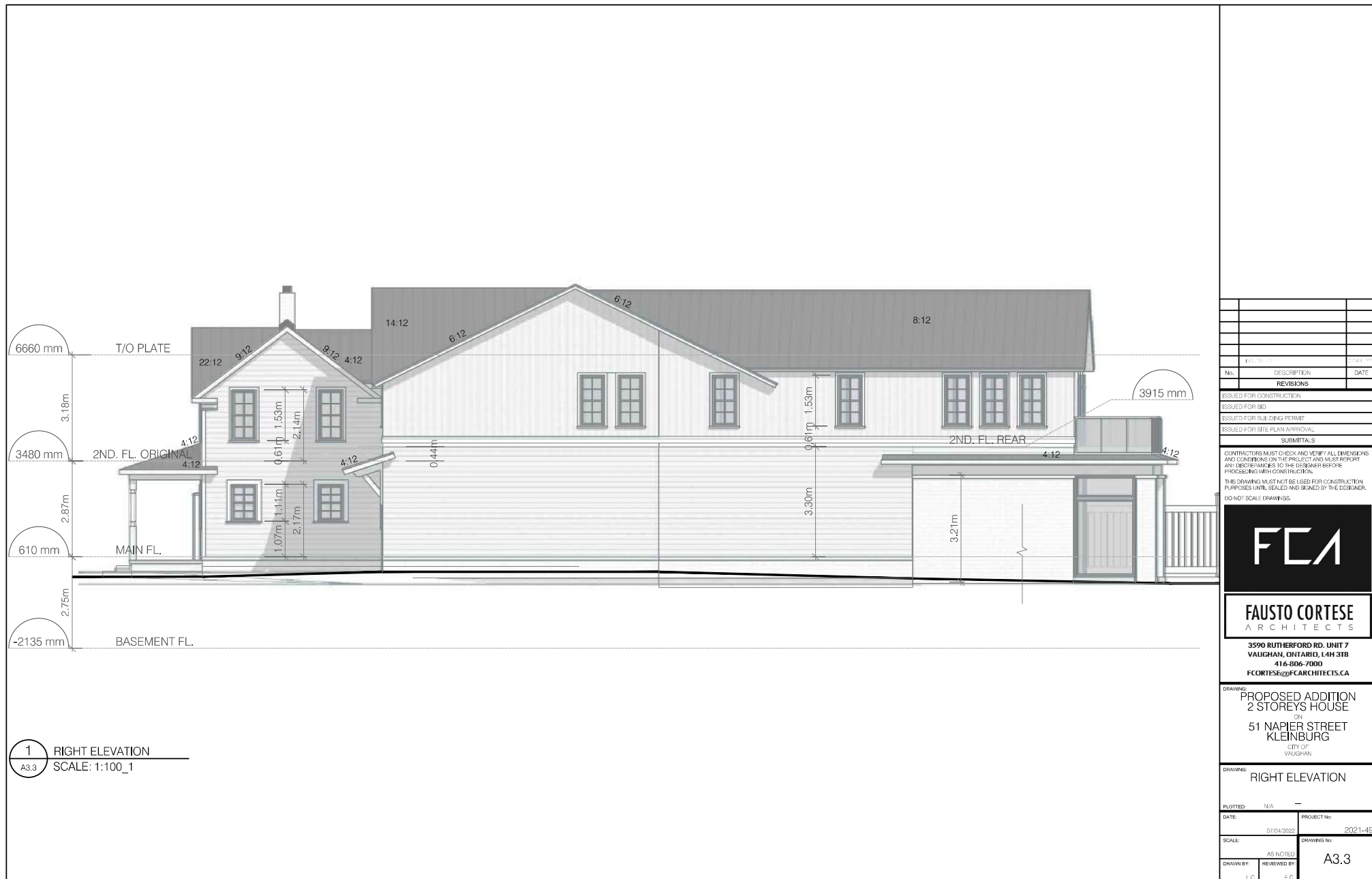
1 FRONT ELEVATION
A3.0 SCALE: 1:100_1

No.			DESCRIPTION			DATE		
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ISSUED FOR CONSTRUCTION								
ISSUED FOR BID								
ISSUED FOR BUILDING PERMIT								
ISSUED FOR SITE PLAN APPROVAL								
SUBMITTALS								
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.								
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.								
DO NOT SCALE DRAWINGS								
FAUSTO CORTESE ARCHITECTS 3590 RUTHERFORD RD. UNIT 7 VAUGHAN, ONTARIO, L4H 3T8 416-806-7000 FCORTESE@FCARCHITECTS.CA								
DRAWINGS PROPOSED ADDITION 2 STOREYS HOUSE ON 51 NAPIER STREET KLEINBURG CITY OF VAUGHAN								
DRAWING FRONT ELEVATION								
PLOTTED: N/A								
DATE: 07/04/2023			PROJECT No: 2021-49					
SCALE: AS NOTED			DRAWING No: A3.0					
DRAWN BY: L.C.			REVIEWED BY: F.C.					



1 REAR ELEVATION
A3.2 SCALE: 1:100_1

REVISIONS		
No.	DESCRIPTION	DATE
ISSUED FOR CONSTRUCTION		
ISSUED FOR BID		
ISSUED FOR BUILDING PERMIT		
ISSUED FOR SITE PLAN APPROVAL		
SUBMITTALS		
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.		
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3590 RUTHERFORD RD. UNIT 7 VAUGHAN, ONTARIO, L4H 3T8 416-806-7000 FCORTESE@FCAARCHITECTS.CA		
DRAWING: PROPOSED ADDITION ON: 2 STOREYS HOUSE 51 NAPIER STREET CITY OF VAUGHAN		
DRAWING: REAR ELEVATION		
PLOTTED: N/A	PROJECT No: 2021-49	
DATE: 07/04/2023	DRAWING No: A3.2	
SCALE: AS NOTED	DRAWN BY: L.C.	
REVIEWED BY: F.C.		

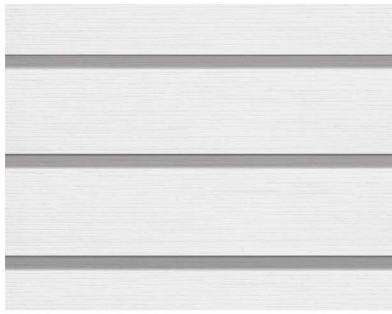


A P P E N D I X A 8

51 NAPIER STREET
KLEINBURG, ONTARIO

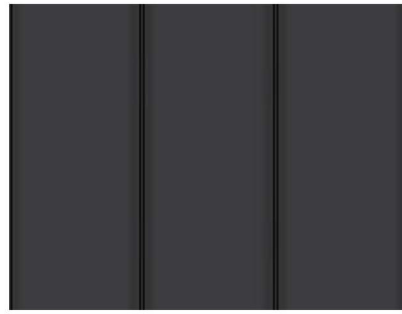
**PRELIMINARY DRAWINGS OF PLANNED
REDEVELOPMENT OF SUBJECT PROPERTY**





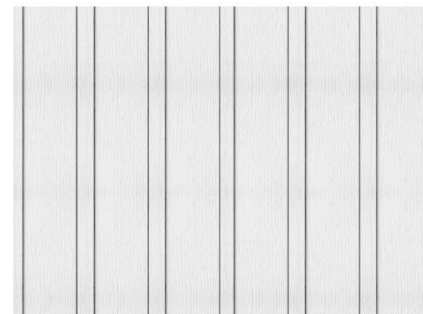
SIDING

WHITE SIDING



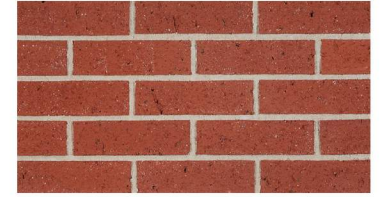
METAL ROOF

CHARCOAL GREY METAL ROOF



BOARD AND BATTON

WHITE BOARD AND BATTON



BRICK VENEER

RED BRICK VENEER TO MATCH
EXISTING BRICK ON CHIMNEY



DOUBLE HUNG WINDOWS

CHARCOAL GREY ALUMINUM FRAME



SOFFIT/ FASCIA

WHITE WOOD FASCIA AND WHITE VINYL
SOFFIT



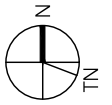
WOOD TRIM

WHITE WOOD TRIM



SIDING

WHITE CEDAR SHAKES



No.	DESCRIPTION	DATE
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REVISIONS

ISSUED FOR CONSTRUCTION

ISSUED FOR BID

ISSUED FOR BUILDING PERMIT

ISSUED FOR SITE PLAN APPROVAL

SUBMITTALS

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DRAWINGS
PROPOSED ADDITION
2 STOREYS HOUSE
ON
51 NAPIER STREET
KLEINBURG
CITY OF
VAUGHAN

DRAWING
RENDERINGS VIEWS

PLOTTED: N/A

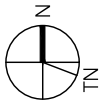
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DRAWN BY: L.C. REVIEWED BY: F.C.



5 FRONT VIEW FROM NAPIER
A0.4 SCALE: NTS



No.	DESCRIPTION	DATE
	REVISIONS	

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL
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DRAWING:
PROPOSED ADDITION
2 STOREYS HOUSE
ON
51 NAPIER STREET
KLEINBURG
CITY OF
VAUGHAN

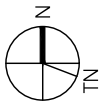
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RENDERINGS VIEWS

PLOTTED: N/A

DATE: 07/04/2023 PROJECT No: 2021-49

SCALE: AS NOTED DRAWING No: A0.4

DRAWN BY: L.C. REVIEWED BY: F.C.



No.	DESCRIPTION	DATE
REVISIONS		
ISSUED FOR CONSTRUCTION		
ISSUED FOR BID		
ISSUED FOR BUILDING PERMIT		
ISSUED FOR SITE PLAN APPROVAL		
SUBMITTALS		

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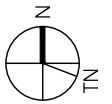
DRAWING:
**PROPOSED ADDITION
2 STOREYS HOUSE**
ON
**51 NAPIER STREET
KLEINBURG**
CITY OF
VAUGHAN

DRAWING: RENDERINGS VIEWS	
-	
DATE:	PROJECT No:
07/04/2023	2021-49
SCALE:	
AS NOTED	
DRAWN BY:	REVIEWED BY:
L.C.	F.C.

1 BACKYARD VIEW
A0.0 SCALE: NTS



2 REAR VIEW
A0.1 SCALE: NTS



No.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION

ISSUED FOR BID

ISSUED FOR BUILDING PERMIT

ISSUED FOR SITE PLAN APPROVAL

SUBMITTALS

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DRAWINGS
PROPOSED ADDITION
2 STOREYS HOUSE
ON
51 NAPIER STREET
KLEINBURG
CITY OF VAUGHAN

DRAWING
RENDERINGS VIEWS
-

PLOTTED: N/A

DATE: 07/04/2023 PROJECT No: 2021-49

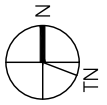
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DRAWN BY: L.C. REVIEWED BY: F.C.

FILE NAME: 2021-49-21 NAPIER STREET CLADDING REV02 PLOT SCALE: 1:1



4 AERIAL VIEW
A0.3 SCALE: NTS



No.	DESCRIPTION	DATE
REVISIONS		

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
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SUBMITTALS

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DRAWINGS
**PROPOSED ADDITION
2 STOREYS HOUSE**
ON
**51 NAPIER STREET
KLEINBURG**
CITY OF
VAUGHAN

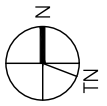
DRAWING
RENDERINGS VIEWS
-

PLOTTED: N/A

DATE: 07/04/2021 PROJECT No: 2021-49

SCALE: AS NOTED DRAWING No: A0.3

DRAWN BY: L.C. REVIEWED BY: F.C.



No.	DESCRIPTION	DATE
REVISIONS		
ISSUED FOR CONSTRUCTION		
ISSUED FOR BID		
ISSUED FOR BUILDING PERMIT		
ISSUED FOR SITE PLAN APPROVAL		
SUBMITTALS		

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DRAWINGS
**PROPOSED ADDITION
2 STOREYS HOUSE**
ON
**51 NAPIER STREET
KLEINBURG**
CITY OF
VAUGHAN

DRAWING
RENDERINGS VIEWS

DATE: 07/04/2023 PROJECT No: 2021-49

SCALE: AS NOTED DRAWING No: A0.5

DRAWN BY: L.C. REVIEWED BY: F.C.

6 AERIAL VIEW 2
A0.5 SCALE: NTS

Mark Hall, OAA, MRAIC, RPP, MCIP, FAIA, AICP, CAHP

ACADEMIC + PROFESSIONAL TRAINING

Harvard University, Master of City Planning in Urban Design
US Navy Civil Engineer Corps Officer School, Certificate of Graduation
Construction and Design Management
Massachusetts Institute of Technology
Graduate Studies in Planning and Economics
Pratt Institute, Master Degree program studies in Planning and Economics
University of Michigan, Bachelor of Architecture

DESIGN AND CONSTRUCTION EXPERIENCE

Mariposa Land Development Company [1438224 Ontario Inc.]
Toronto / Orillia, President
Orchard Point Development Company [1657923 Ontario Inc.]
Orillia, Vice President
MW HALL CORPORATION, Toronto, Toronto, President
Teddington Limited, Toronto,
Development advisor, Planner, Architect
ARCHIPLAN, Los Angeles, Principal/President

DMJM, Los Angeles, Planner
Gruen Associates, Los Angeles, Planner
US NAVY, Civil Engineer Corps, Officer
Apel, Beckert & Becker, Architects, Frankfurt
Green & Savin, Architects, Detroit

CITY DEVELOPMENT / URBAN DESIGN / REAL ESTATE DEVELOPMENT

Mark Hall has directed a number of city development and urban design projects, including waterfront revitalization, commercial, multi-unit residential, industrial facilities and major mixed use projects in both public and private clients/employers. He has worked on staff for public agencies, including real estate development and property management services. He understands the dynamics of city development, the techniques required for successful implementation, and procedural, financial and political requirements. His experience and contributions range throughout Canada, the United States, Europe, Southeast Asia, the Middle East and the Arctic. As a result of his extensive experience in this area, he has been invited to participate in the Regional Urban Design Assistance Team [R/UDAT] programs of the American Institute of Architects, and a program of waterfront renewal in Toronto by the Ontario Professional Planners Institute. He is a Registered Professional Planner in Ontario, member of the Canadian Institute of Planners, and a founding member of the American Institute of Certified Planners. Recently, as president of Mariposa Land Development Company, he designed and built a 54 unit condominium apartment project designed to upgrade the waterfront of historic downtown Orillia, Ontario. The building has spurred a number of revitalization projects in Orillia.

HISTORIC PRESERVATION / ADAPTIVE REUSE

Mr. Hall has developed special interest and expertise in historic preservation and adaptive reuse of historic structures and city districts. He has served as president of the Los Angeles Conservancy, and designed projects combining historic preservation and appropriate adaptive reuse of the properties. He is a member of the Canadian Association of Heritage Professionals. Recently he served as preservation architect on renovations of the RC Harris Water Plan, a designated cultural heritage building in Toronto. He has served as architect for restoration and additions to a number of historic houses in the Annex, Beaches and other areas of central city Toronto, as well as Belleville, Orillia, Mississauga and Brampton, and in Los Angeles and Florida. He frequently works with property developers, municipalities and heritage property owners as consultant regarding historic properties of concern to municipalities in which they are working.

ARCHITECTURE

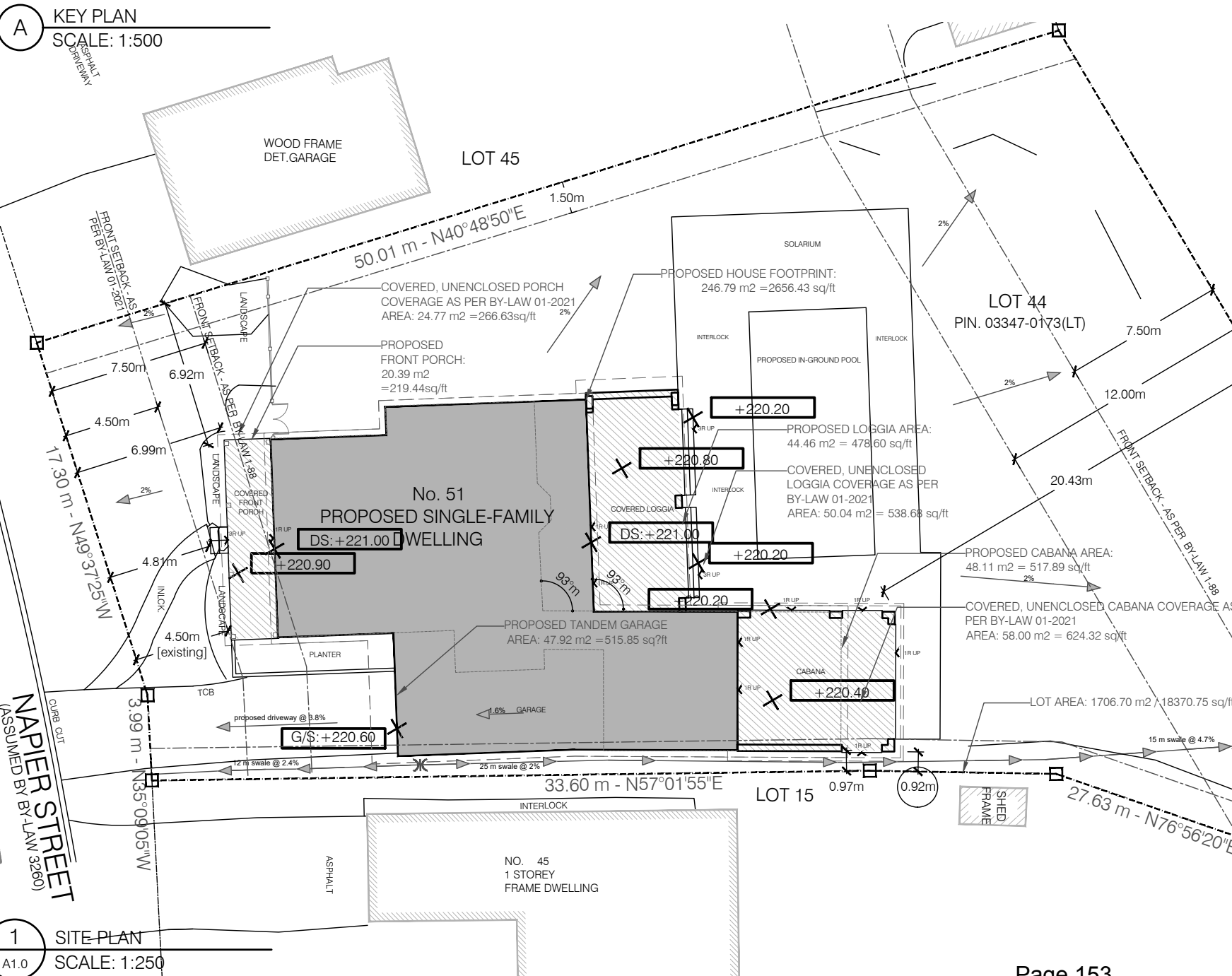
A licensed architect for over 40 years, Mr. Hall is licensed to practice in Canada and the US. He has been responsible for design and construction of a number of significant projects: mixed use structures, corporate headquarters and industrial facilities, military facilities, multi-unit residential, civic and commercial centres, and seniors housing. He understands the design, construction and real estate development process, as well as management of multi-disciplinary and client concerns for cost effective, efficient, award-winning structures. Many of the structures he has built are the result of implementing more comprehensive master planned developments. For his work in historic preservation, education and community service he was awarded Fellowship in the American Institute of Architects.

COMMUNITY & EDUCATION SERVICE

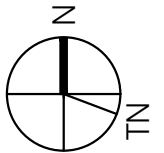
In addition to professional practice, Mr. Hall has made major commitments to teaching and community service. He taught urban design and city planning at USC, UCLA, Southern California Institute of Architecture [SCI ARC] and Boston Architectural Center. While at Harvard he worked with the Harvard Urban Field Service in Boston's Chinatown. As an officer in the US NAVY he was awarded a special Commendation Medal for development of a master plan for the NAVY's Arctic Research Laboratory and the adjacent Inupiat community of Barrow, Alaska. His work has been published in professional journals and has received various awards and honors. He served on the board of directors and later as president of the Southern California chapter of the American Institute of Architects. He was co-chair for the Ontario Professional Planners Institute [OPPI] of a multi-disciplinary design Charette to determine the future of the Metropolitan Toronto waterfront, and later on a committee of the Ontario Association of Architects looking into solutions to urban sprawl. He has served as president of the non-profit Housing Development Resource Centre [HRDC] and as president of Toronto Brigantine, a non-profit organization providing sail training aboard two tall ships in the Great Lakes.

A street map showing the location of the 'SITE'. The site is a triangular area bounded by Napier Street and Stegman's Mill Rd. The map includes the following streets: Islington Ave, Johnston Street, Nelson Street, Nashville Rd, and Stegman's Mill Rd. The site is located at the intersection of Islington Ave and Stegman's Mill Rd, adjacent to Napier Street.

A



SITE DEVELOPMENT				
ZONE	ZONE R1 (BY-LAW 1-88)	ZONE R1B(EN)- 336 (BY-LAW 01-2021)	PROVIDED	
			m2	
TOTAL LOT AREA	700 m2	600 m2	1707 m2	
LOT COVERAGE	BY-LAW 1-88	BY-LAW 01-2021	PROVIDED	
LOT FRONTAGE	18 m	18 m	21.28 m (EXISTING)	
COVERAGE			BY-LAW 1-88	BY-LAW 01-2021
PROPOSED HOUSE	-	-	14.46%	15.83%
			AREA 246.79 m2	AREA 270.22 m2
REAR LOGGIA	-	-	2.61%	2.93%
			AREA 44.46 m2	AREA 50.04 m2
REAR CABANA	-	-	2.82%	3.40%
			AREA 48.11 m2	AREA 58.00 m2
FRONT PORCH	-	-	1.19%	1.45%
			AREA 20.39 m2	AREA 24.78 m2
TOTAL COVERAGE	30%	40%	21.08 %	23.62 %
			AREA 334.57 m2	AREA 372.68 m2
MAX. HEIGHT	9.50 m	8.18 m [The least (more restrictive) of 11m (as per RB1) or as per ("EN" suffix) existing BH + 3m (5.18m + 3m = 8.18m) and/or MIN. 8.5m]	6.86 m	
SETBACKS	BY-LAW 1-88	BY-LAW 01-2021 (EN)	PROVIDED	
FRONT SETBACK	7.50 m	4.50 m [The lesser (less restrictive) of 4.50 m (as per RB1) or as per ("EN" suffix) existing FY - 2m (8.49m - 2m = 6.49m) or MIN. 4.5m]	4.50 m [existing]]	
REAR SETBACK	7.50 m	12.00 m	20.43 m [existing]]	
INTERIOR RIGHT SIDEYARD	1.50 m	1.50 m	0.92 m [existing]]	
INTERIOR LEFT SIDEYARD	1.50 m	1.50 m	6.92 m [existing]]	



	DESIGNED FOR	1/28/2012
No.	DESCRIPTION	DATE
	REVISIONS	

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL
SUBMITTALS

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

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DO NOT SCALE DRAWINGS.



FAUSTO CORTESE
ARCHITECTS

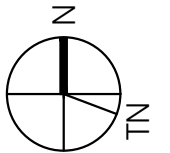
3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESE@FCARCHITECTS.CA

DRAWING:
PROPOSED ADDITION
2 STOREYS HOUSE
ON
51 NAPIER STREET
KLEINBURG
CITY OF
VAUGHAN

DRAWING: _____		SITE PLAN	
PLOTTED: N/A		—	
DATE: _____		PROJECT No: _____	
08/04/2022		2021-49	
SCALE: _____		DRAWING No: _____	
AS NOTED		A1.0	
DRAWN BY: _____		REVIEWED BY: _____	
I. C.		F. C.	

ATTACHMENT 4 - 51 NAPIER - FLOOR PLANS AND ELEVATIONS

AREA SCHEDULE		
MAIN FLOOR	196.65 m2	2116.75 sq/ft
2ND FLOOR	286.68 m2	3085.83 sq/ft
G.F.A.	483.34 m2	5202.58 sq/ft



No.	DESCRIPTION	DATE
	REVISIONS	

ISSUED FOR CONSTRUCTION

ISSUED FOR BID

ISSUED FOR BUILDING PERMIT

ISSUED FOR SITE PLAN APPROVAL

SUBMITTALS

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DRAWING:
PROPOSED ADDITION
2 STOREYS HOUSE
ON
51 NAPIER STREET
KLEINBURG
CITY OF
VAUGHAN

DRAWING: BASEMENT PLAN

PLOTTED: N/A

DATE: _____

2019-2020

PROJECT No:

2021 40

08/04/2022	
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2021-49

SCALE:

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	AS NOTED
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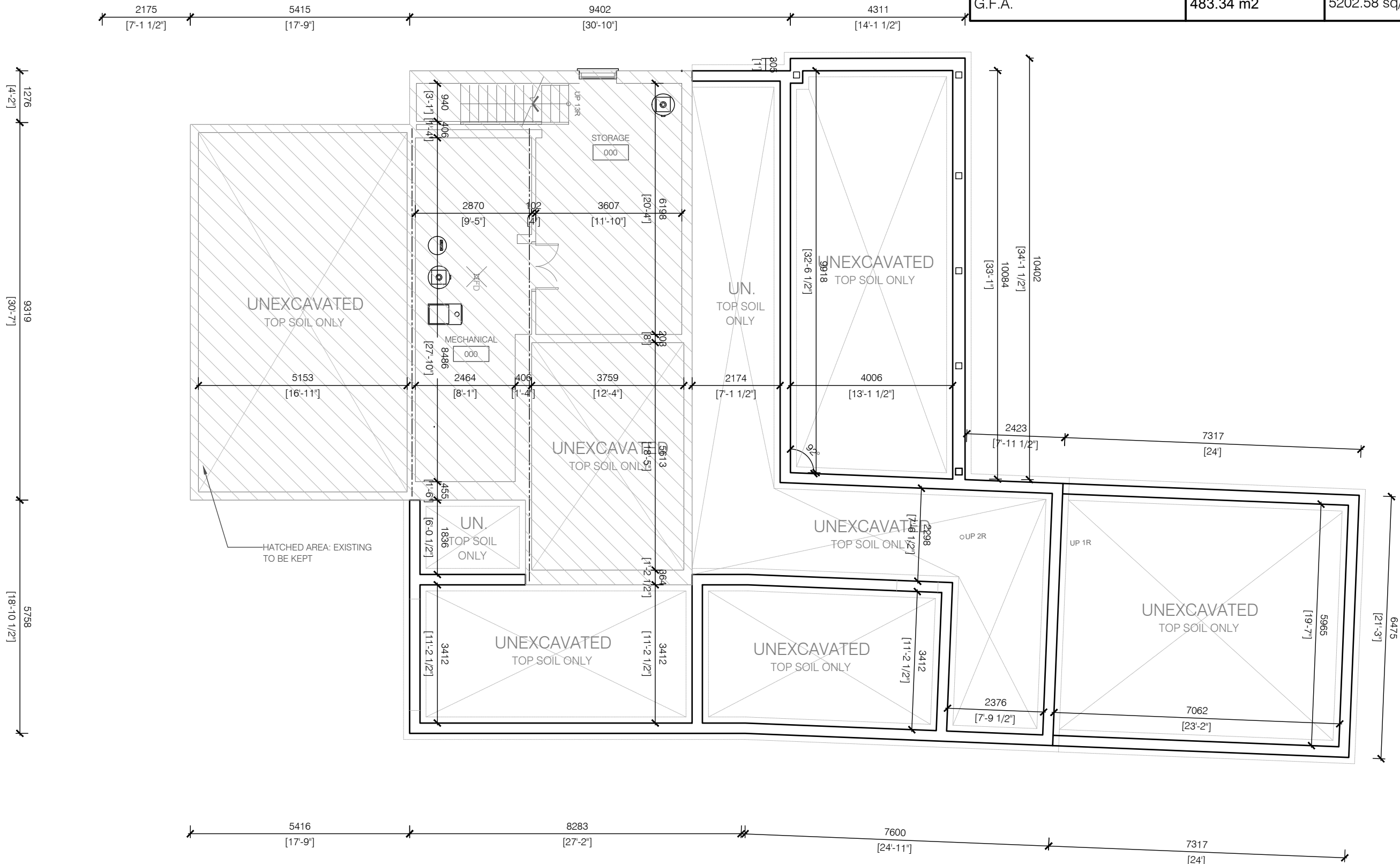
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DRAWN BY:	REVIEWED BY:
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A2.0




	L.C.	F.C.
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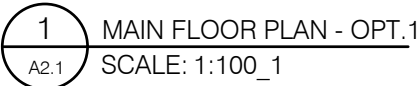
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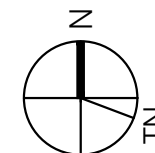
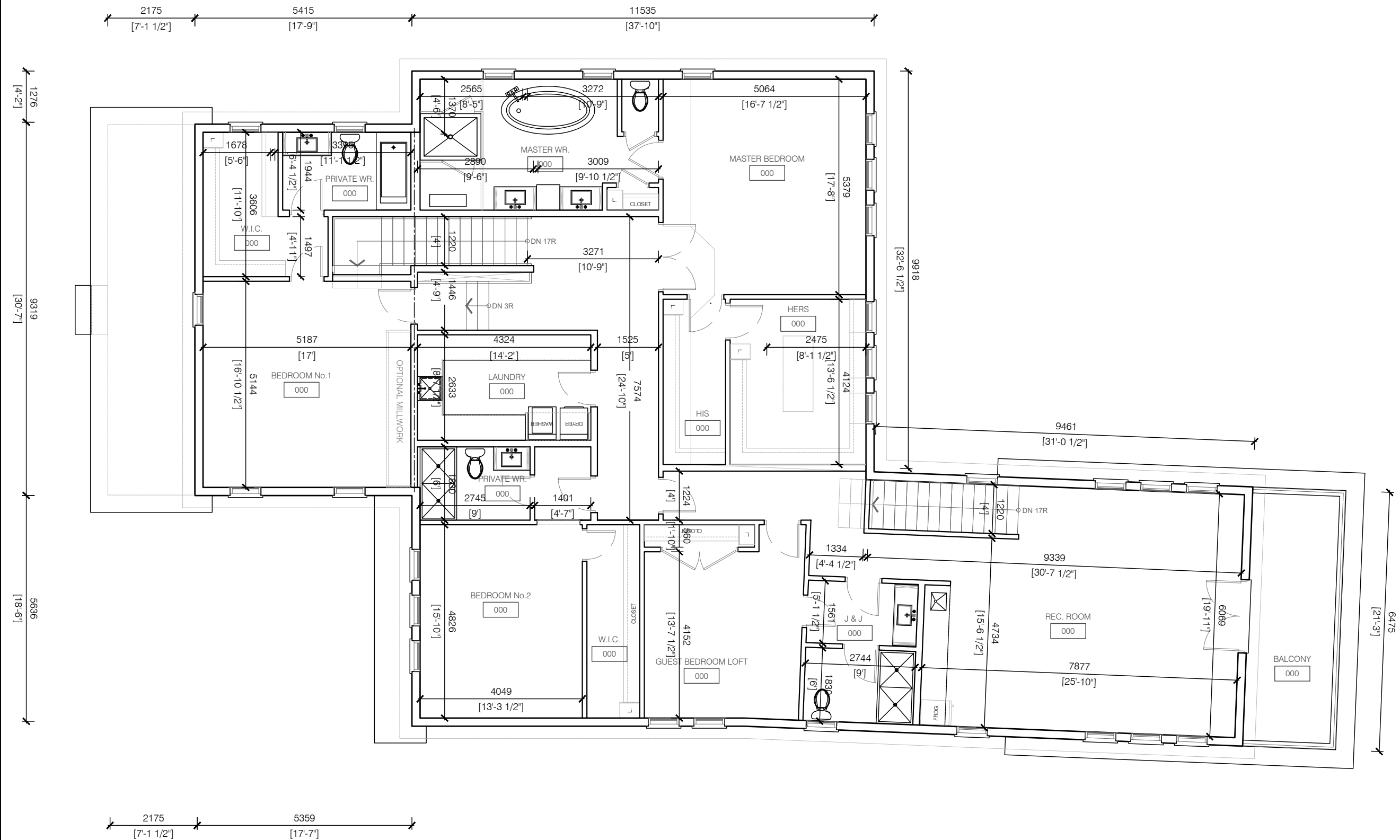


1 BASEMENT FLOOR PLAN
A2.0 SCALE: 1:100 1

PLOT SCALE: 1 = FILE NAME: 2021-49_51 NAPIER (CURRENT).DWG XREFS:

		
		
	ISSUED FOR:	DATE:
No.	DESCRIPTION	DATE
	REVISIONS	
ISSUED FOR CONSTRUCTION		
ISSUED FOR BID		
ISSUED FOR BUILDING PERMIT		
ISSUED FOR SITE PLAN APPROVAL		
SUBMITTALS		
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.		
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FAUSTO CORTESE ARCHITECTS		
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DRAWING:	PROPOSED ADDITION 2 STOREYS HOUSE ON 51 NAPIER STREET KLEINBURG CITY OF VAUGHAN	
DRAWING:	MAIN FLOOR PLAN OPT.1	
PLOTTED:	N/A	—
DATE:	08/04/2022	PROJECT No: 2021-49
SCALE:		DRAWING No: A2.1
DRAWN BY:	AS NOTED REVIEWED BY:	
L.C.	F.C.	





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	REVISIONS	

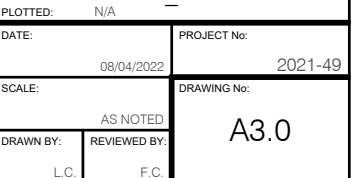
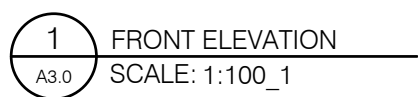
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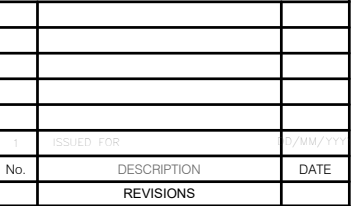
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DRAWING: 2ND FLOOR PLAN





CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS
AND CONDITIONS ON THE PROJECT AND MUST REPORT
ANY DISCREPANCIES TO THE DESIGNER BEFORE
PROCEEDING WITH CONSTRUCTION.

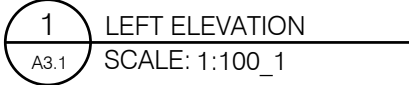
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PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

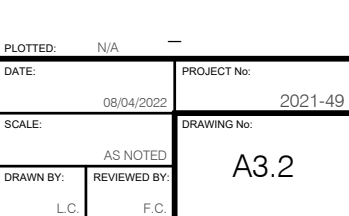
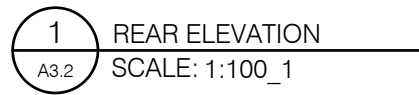
DO NOT SCALE DRAWINGS.



DRAWING:
PROPOSED ADDITION
2 STOREYS HOUSE
ON
51 NAPIER STREET
KLEINBURG
CITY OF
VAUGHAN

PLOTTED: N/A		—	
DATE: 08/04/2022		PROJECT No: 2021-49	
SCALE: AS NOTED		DRAWING No: A3.1	
DRAWN BY: L.C.	REVIEWED BY: F.C.		







1	ISSUED FOR	R/AMM/103
No.	DESCRIPTION	DATE
	REVISIONS	

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ARCHITECTS

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DRAWING: RIGHT ELEVATION

PLOTTED: N/A		PROJECT No:	
DATE: 08/04/2022		2021-49	
SCALE:		DRAWING No:	
AS NOTED		A3.3	
DRAWN BY:	REVIEWED BY:		
L.C.	F.C.		



**ATTACHMENT 5 - 51
NAPIER - 3D VIEWS**



ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL
SUBMITTALS

FCA

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ARCHITECTS

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416-806-7000
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DRAWING: RENDERINGS VIEWS

PLOTTER: N/A		PROJECT No:	
DATE: 08/04/2022		2021-49	
SCALE:		DRAWING No:	
AS NOTED		A0.2	
DRAWN BY: L.C.	REVIEWED BY: F.C.		



FRONT VIEW FROM NAPIER
SCALE: NTS

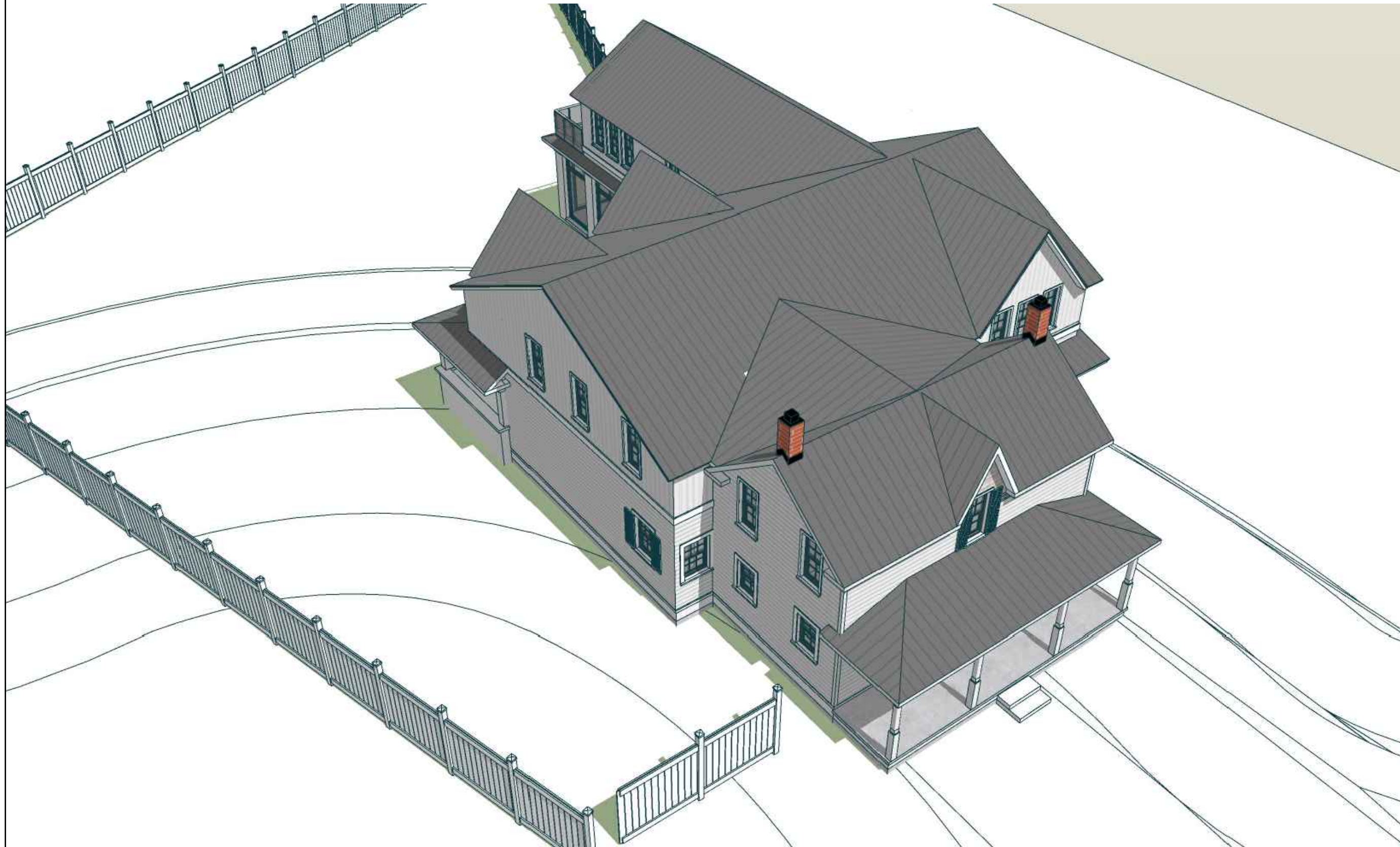


SCALE: NTS



REAR VIEW
SCALE: NTS

1	ISSUED FOR		D/MM/YY
No.	DESCRIPTION		DATE
	REVISIONS		
ISSUED FOR CONSTRUCTION			
ISSUED FOR BID			
ISSUED FOR BUILDING PERMIT			
ISSUED FOR SITE PLAN APPROVAL			
SUBMITTALS			
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.			
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.			
DO NOT SCALE DRAWINGS.			
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<div><div>FAUSTO CORTESE</div><div>ARCHITECTS</div></div>			
3590 RUTHERFORD RD. UNIT 7 VAUGHAN, ONTARIO, L4H 3T8 416-806-7000 FCORTESE@FCARCHITECTS.CA			
DRAWING: PROPOSED ADDITION 2 STOREYS HOUSE ON 51 NAPIER STREET KLEINBURG CITY OF VAUGHAN			
DRAWING: RENDERINGS VIEWS			
-			
PLOTTED: N/A			
DATE: 08/04/2022		PROJECT No: 2021-49	
SCALE: AS NOTED		DRAWING No: A0.1	
DRAWN BY: L.C.		REVIEWED BY: F.C.	



SCALE: NTS



DRAWING: RENDERINGS VIEWS	
- - PLOTTED: N/A	
DATE: 08/04/2022	PROJECT No: 2021-49
SCALE: AS NOTED	DRAWING No: A0.5
DRAWN BY: L.C.	REVIEWED BY: F.C.



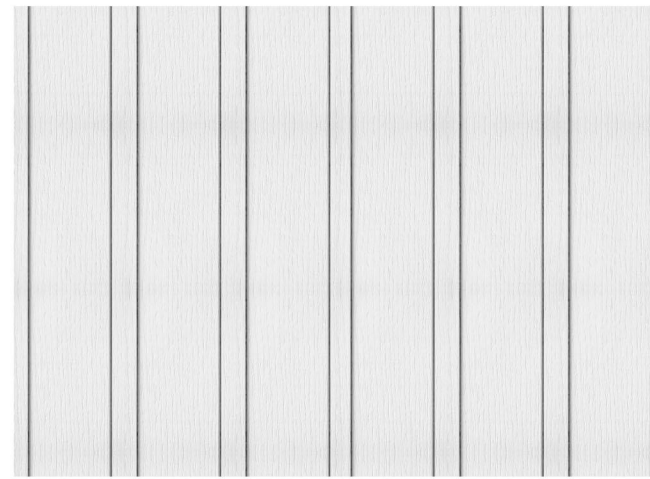
SIDING

WHITE SIDING



METAL ROOF

DARK GREY METAL ROOF



BOARD AND BATTON

WHITE BOARD AND BATTON



BRICK VENEER

WHITE BRICK SKIRT



***DOUBLE HUNG
WINDOWS***

Pella® Reserve™ – Traditional
ALUMINUM-CLAD WOOD
DOUBLE HUNG WINDOW



SOFFIT/ FASCIA

WHITE WOOD FASCIA AND WHITE VINYL
SOFFIT



WOOD TRIM

WHITE WOOD TRIM



SIDING

WHITE SIDING



FRONT DOOR

Pella Premium Solid Wood
Entry Door with Sidelight

**ATTACHMENT 6 - 51 NAPIER - MATERIALS
SAMPLE BOARD**

*EXTERIOR FINISH MATERIAL SAMPLE
51 NAPIER ST, VAUGHAN*

Heritage Vaughan Committee Report

DATE: Wednesday, May 18, 2022

WARD(S): 1

TITLE: UPDATE OF MAPLE STREETSCAPE MASTERPLAN STATUS
AT 75% COMPLETION, IN THE MAPLE HERITAGE
CONSERVATION DISTRICT

FROM:

Haiqing Xu, Deputy City Manager, Planning and Growth Management

ACTION: FOR INFORMATION

Purpose

To provide the current status and information to Heritage Vaughan Committee regarding the Maple Streetscape Masterplan as the project clears 75% Design completion.

Report Highlights

- The project was initiated in 2015
- The EA Study was completed in 2019
- This third and final phase will produce construction drawings for the implementation of the Streetscape Masterplan
- This project was presented and approved at Council in 2014

Recommendations

THAT the information outlined in this report and the consultant presentation on the Maple Streetscape Masterplan set out in Attachment 1 be RECEIVED.

Background

York Region in partnership with City of Vaughan initiated the detailed design for Major Mackenzie Dr streetscape improvement in 2021 to encourage its evolution as a livable, vibrant, and unique community with important cultural and natural resources.

The project is based on an EA Study that was completed in 2019.

The Consultant Team

HDR was retained as the lead consultant to prepare the overall detailed design; and landscape architect James McWilliam was retained as a subconsultant to prepare the landscape plans.

The Process

The Project involved 3 design submission stages: 30%, 60%, and 90% with target completion of the detailed design this summer. The project will be tendered this fall with construction to start end of 2022. Phase 1 of construction will be between Jane St and McNaughton Rd; while Phase 2 construction starts in 2023 between McNaughton Rd and Keele St.

Previous Reports/Authority

1. [Maple Heritage Conservation District Plan](#) (2007)
2. [The Village of Maple Streetscape Design Guidelines](#) (2006)
3. [The Village of Maple Streetscape Standards](#) (2004)

Analysis and Options

This project was approved at Council in 2014 but has not been taken to Heritage Vaughan until today. Currently the project's status is undertaking the detailed design and construction component following the approved directions.

The current stage of this phase (Design and Implementation) has surpassed 60% design: it includes all the proposed streetscape design details required for construction. This is the stage where the City can incorporate final input and changes. The next phase is 90% where all design details are finalized, and only minor refinements/tweaking would be considered. Once those are completed, the 100% stage consists of tender drawings.

This report is intended for information to the Heritage Vaughan Committee, and to solicit feedback as applicable.

Financial Impact

The City has approved budget to cost share the new enhanced streetscape elements that qualify for municipal streetscape partnership program with York Region.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The Maple Streetscape Masterplan project's third and final phase cleared 60% Design completion. Staff is supportive of the project's progress, and as this project impacts the MHCD, this report is intended to inform the Heritage Vaughan Committee of the status of the project, as required under the *Ontario Heritage Act*.

For more information, please contact: Nick Borcescu, Senior Heritage Planner, Development Planning, ext. 8191

Attachments

Attachment 1 – MapleStreetscape – Presentation to Heritage Vaughan Committee

Prepared by

Nick R. Borcescu, Senior Heritage Planner, Development Planning, ext 8191
Shahrzad Davoudi-Strike, Manager Urban Design and Cultural Services, ext. 8653

MAJOR MACKENZIE DRIVE: JANE STREET TO KEELE STREET

PRESENTATION TO HERITAGE VAUGHAN COMMITTEE

Jackson Marin, York Region, Project Manager, Capital Planning & Delivery
Carmen Hui, York Region, Program Manager, Streetscape

May 18, 2022



AGENDA

1. Capital Project

- Background
- Project Schedule
- Environmental Assessment
- Detailed Design

2. Proposed Streetscape Design

3. Q&A

4. Next Steps



CAPITAL PROJECT

BACKGROUND

2014/ 2015

City of Vaughan Council passed a resolution for widening Major Mackenzie Drive

2019

EA Study completed

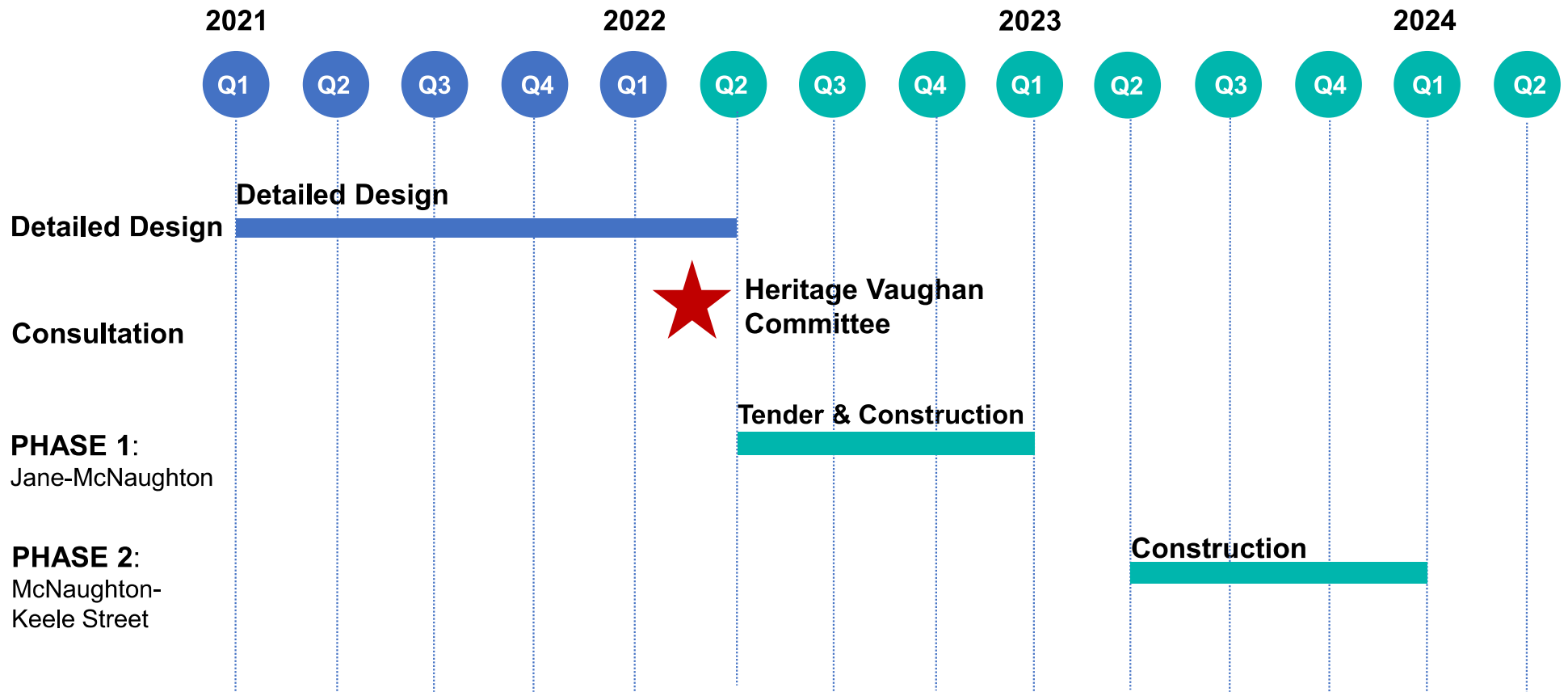
2022

Detailed Design to be completed

2022

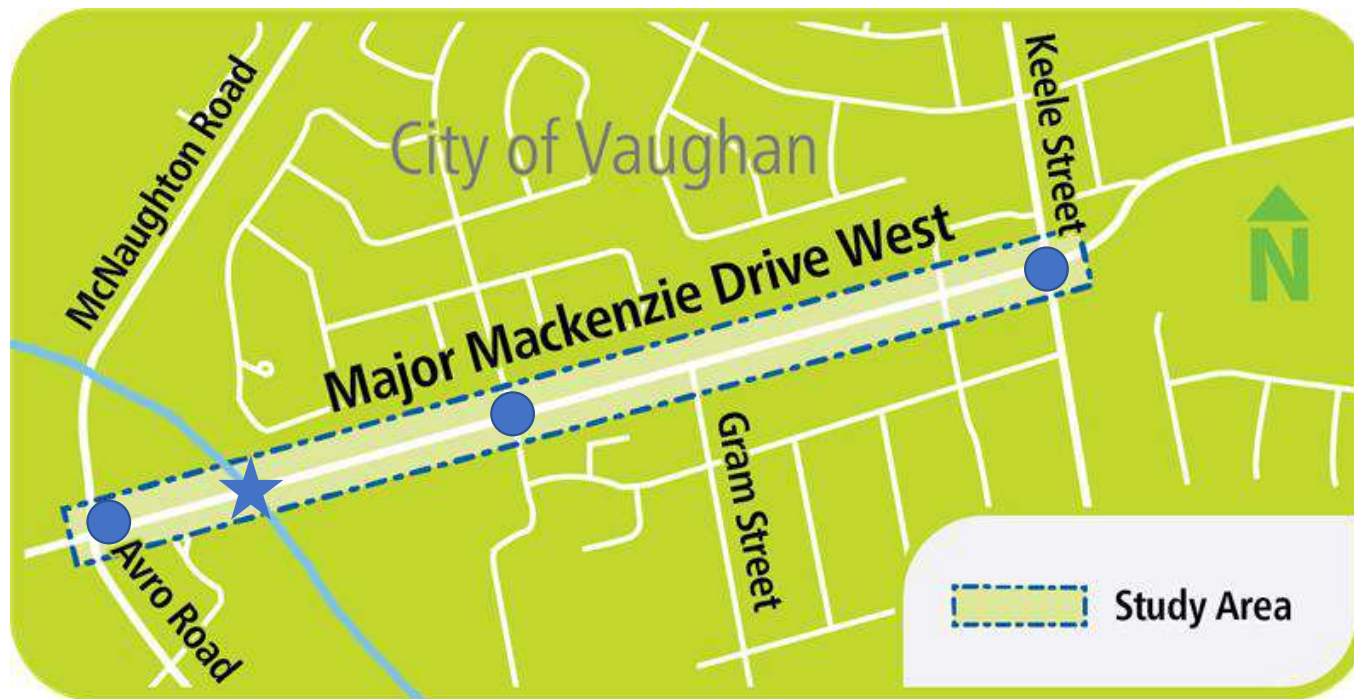
Construction scheduled to begin

PROJECT SCHEDULE



ENVIRONMENTAL ASSESSMENT STUDY AREA

The Study Area is located within the Village of Maple Heritage Conservation District



1.4 km in length

16 commercial access points and driveways

4 km in length

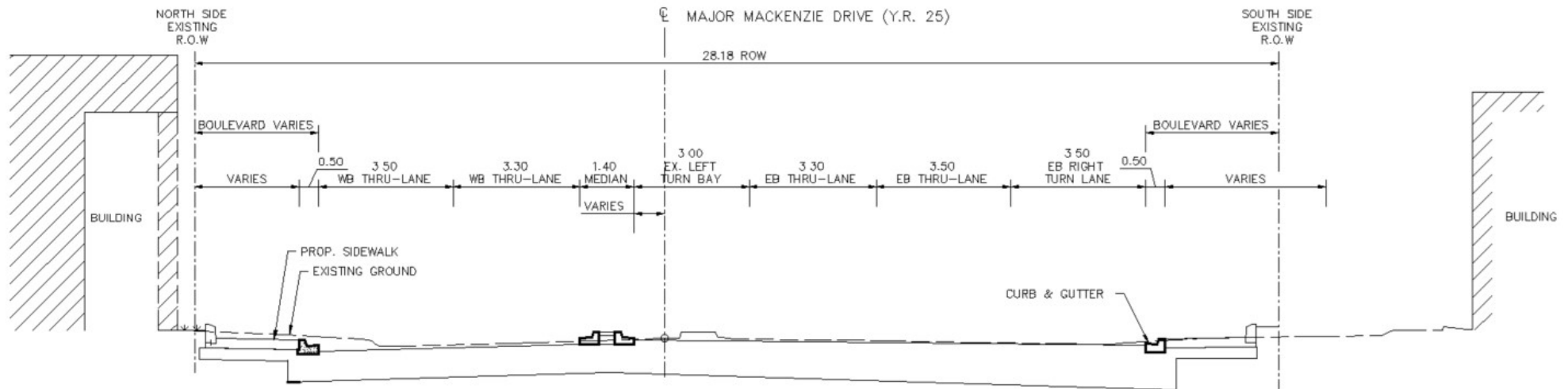
3 Schools within 500m of study area

50 km/hr posted speed limit

● 3 Signalized Intersections

★ West Don River Crossing

CROSS SECTION: JACKSON STREET TO KEELE STREET



PROPOSED STREETScape DESIGN

INFORMED STREETScape DESIGN

- The Village of Maple Streetscape Design Guidelines (2006)
- Collaboration with City of Vaughan staff from EA Study to Detailed Design
 - Capital engineering – road/cycling
 - Urban design – streetscape
- Integration with existing urban context and development
- Heritage Vaughan Committee presentation



EXISTING STREETScape



Major Mackenzie Drive and McNaughton Road



Major Mackenzie Drive and West Don River Crossing



Major Mackenzie Drive and Killian/Netherford Road



Major Mackenzie Drive midblock east of Killian/Netherford Road

10

EXISTING STREETScape



2414 Major Mackenzie Drive (Toter Plaza)



2396 Major Mackenzie Drive

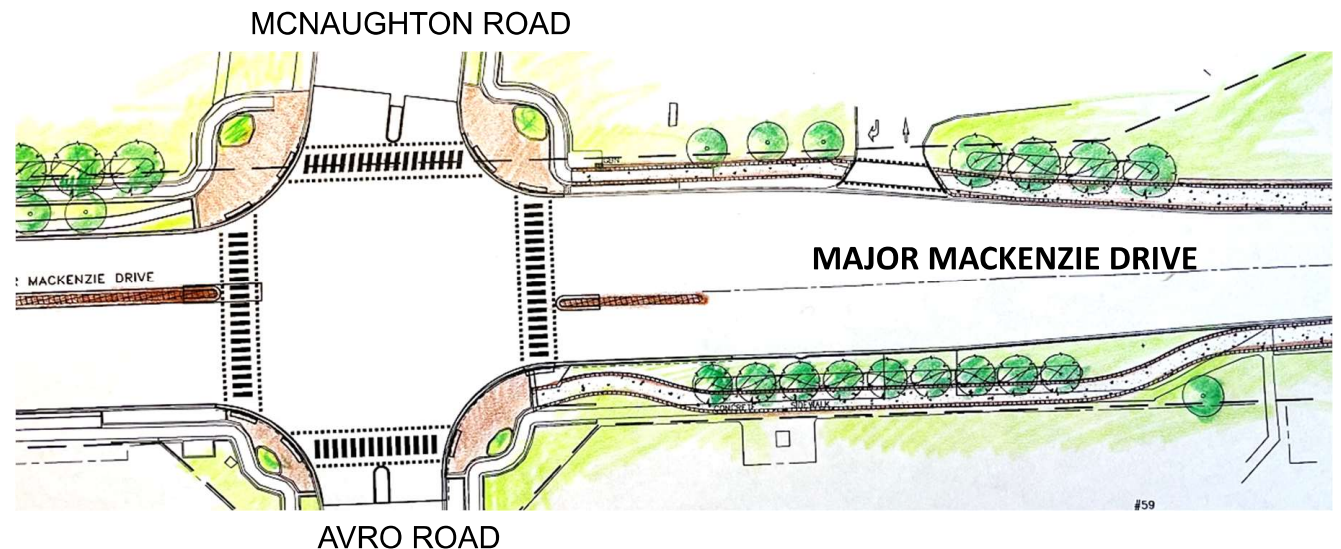


Major Mackenzie Drive Shoppers Drug Mart looking east



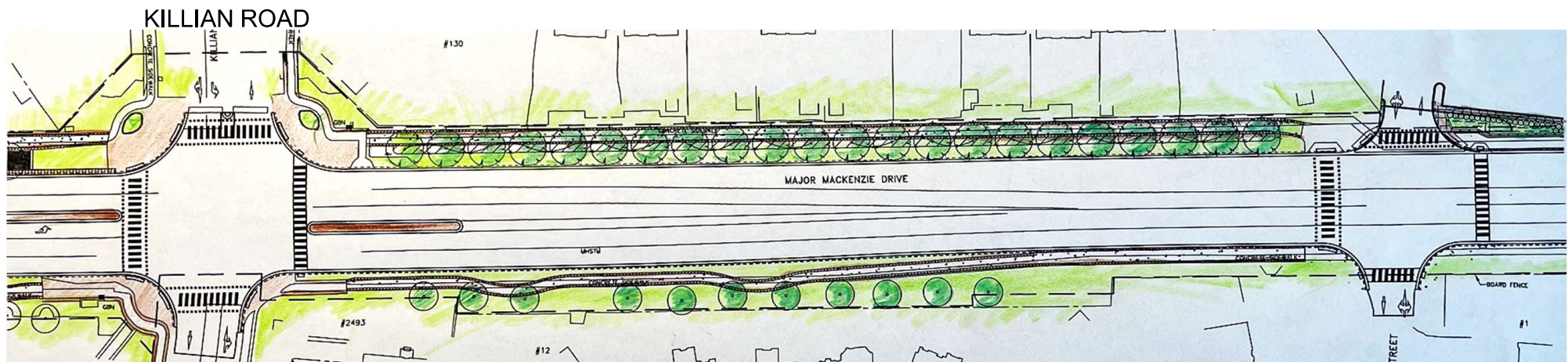
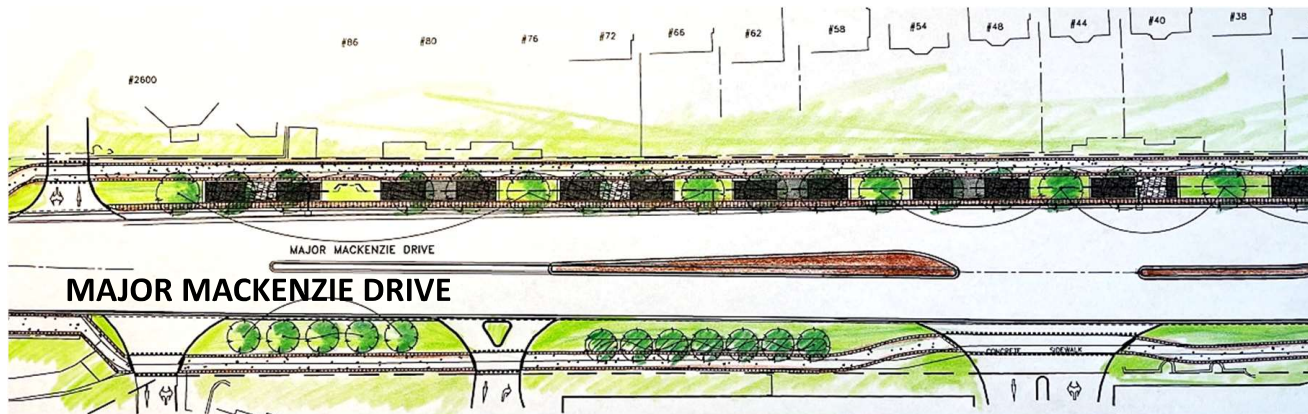
Major Mackenzie Drive and Keele Street looking west

MAJOR MACKENZIE DRIVE AT MCNAUGHTON ROAD



York Region will reinstate impacted existing streetscape enhancements and construct a minimum 2.4m wide multi-use path accented with concrete unit paver banding in conformance with the Village of Maple Streetscape Design Guidelines

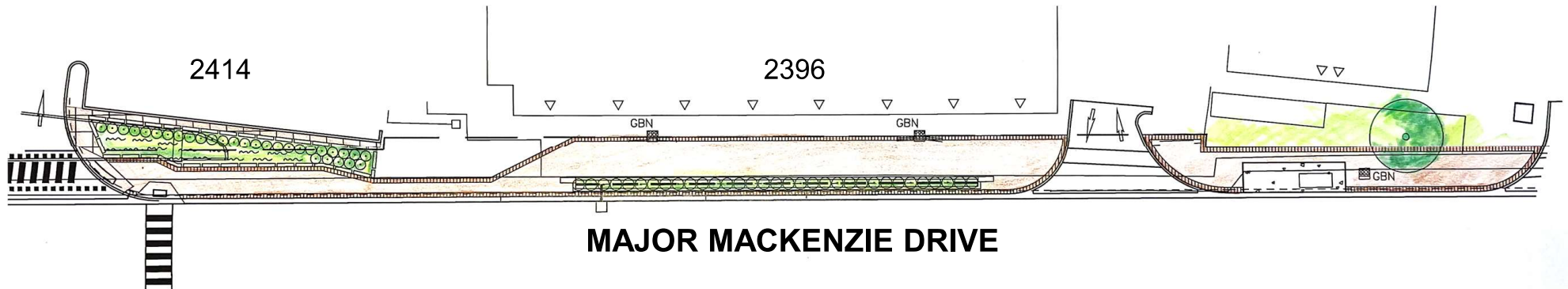
EAST OF MCNAUGHTON ROAD TO GRAM STREET



NETHERFORD ROAD

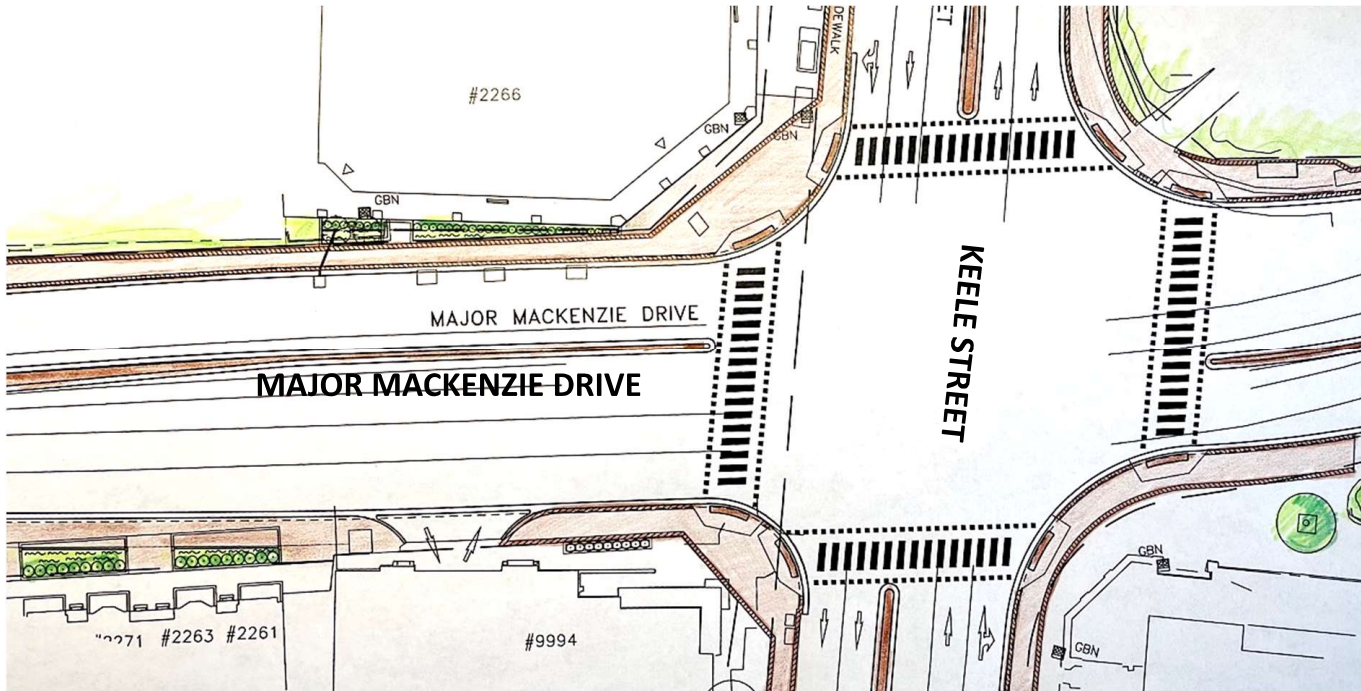
GRAM STREET 13

2414/2396 MAJOR MACKENZIE DRIVE



Due to grading constraints within the right-of-way and the City's requirement for a multi-use facility, the existing planters will accommodate pedestrians and cyclists. Within the heritage area a modest landscape buffer from the road will be installed

MAJOR MACKENZIE DRIVE AND KEELE STREET



RUSTIC RED



CHARCOAL





Q&A

NEXT STEPS

NEXT STEPS

- Gather feedback received from today's meeting
- Complete detailed design (contract drawings and tender documents)
- Begin Phase 1 of construction this year

Thank You

